

# BUILDING:

OBJECT TYPE:  
Building ICC

TRANSACTION ID:  
3150096

SITE ID:  
853177

MAJOR OCCUPANCY:  
Business

TYPE:  
VB Combustible Unprotected class of construction

TOTAL PROJECT SQ.FT.:  
\* sq.ft.

UN SPRINKLERED:  
Design NFPA 13R Residential (Submitted)

OCCUPANCY:  
M-1 Apartments & Dormitories

SEISMIC DESIGN CATEGORY:  
B

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## APPLICABLE CODES :

Building:  
International Building Code 2015 Edition,  
SPS 360-366 and Appendix A & B

Accessibility:  
ANSI 117.1 2009

HVAC:  
International Mechanical Code 2015 Edition.

ENERGY:  
International Energy Conservation Code 2015 Edition.

ELECTRICAL:  
International Electrical Code 2015 Edition.

PLUMBING:  
International Plumbing Code 2015 Edition.

FIRE PROTECTION:  
NFPA 2006 Edition

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN THE PREPARATION AND CHECKING OF THESE PLANS FOR ACCURACY, ALL CONTRACTORS SHALL CHECK, VERIFY AND BE RESPONSIBLE FOR ALL DETAILS AND DIMENSIONS ON NEW OR EXISTING STRUCTURE.
2. ALL WORK ON THIS PROJECT IS TO BE GOVERNED BY THE LATEST EDITION OF THE CODES APPLICABLE TO THE LOCAL ORDINANCES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED BUILDING PRACTICES AND INDUSTRY STANDARDS.
4. VERIFY AND USE ONLY WRITTEN DIMENSIONS. DO NOT SCALE OR MEASURE DIMENSIONS DIRECTLY FROM PRINT.
5. ALL CONTRACTORS MUST BE RESPONSIBLE FOR ALL AND ANY DAMAGE TO "EXISTING" STRUCTURE CAUSED EITHER DIRECTLY OR INDIRECTLY BY THEIR TRADES.
6. VERIFY ANY UNCERTAIN ITEMS WITH OWNER, BUILDER, AND/OR ARCHITECT.
7. ARCHITECT WILL NOT BE RESPONSIBLE FOR EXISTING OR PRE-EXISTING SOIL OR STRUCTURAL CONDITIONS.
8. THE ARCHITECT WILL NOT BE REQUIRED TO MAKE EXHAUSTIVE OR CONTINUOUS ON SITE INSPECTIONS TO CHECK THE QUALITY OR QUANTITY OF WORK PERFORMED.
9. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AND HE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
10. THE GROUND OR WARRANTY OF ARCHITECT'S WORK PRODUCT - THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND THE COMPLETENESS OF THE WORK PRODUCT THEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTION TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ARCHITECT, OR IN THE CONTRADICTION OF THE ARCHITECT'S WORK PRODUCT OR RECOMMENDATIONS SHALL BECOME THE RESPONSIBILITY NOT OF THE ARCHITECT, BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.
11. THESE PLANS DO NOT INCLUDE THE FOLLOWING :
  - 11.1. HVAC DESIGN
  - 11.2. PLUMBING DESIGN
  - 11.3. ELECTRICAL DESIGN
  - 11.4. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN THESE DESIGNS AND TO COORDINATE ALL WORK FOR ALL TRADES INVOLVED.

Diagram illustrating four types of survey markers:

- Exterior Elevation Marker:** A circle with a crosshair. A horizontal line passes through the center. Labels: ELEVATION NUMBER (pointing to the top crosshair), SHEET NUMBER (pointing to the center crosshair), EXTERIOR ELEVATION MARKER (pointing to the circle).
- Section Marker:** A circle with a crosshair. A vertical line passes through the center. Labels: SECTION NUMBER (pointing to the top crosshair), SHEET NUMBER (pointing to the center crosshair), SECTION MARKER (pointing to the circle).
- Interior Elevation Marker:** A circle with a crosshair. A horizontal line passes through the center. Labels: ELEVATION (pointing to the top crosshair), DETAIL NUMBER (pointing to the center crosshair), SHEET NUMBER (pointing to the circle).
- Detail Marker:** A circle with a crosshair. A vertical line passes through the center. Labels: DETAIL NUMBER (pointing to the top crosshair), SHEET NUMBER (pointing to the center crosshair), DETAIL MARKER (pointing to the circle).

Ø	DIAMETER	CLR.	CLEAR
sq	SQUARE FOOT/FEET	C.M.	CONSTRUCTION MANAGER
@	AT	C.M.U.	CONCRETE MASONRY UNIT
□	CENTERLINE	C/O	CLEANOUT
#	FOUND OR NUMBER	CONC.	CONCRETE
(E)	EXISTING	CONN.	CONNECTION
(N)	NEW	CONSTR.	CONSTRUCTION
A.B.	ANCHOR BOLT	CONT.	CONTRACTOR
A.C.	AIR CONDITIONING	CONTR.	CONTRACTOR
ACOUS.	ACOUSTICAL		
AFF.	ABOVE FINISH FLOOR	DBL.	DOUBLE
ALUM.	ALUMINUM	DEPT.	DEPARTMENT
APPROX.	APPROXIMATE	DET.	DETAIL
ARCH.	ARCHITECTURAL	D.F.	DRINKING FOUNTAIN
A.S.R.	AUTOMATIC SPRINKLER SYSTEM	DIA.	DIAMETER
BD.	BOARD	DIM.	DIMENSION
BLDG.	BUILDING	DN	DOWN SPOUT
BLK.	BLOCK	DWG.	DRAWING
BLKG.	BLOCKING		
C/J.	CEILING JOIST	E.	EAST
CLG.	CEILING	E.A.	EACH
		ELEC.	ELECTRICAL

[illegible]

OIC	ON CENTER	R.M.	ROOM	T.B.	TOP OF BEAM	W.O.	WITHOUT
O.D.	OUTSIDE DIAMETER	R.O.	RIGHT OPENING	T.L.	TELEPHONE	W.R.	WATER RESISTANT
OFD.	OVERFLOW DRAIN	R.O.W.	RIGHT OF WAY	T&G.	TONGUE AND GROOVE		
OP.	OPENING	S.	SOUTH	TH.	THICK		
OPP.	OPPOSITE	S.A.N.	SCALE AS NOTED	T.O.C.	TOP OF CURB		
		S.A.T.	SUSPENDED ACOUSTICAL TILE	T.O.P.	TOP OF PARAPET		
PARTN.	PARTITION	S.C.	SOLID CORE	T.O.S.	TOP OF SHEATHING		
P.L.	PROPERTY LINE	SCHED.	SCHEDULE	T.O.W.	TOP OF WALL		
PLAS.	PLASTER	SECT.	SECTION	TYP.	TYPICAL		
PLBG.	PLUMBING	SHT.	SHEET			U.B.C.	UNIFORM BUILDING CODE
PLYWD.	PLYWOOD	SHTG.	SHEATHING			U.O.N.	UNLESS OTHERWISE NOTED
P.T.	PRESSURE TREATED	SIM.	SIMILAR				
		SPEC.	SPECIFICATION			V.B.	VINYL BASE
Q.T.	QUARRY TILE	SQ.	SQUARE			VERT.	VERTICAL
		SSK.	SERVICE SINK			V.C.T.	VINYL COMPOSITION TILE
R.	RISER	SS.	STAINLESS STEEL			V.T.R.	VENT THROUGH ROOF
RAD.	RADIUS	STD.	STANDARD				
R.D.	ROOF DRAIN	STL.	STEEL				
REF.	REFERENCE	STOR.	STORAGE			W.	WEST
REF.	REFRIGERATOR	STRUCT.	STRUCTURAL			W.	WITH
REIN.	REINFORCED	SYM.	SYMMETRICAL			W.C.	WATER CLOSET
REQD.	REQUIRED					W.D.	WOOD
RESIL.	RESILIENT	T.	TREAD			W.H.	WATER HEATER

[illegible]

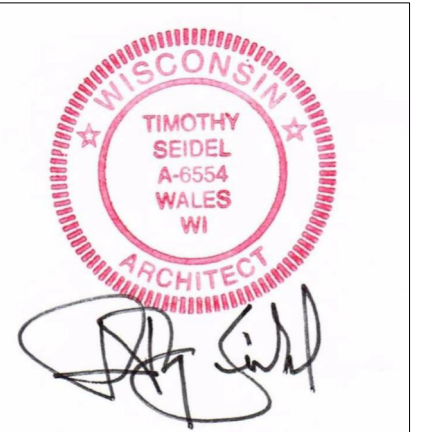
## Design Build - By Others

## Design Build - By Others

## Design Build - By Others

OWNER	
COMPANY NAME	OPEN PANTRY FOOD MARTS
CONTACT NAME	JIM SCHUTZ
CONTACT INFORMATION	*
ARCHITECT	
COMPANY NAME	TIMOTHY SEIDEL ARCHITECT LLC
CONTACT NAME	TIM SEIDEL
CONTACT INFORMATION	530 CYNRIC CT. WALES, WI 53183-9423 OFFICE: 262-968-5580      CELL: 262-424-5795

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OPEN PANTRY  
OPEN PANTRY FOOD MARTS  
501 BROWN DEER ROAD  
BAYSIDE, WISCONSIN 53217



GENERAL REQUIREMENTS

A) CONSTRUCTION OBSERVATION SERVICES

1. DIRECT CONSTRUCTION OBSERVATIONS FOR THE CONSTRUCTION AND INSTALLATION BEING IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS SHALL BE THE SUPERVISING PROFESSIONAL, AND AVAILS HIMSELF TO THE CLIENT, CONTRACTOR AND OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX AND E-MAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATIONS OR RESOLVING ISSUES AND PROBLEMS

B) EXAMINATION

1. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN EITHER OR BOTH.

2. THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED, AS A CONDITION OF THE CONTRACT, TO ACQUIANT HIMSELF WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES, AND TO NOTIFY AND APPRISE ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO ITS CONDITIONS.

3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY DESIGNER/ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.

4. THE DESIGNER/ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY APPARENT CONFLICTS, ERRORS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS OR ANY APPARENT MISAPPLICATION OF ANY PRODUCT, SYSTEM OR ASSEMBLY FOR THE INTENDED USE, OR ANY DISCOVERED EXISTING CONDITIONS THAT ARE CONTRARY TO THE CONDITIONS INDICATED IN THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. FAILURE TO NOTIFY THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK WILL RESULT IN THE CONTRACTOR CORRECTING SUCH ITEMS AT THE CONTRACTOR'S EXPENSE.

5. THE CONSTRUCTION DRAWINGS ARE GENERAL DIAGRAMMATIC REPRESENTATIONS OF THE WORK, AND DO NOT INDICATE OR SPECIFY IN DETAIL, EVERY CONDITION AND COMPONENT OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT, FABRICATE ALL ASSEMBLIES AND INSTALL ALL EQUIPMENT AND SYSTEMS TO PRODUCE A COMPLETE, INTEGRATED AND FULLY FUNCTIONAL WORK PRODUCT IN ACCORDANCE WITH ALL MATERIAL AND EQUIPMENT MANUFACTURER'S REQUIREMENTS, INDUSTRY STANDARDS AND FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS.

6. PRIOR TO ACCEPTANCE OF SUB-CONTRACTOR BIDS AND COMMENCEMENT OF CONSTRUCTION, GENERAL CONTRACTOR TO PROVIDE ALL SUB-CONTRACTORS ACCESS TO A FULL SET OF CONSTRUCTION DOCUMENTS.

7. THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION.

8. GENERAL CONTRACTOR SHALL VISIT PROPOSED JOB SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS & LOCATIONS OF UTILITIES. FAILURE OF GENERAL CONTRACTOR TO VISIT JOB SITE PRIOR TO BIDDING WILL RESULT IN FORFEITURE OF EXTRA COMPENSATION FOR TIME AND MONEY.

9. THE GENERAL CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANIES TO VERIFY ALL ELEVATIONS, SIZES, LOCATIONS AND CONNECTION POINTS FOR ALL UTILITIES AFFECTED BY THIS PROJECT. THE GENERAL CONTRACTOR SHALL COORDINATE AND OBTAIN ALL APPLICATIONS FOR , AND ENSURE ALL UTILITIES ARE TURNED ON PRIOR TO COMPLETION OF WORK.

C) CONTRACTS

1. THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA 201, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, ARE HEREBY MADE PART OF THESE DRAWINGS AND SPECIFICATIONS.

D) INSURANCE

1. ALL CONTRACTORS (GENERAL AND SUBCONTRACTORS) SHALL COMPLY WITH THE REQUIREMENTS FOR INSURANCE, BONDS AND WAIVERS OF LIEN, AS OUTLINED IN THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA 201, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS.

E) STANDARDS AND CODES

1. GIVE ALL NOTICES AND COMPLY WITH ALL NATIONAL, STATE AND LOCAL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE DESIGNER/ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS.

2. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED INSPECTIONS, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION.

3. IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE SHALL PROMPTLY MAKE CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARISING THEREFROM.

4. CONFLICTS: IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

5. WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE DOCUMENTS. IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN.

6. LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO LOCAL, STATE AND ALL GOVERNING CODES.

7. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANCY.

8. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE LENGTH OF HIS CONTRACT, EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS AND LANDLORD REQUIREMENTS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

10. WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.

11. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD SHALL BE FIRE RETARDANT TREATED WHERE REQUIRED BY LOCAL BUILDING CODES.

12. THE CONTRACTOR SHALL PROVIDE BACK FLOW DEVICES AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.

F) LAYOUT OF WORK

1. EXERCISE PROPER PRECAUTIONS TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK.

2. CONTRACTOR IS RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. ANY SUCH ERROR WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA COMPENSATION.

3. GENERAL CONTRACTOR IS RESPONSIBLE FOR LAY OUT OF ALL WORK AND IS RESPONSIBLE FOR ALL LINES AND MEASUREMENTS OF THE BUILDING, UTILITIES, AND OTHER WORK EXECUTED UNDER THE CONTRACT.

4. DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

5. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.

6. DIMENSIONS KNOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD BY LAYING OUT THE PARTITIONS. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.

7. THE ARCHITECT AND HIS CONSULTANTS WILL NOT HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACT, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK.

8. WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED.

9. IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THE DESIGNER/ARCHITECT SHALL INTERPRET THEM WHEN ASKED TO DO SO BY THE OWNER OR CONTRACTOR. THE DESIGNER/ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE RESULTS OF SUCH INTERPRETATIONS MADE BY OTHERS.

10. THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR LARGE SCALE OR FULL SIZE DETAILS.

11. DRAWINGS AND DIAGRAMS FOR MECHANICAL AND ELECTRICAL WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONLY, NOT TO BE USED FOR ANY STRUCTURAL GUIDANCE OR PHYSICAL LAYOUT. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECTURAL DRAWINGS SHOWING LOCATIONS FOR MECHANICAL AND ELECTRICAL ITEMS AND ACCESSORIES SHALL TAKE PRECEDENCE.

12. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHANICAL, ELECTRICAL AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED, AND THAT ALL COSTS FOR THIS BE INCLUDED IN THE CONTRACTOR'S PROPOSAL.

13. THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND THE ARCHITECT BEFORE PROCEEDING.

14. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS INCLUDING BUT NOT LIMITED TO, TELEPHONE, DATA, "OWNERS FORCES" ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING, FITTING AND PATCHING REQUIRED TO RECEIVE THE WORK OF OTHERS AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS.

G) ALTERATIONS (IF APPLICABLE)

1. ARRANGE WITH LANDLORD/OWNER A CONVENIENT TIME TO PERFORM ALL WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND BUILDING MANAGEMENT REQUIREMENTS.

2. THE CONTRACTOR SHALL REMOVE, REPAIR, RESTORE AND REPLACE ANY WORK NECESSARY OR INDICATED ON THE DRAWINGS. CUT ALL NECESSARY OPENINGS AND REPAIR AFTER CUTTING WHERE NECESSARY. ALL PROTRUSIONS, MARKS, CRACKS, OR OTHER EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY ITEMS WHICH ARE SPLIT, CRACKED, CHIPPED, SPALLED, BROKEN, MISSING, OUT OF ALIGNMENT OR ADJUSTMENT, MECHANICALLY OR STRUCTURALLY UNSAFE OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR DAMAGED IN ANY MANNER SHALL BE REMOVED, REPLACED, RESTORED OR SATISFACTORILY REPAIRED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

H) HAZARDOUS MATERIALS

1. ASBESTOS AND HAZARDOUS WASTE EXCLUSION: THE ARCHITECT HEREBY STATES, AND THE OWNER ACKNOWLEDGES, THAT THE ARCHITECT HAS NO PROFESSIONAL LIABILITY OR OTHER INSURANCE (AND IS UNABLE TO REASONABLY OBTAIN SUCH INSURANCE) FOR CLAIMS ARISING OUT OF THE PERFORMANCE OF OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO, THE PREPARATION OF REPORTS, DESIGNS, DRAWINGS, AND SPECIFICATIONS, AND RELATED TO THE INVESTIGATION DETECTION OF HAZARDOUS MATERIALS ON THE SITE.

I) CONTRACTOR USE OF PREMISES

- CONSTRUCTION OPERATIONS: LIMITED TO AREAS NOTED ON DRAWINGS.
- TIME RESTRICTIONS FOR PERFORMING WORK: VERIFY WITH LANDLORD/OWNER & LOCAL CODES.
- UTILITY OUTAGES AND SHUTDOWN SHALL BE COORDINATED WITH THE LANDLORD/OWNER.
- AT ALL TIMES CONDUCT OPERATIONS TO INSURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC. COMPLY WITH APPLICABLE CODES AND ORDINANCES FOR SAFETY.
- ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON THE SITE UNDER THIS CONTRACT.
- PERFORM DEMOLITION WORK AND SUCH SPRINKLER WORK, CONCRETE SAW CUTTING, PAINTING AND SIMILAR WORK CAUSING EXCESSIVE NOISE, DUST OR ODORS DISTURBING BUILDING OCCUPANTS, OR ANY WORK DISRUPTING TENANTS OR PUBLIC TRAFFIC WITHIN THE BUILDING, AFTER HOURS OR AT TIMES AND IN SUCH A MANNER AS OTHERWISE APPROVED BY LANDLORD/OWNER.
- COORDINATE USE OF PREMISES FOR WORK WITH THE LANDLORD/OWNER.
- LIMIT USE OF SITE FOR WORK AND STORAGE TO AREAS DESIGNATED UNLESS SPECIFIC ADDITIONAL AREAS ARE ALLOWED IN WRITING BY THE LANDLORD/OWNER.
- TEMPORARY SANITARY FACILITIES FOR THE WORKERS SHALL BE FURNISHED, INSTALLED AND MAINTAINED BY THE GENERAL CONTRACTOR, IF "CONTRACTOR-USE" FACILITIES DO NOT EXIST ON SITE. PERMANENT TOILETS INSTALLED ON THE PROJECT SHALL NOT BE USED DURING CONSTRUCTION OF THE PROJECT. ALL SUCH FACILITIES AND SERVICES SHALL BE FURNISHED IN STRICT ACCORDANCE WITH EXISTING GOVERNING HEALTH REGULATIONS.

J) FINISH NOTES

1. ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.

2. REPAIR AND PREPARE EXISTING SURFACES SCHEDULED TO REMAIN AS NECESSARY FOR APPLICATION OF NEW FINISHES.

3. ALL CODE-REQUIRED LABELS SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED.

5. THE CONTRACTOR SHALL PATCH SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.

6. COORDINATE WITH OWNER'S DESIGNATED REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF ALL FURNITURE AND WALL-HUNG EQUIPMENT.

7. REFER TO EXTERIOR ELEVATIONS FOR SPECIFIED FINISHES.

K) GENERAL CLEANING

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TRASH REMOVAL, INCLUDING TRASH MADE BY ALL OTHER TRADES, AND SHALL KEEP THE SPACE CLEAN AND CLEAR OF REFUSE AT ALL TIMES.

2. GENERAL CONTRACTOR SHALL PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE STORE AT THE COMPLETION OF THE PROJECT, AND BEFORE TURNING OVER THE STORE TO THE OWNER. WORK IS TO INCLUDE, BUT SHALL NOT BE LIMITED TO, ALL CEILING, FLOOR AND WALL SURFACES AND FIXTURES.

L) ACCESSIBILITY

1. NOTE: FOLLOWING ARE ADA GUIDELINES AND FOR GENERAL CONTRACTOR INFORMATION ONLY. LISTED ITEMS DO NOT REPLACE OR AMMEND FEDERAL, STATE OR LOCAL CODES. IN CASE OF CONFLICT IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

2. ALL EXTERIOR DOORS SHALL HAVE A 24" CLEAR HORIZONTAL OPEN SURFACE/AREA AT THE STRIKESIDE/PULLSIDE OF DOORS. ALL INTERIOR DOORS SHALL HAVE 18" CLEAR AT THE STRIKESIDE/PULLSIDE OF DOORS. PROVIDE 12" CLEAR HORIZONTAL SURFACE ON THE PUSH SIDE/STRIKE OF ALL DOORS. ALL LOCKSETS SHALL HAVE A LEVER HANDLE UNLESS NOTED OTHERWISE & SHALL OPEN FROM INSIDE OF THE SPACE WITH ONE MOTION AND REQUIRE NO SPECIAL KNOWLEDGE OR EFFORT. THUMBURNS OR SEPERATE DEADBOLTS ARE NOT ALLOWED ON EGRESS DOORS.

3. THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL HAVE A SLOPE NO GREATER THAN 1:2.

4. ALL EMERGENCY EXITING ALARM AND SIGNAGE TO COMPLY WITH FEDERAL, STATE AND MUNICIPAL CODES FOR ACCESSIBILITY.

5. GENERAL CONTRACTOR SHALL ALLOW FOR APPLIED FINISH DIMENSIONS IN ADDITION TO STANDARD CONSTRUCTION TOLERANCES IN ACHIEVING ALL ACCESSIBILITY CLEARANCES PER DRAWINGS AND/OR ADA GUIDELINES.

6. EMERGENCY WARNING SYSTEMS SHALL COMPLY WITH ADA REQUIREMENTS FOR THE HEARING IMPAIRED. VISUAL WARNING STROBE LIGHTS TO BE DESIGNED TO HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.

M) PUNCH LIST / CLOSE-OUT

1. UPON NOTIFICATION, THE OWNER'S REPRESENTATIVE SHALL PREPARE A PUNCH LIST OF THE PROJECT AND THE GENERAL CONTRACTOR SHALL MAKE GOOD ALL PUNCH LIST ITEMS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE PRIOR TO FINAL PAYMENT.


N) RECORD DRAWINGS / WARRANTIES

1. THE CONTRACTOR SHALL LEAVE A COPY OF REDLINED AS-BUILT DRAWINGS AT THE STORE NOTING ALL REVISIONS OF WORK UPON COMPLETION OF CONSTRUCTION. DRAWINGS SHALL BE PLACED IN A 36" LONG 4" PVC WITH A CAP. PVC PIPE SHALL BE ATTACHED TO WALL AT LOCATION AS SPECIFIED BY THE PROJECT MANAGER.

2. UPON COMPLETION OF THE WORK AND BEFORE FINAL PAYMENT IS MADE, THE CONTRACTOR SHALL SECURE AND DELIVER TO THE OWNER ALL GUARANTEES AND/OR WARRANTIES ON ALL EQUIPMENT SUPPLIED AND/OR INSTALLED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS, AND ALL OPERATIONS / MAINTENANCE MANUALS.

O) GUARANTEE

1. THE GENERAL CONTRACTOR SHALL GUARANTEE THE WORK FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK.



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OPEN PANTRY

OPEN PANTRY FOOD MARTS

501 BROWN DEER ROAD

BAYSIDE, WISCONSIN 53217

REVISIONS :

No.	Description	Date

Date :	1/31/2019
Scale :	As Noted
File Number :	G-002.dwg
Drawn :	TES
Project :	201813
Sheet Number :	

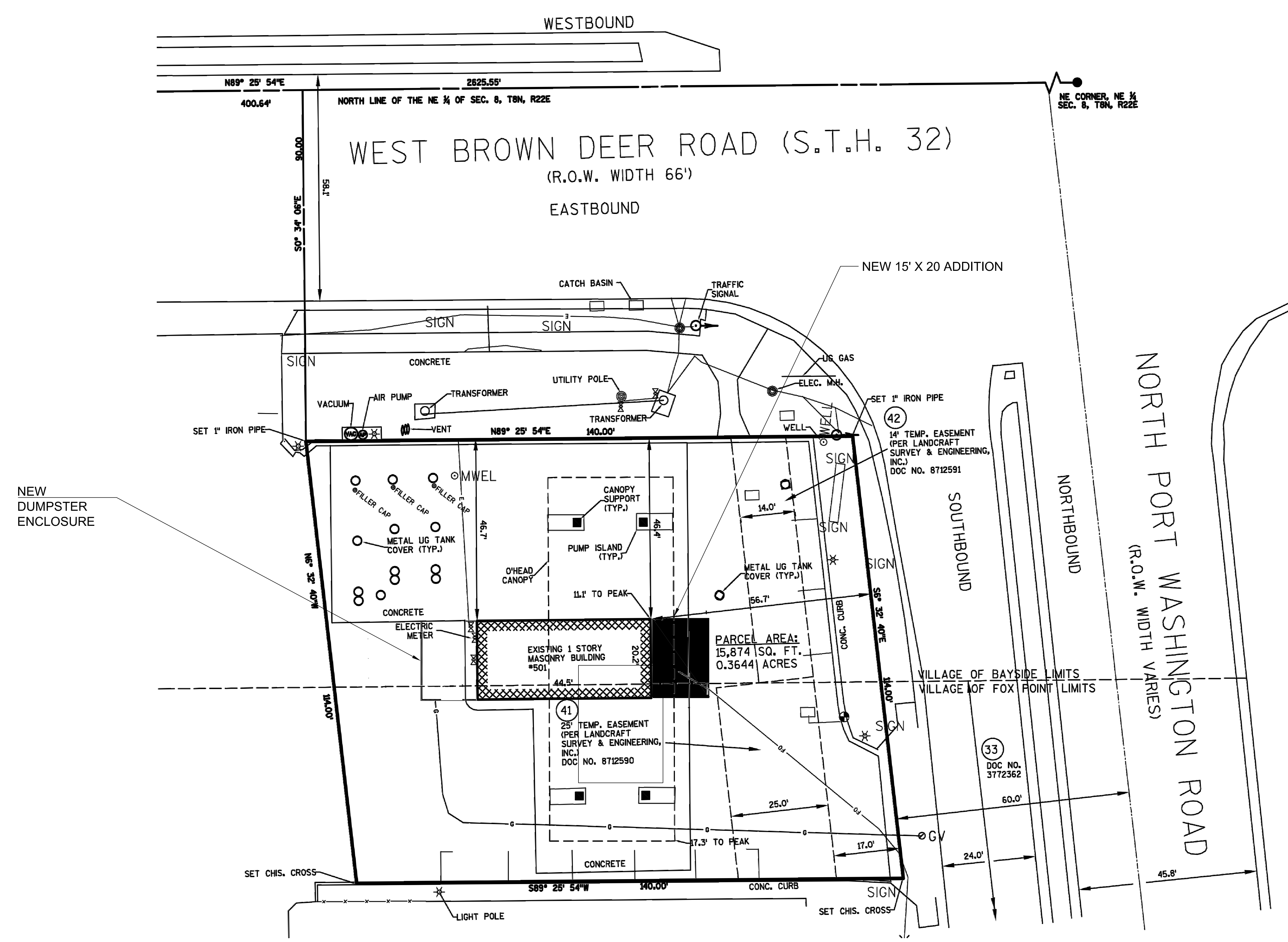
G-002

General Conditions

BAYSIDE OPEN PANTRY  
OPEN PANTRY FOOD MARTS  
501 BROWN DEER ROAD  
BAYSIDE, WISCONSIN 53217

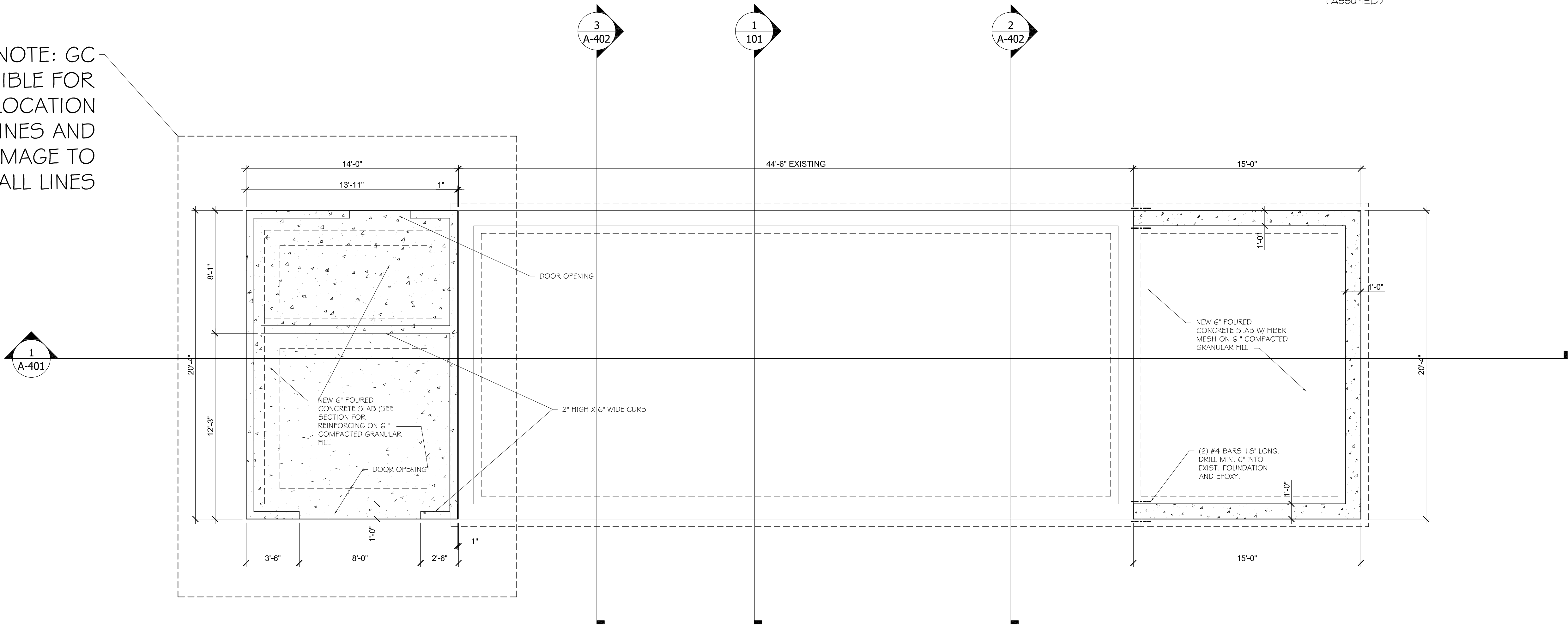
REVISIONS :		
No.	Description	Date

Date :	8.31.2018
Scale :	As Noted
File Number :	C-101.dwg
Drawn :	TES
Project :	201813
Sheet Number :	C-101
Site Plan	



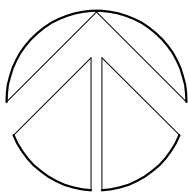
**SITE PLAN**  
SCALE : NO SCALE

NOTE: GC RESPONSIBLE FOR VERIFYING LOCATION OF UG LINES AND AVOID DAMAGE TO ALL LINES



1 FOUNDATION PLAN

Scale: 1/4" = 1'-0"



### DESIGN LIVE LOADS :

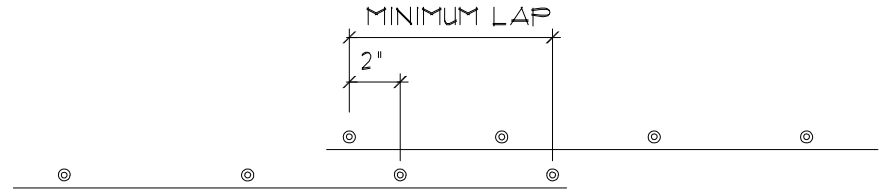
ROOF LOADING	
LIVE LOAD	20 PSF
GROUND SNOW LOAD (Pg)	30 PSF
ROOF SLOPE FACTOR (Cs)	1.0
EXPOSURE FACTOR (Ce)	1.0
IMPORTANCE FACTOR (Is)	1.0
THERMAL FACTOR (Ct)	1.1
ROOF SNOW LOAD (Pf)	23.1 PSF
UNBALANCED	30 PSF
FLOOR LOADING	
TYPICAL UNIT	40 PSF
WIND LOADING	
BASIC WIND SPEED (3-SECOND GUST)	90 MPH
EXPOSURE CATEGORY	C
EXPOSURE FACTOR (Cw)	1.0
IMPORTANCE FACTOR (Iw)	1.0
EXTERIOR ZONE	21.4 PSF
INTERIOR ZONE	15.5 PSF
GROSS UPLIFT	30 PSF
EARTHQUAKE	
SITE CLASS	D
IMPORTANCE FACTOR (Ie)	1.0
SEISMIC USE GROUP CATEGORY	I
SEISMIC DESIGN CATEGORY	B
LATERAL EARTH PRESSURE (ACTIVE)	40 PSF/FT

### DESIGN STRESSES :

CAST-IN-PLACE CONCRETE	
FOOTINGS	f'c = 3,000 PSI
WALLS, PIER	f'c = 4,000 PSI
SLAB-ON-GRADE	f'c = 3,500 PSI
MASONRY, OTHER	f'c = 2,500 PSI
REINFORCEMENT	
TIES, STIRRUPS, FIELD BENT BARS	Fy = 40,000 PSI
WELDED WIRE FABRIC	Fy = 65,000 PSI
OTHER	Fy = 60,000 PSI
WOOD	
STRUCTURAL	*1/2" SPRUCE PINE FIR
ALLOWABLE SOIL BEARING CAPACITY	q = 3,000 PSF (ASSUMED)

### REINFORCING NOTES :

- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 318-92.
- ALL LAPS SHALL BE CLASS 'B' PER ACI 318-92 UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLAB AND BEAMS OVER 14" DEEP.
- LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.
- CORNER BARS WITH CLASS 'B' LAPS SHALL BE PROVIDED AT ALL CORNERS AND INTERSECTIONS, PER ACI 318-92.
- HORIZONTAL BARS EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OR OPENING TO ANOTHER SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OR WALL.
- FIBERMESH SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP Fy PER ACI 318-92.



### FOOTING SCHEDULE

MARK	FOOTING DIMENSIONS	FOOTING REINFORCING	NOTES
W1	24" WIDE X 12" DEEP	(2) #5'S CONT.	

- NOTES:
- B = BOTTOM, T = TOP
  - SEE SECTIONS AND DETAILS FOR REQUIRED FOOTING DOVELS.

OPEN PANTRY  
OPEN PANTRY FOOD MARTS  
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### REVISIONS :

No.	Description	Date

Date :	1/31/2019
Scale :	As Noted
File Number :	A-101-dwg
Drawn :	TES
Project :	201813

Sheet Number :

A-100

Foundation Plan



BAYSIDE OPEN PANTRY  
OPEN PANTRY FOOD MARTS  
501 BROWN DEER ROAD  
BAYSIDE, WISCONSIN 53217

REVISIONS :

No.	Description	Date

Date : January 31, 2019

Scale : As Noted

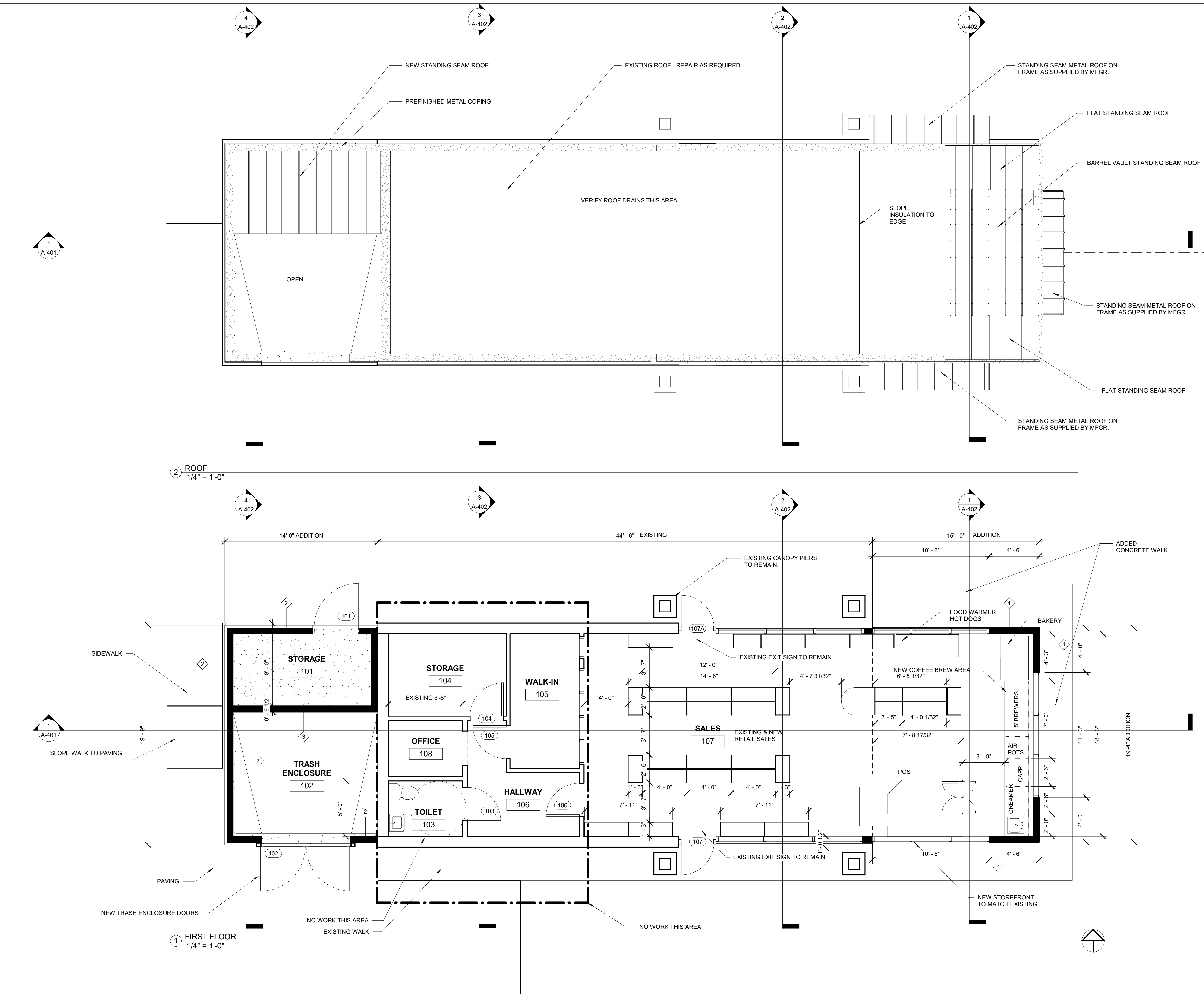
File Number :

Drawn : TES

Project : 201813

Sheet Number :

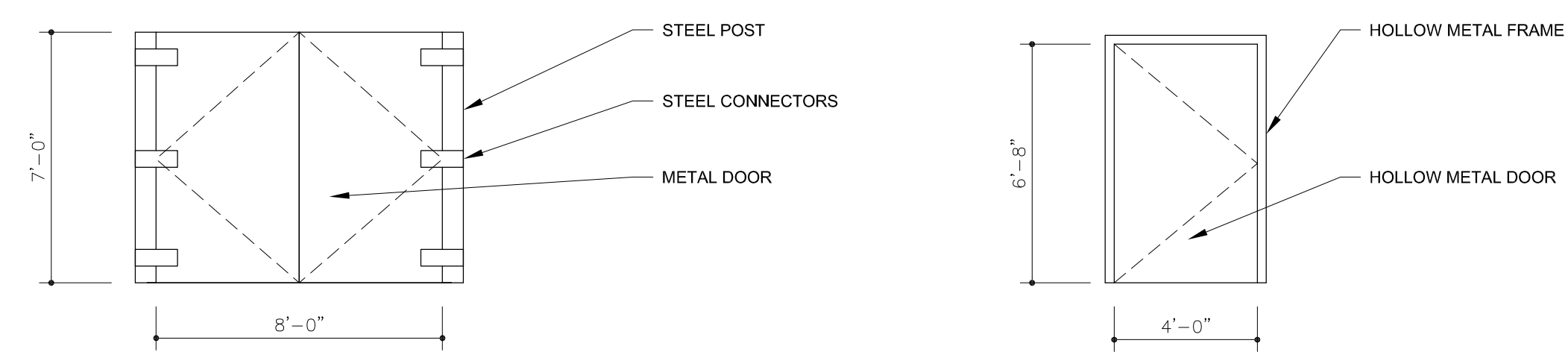
A-102





ROOM FINISH SCHEDULE														
ROOM NO.	ROOM NAME	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		FLOOR FINISH	BASE MATERIAL	CEILING FINISH	CEILING HEIGHT	NOTES
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH					
1	STORAGE	OSB	PAINT	OSB	PAINT	OSB	PAINT	OSB	PAINT	CONCRETE	NONE	OSB	VARIES	
2	TRASH ENCLOSURE	OSB	PAINT	OSB	PAINT	OSB	PAINT	OSB	PAINT	CONCRETE	NONE	OPEN	-	
3	TOILET	TILE / PAINT	PAINT	DRYWALL	PAINT	DRY./STORE.	PAINT	DRY./STORE.	PAINT	CER.TILE	VINYL	2 X 2 ACOUSTICAL TILE	8'	
4	OFFICE / STORAGE	DRYWALL	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	8" X 8" Q. TILE	6" Q. TILE	2 X 2 GYPSUM TILE		
5	WALK-IN CLLOER									EXIST. C.TILE	EXIST. C.TILE	EXIST. ACOUST. TILE		
6	HALLWAY	DRYWALL	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	DRYWALL	PAINT			EXIST. ACOUST. TILE		
7	MERCHANDISE	DRYWALL	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	DRYWALL	PAINT					

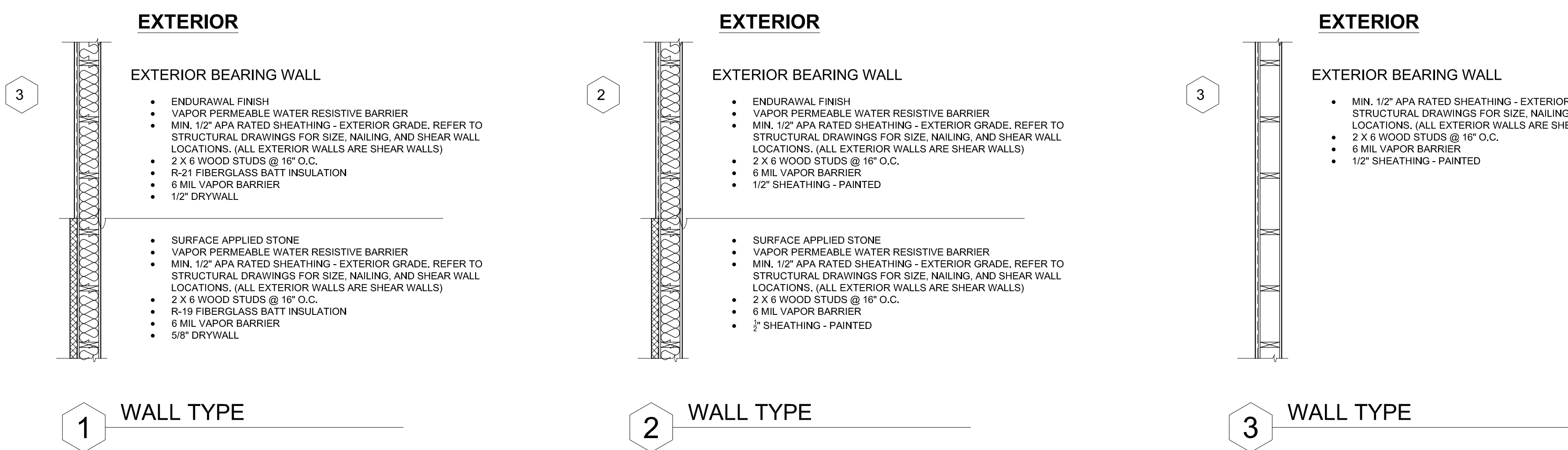
DOOR SCHEDULE													
NUMBER	DOOR							FRAME				HARDWARE GROUP	REMARKS
	SIZE	TYPE	MAT'L.	RATED	FINISH	COLOR	GLAZING	MAT'L.	RATED	FINISH	COLOR		
101	4'-0" X 6'-8" X 1 3/4"		STOREFRONT	NONE	PER MFGR.	PER MFGR.	SAFETY	STOREFRONT	NONE	PER MFGR.	PER MFGR.	EXISTING	EXISTING CLOSER AND EXIT HARDWARE TO REMAIN
102	(2) 4' X 7'-0"	A	STOREFRONT	NONE	PER MFGR.	PER MFGR.	SAFETY	STOREFRONT	NONE	PER MFGR.	PER MFGR.	BY OWNER	CLOSER AND PANIC HARDWARE SET TO ADA STANDARDS
103	EXISTING 3'-0" X 6'-8"		STOREFRONT	NONE	PER MFGR.	PER MFGR.	SAFETY	STOREFRONT	NONE	PER MFGR.	PER MFGR.	EXISTING	EXISTING CLOSER AND EXIT HARDWARE TO REMAIN
104	EXISTING 3'-0" X 6'-8"		STOREFRONT	NONE	PER MFGR.	PER MFGR.	SAFETY	STOREFRONT	NONE	PER MFGR.	PER MFGR.	BY OWNER	CLOSER AND PANIC HARDWARE SET TO ADA STANDARDS
105	EXISTING 3'-0" X 6'-8"		ALUMINUM	NONE	PER MFGR.	PER MFGR.	SAFETY	METAL	NONE	PER MFGR.	PER MFGR.	BY OWNER	HEAVY DUTY HARDWARE
106	EXISTING 3'-0" X 6'-8"		ALUM INUM	NONE	PER MFGR.	PER MFGR.	SAFETY	METAL	NONE	PER MFGR.	PER MFGR.	BY OWNER	HEAVY DUTY HARDWARE
107	EXISTING 3'-0" X 6'-8"		HM	NONE	PAINT	PER OWNER	NONE	HM	NONE	PAINT	PER OWNER	BY OWNER	CLOSER AND PRIVACY LATCH. HARDWARE SET TO ADA STANDARDS
107A	EXISTING 3'-0" X 6'-8"		HM	NONE	PAINT	PER OWNER	NONE	HM	NONE	PAINT	PER OWNER	BY OWNER	CLOSER AND PRIVACY LATCH. HARDWARE SET TO ADA STANDARDS



TYPE 'A'

DOOR TYPES

TYPE 'B'



1 WALL TYPE

WALL TYPES

2 WALL TYPE

3 WALL TYPE

OPEN PANTRY  
OPEN PANTRY FOOD MARTS  
501 BROWN DEER ROAD  
BAYSIDE, WISCONSIN 53217

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No.	Description	Date
-	-	-

Date :	1/31/2019
Scale :	As Noted
File Number :	A-201.dwg
Drawn :	TES
Project :	201813
Sheet Number :	A-201
Schedules & Wall Types	



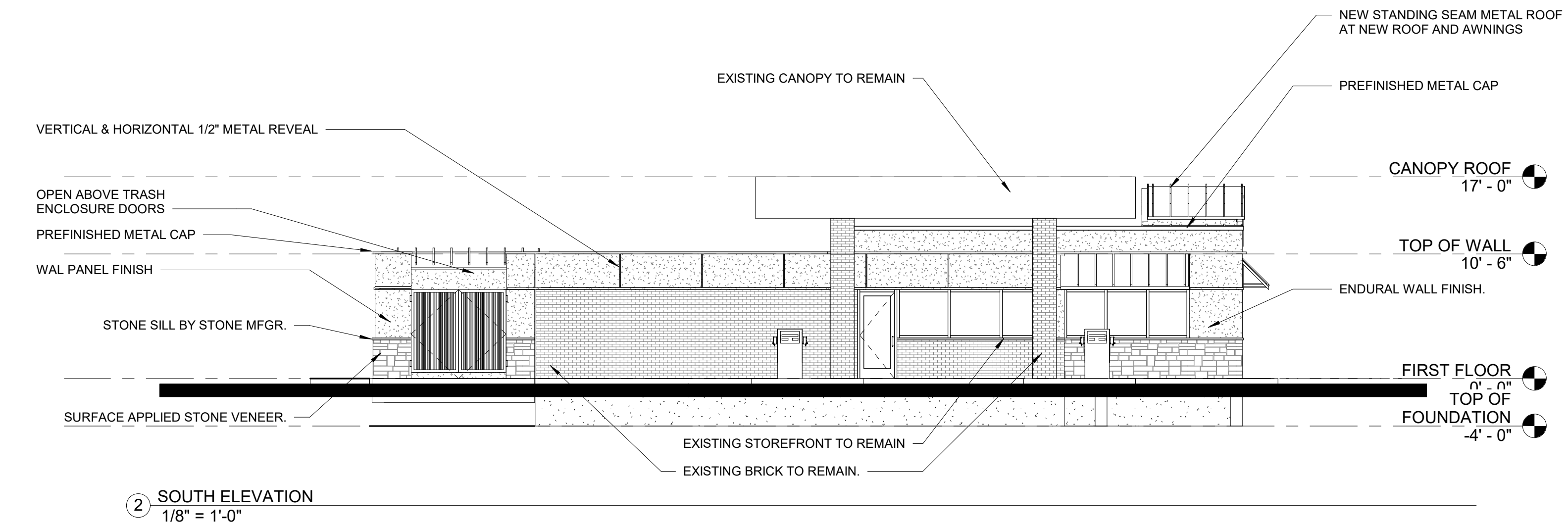
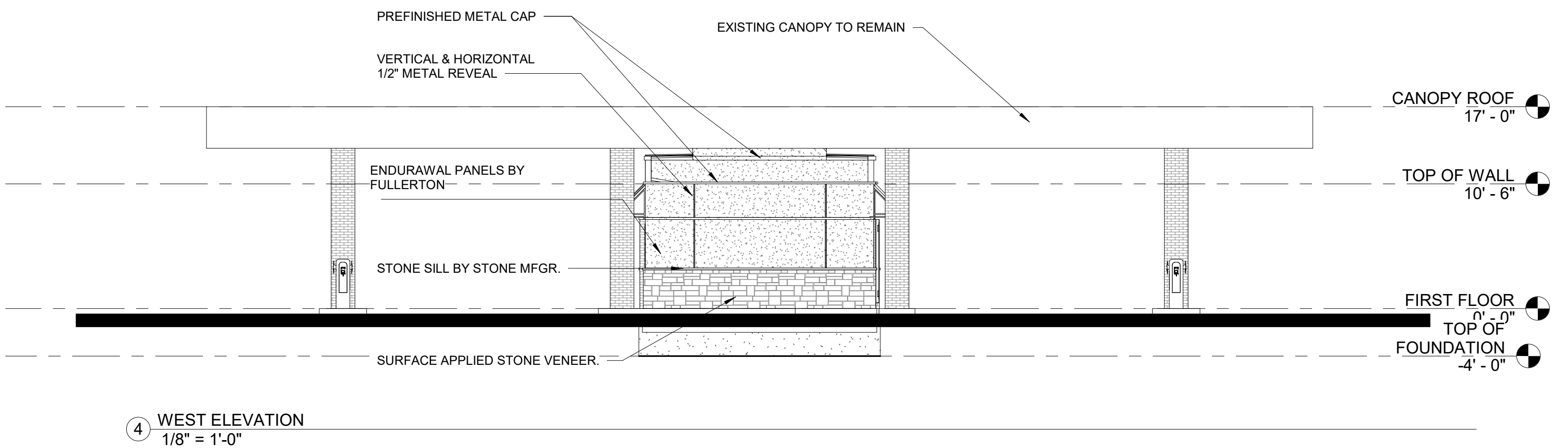
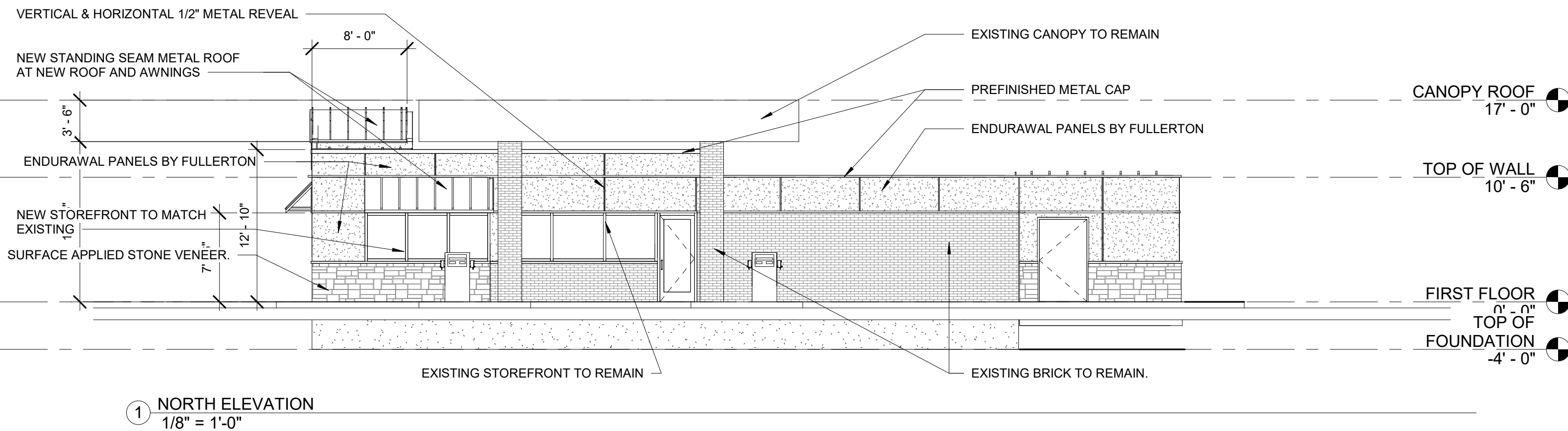
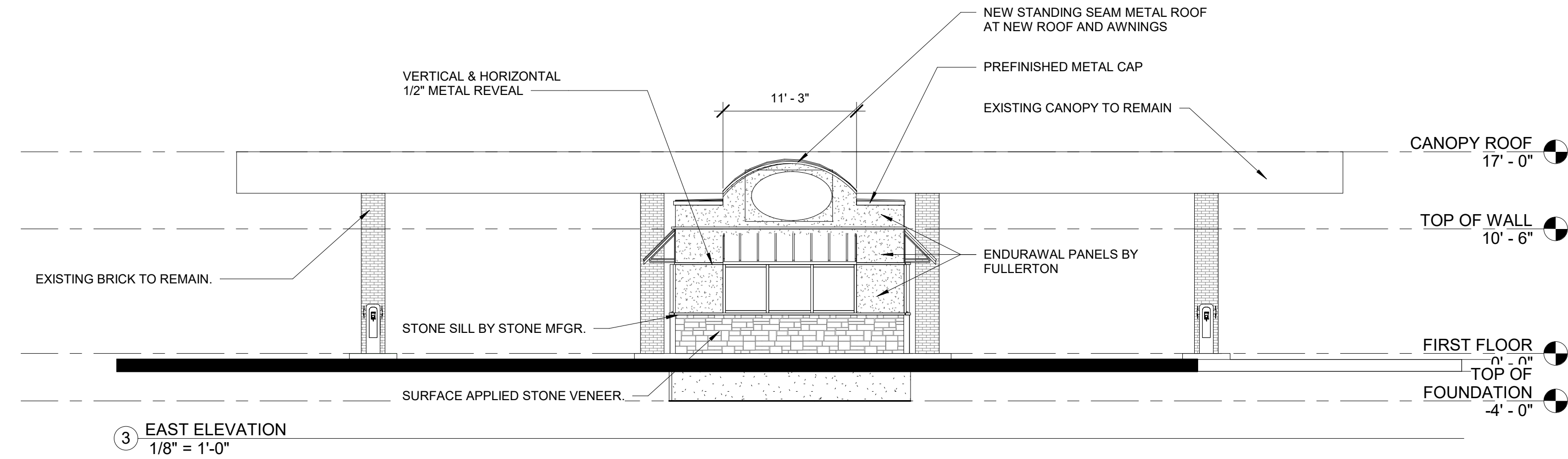
**BAYSIDE OPEN PANTRY**  
**OPEN PANTRY FOOD MARTS**  
501 BROWN DEER ROAD  
BAYSIDE, WISCONSIN 53217

**REVISIONS :**

No.	Description	Date

Date :	January 31,2019
Scale :	As Noted
File Number :	
Drawn :	TES
Project :	201813
Sheet Number :	

**A-301**







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OPEN PANTRY  
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## REVISIONS :

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Date : 1/31/2019

Scale : As Noted

File Number : \*

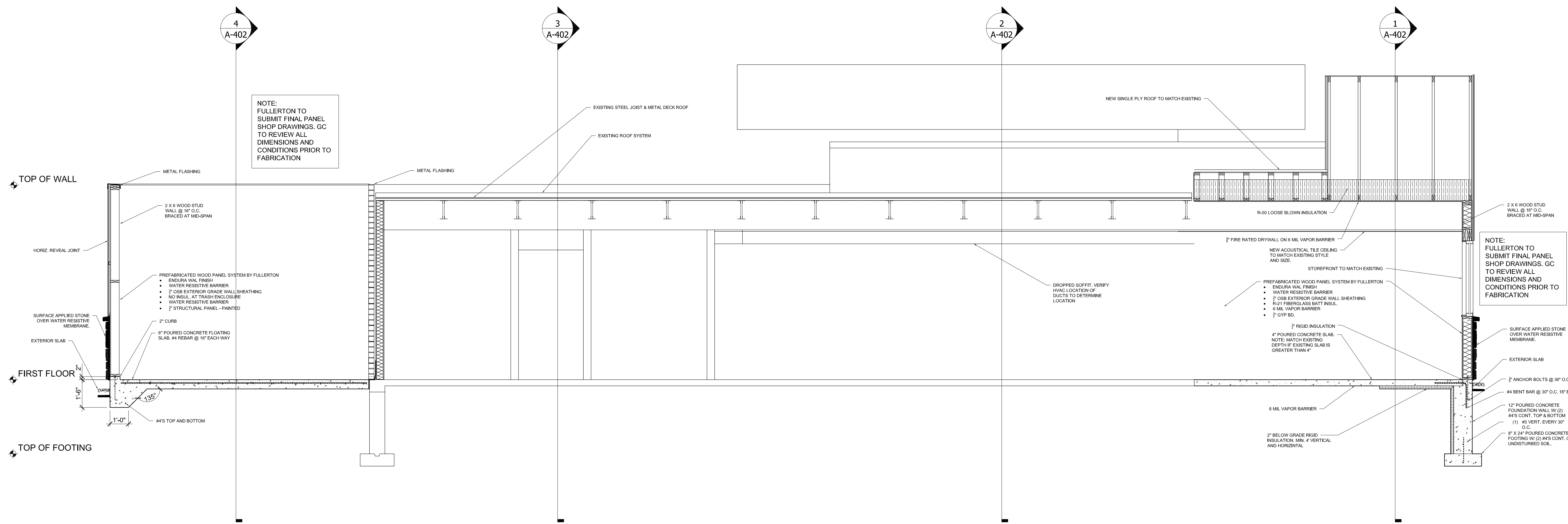
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Project : 201813

Sheet Number :

#### A.4

## Sections



## 1 MAIN BUILDING SECTION

Scale:  $3/8" = 1'-0"$



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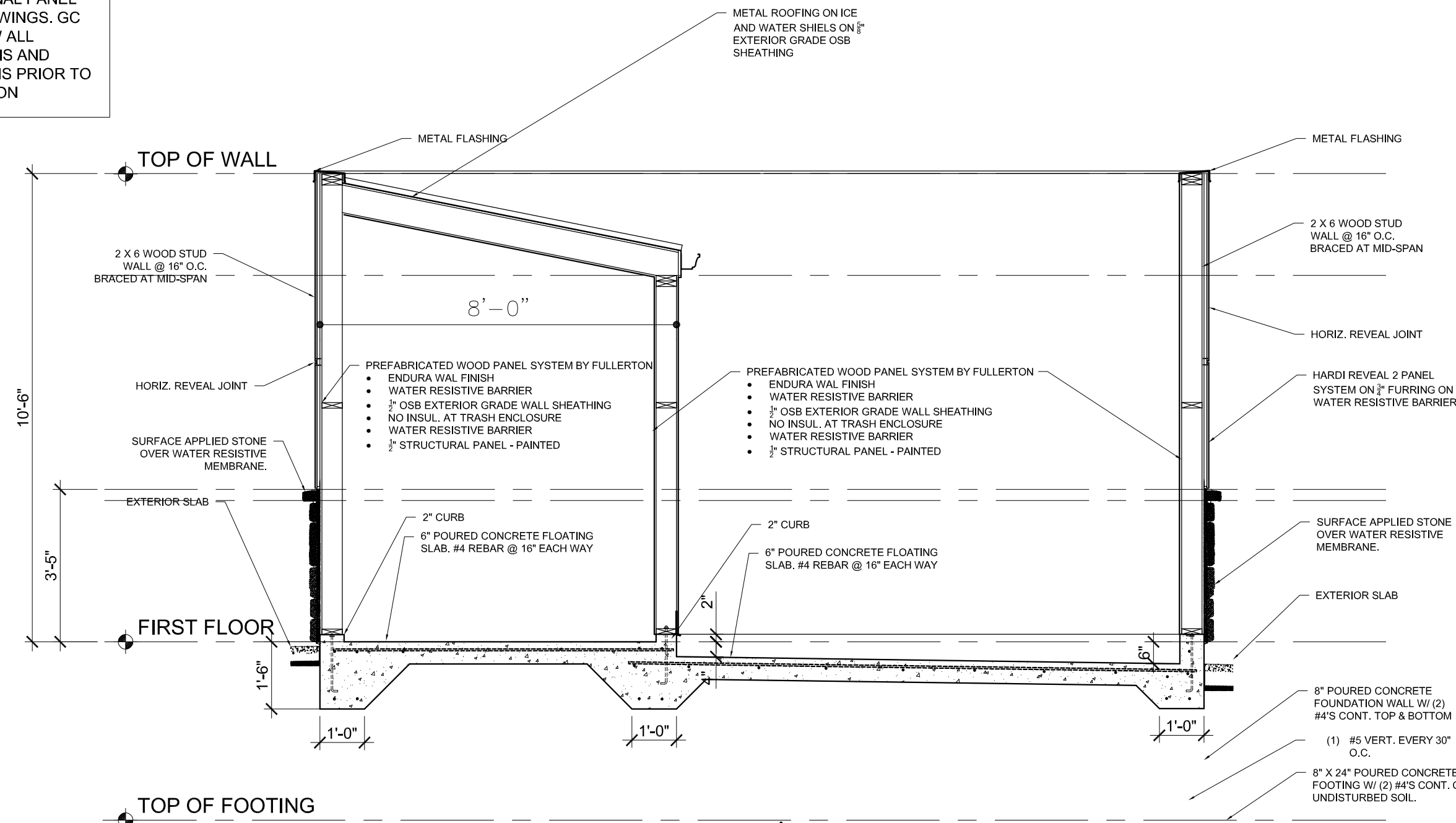
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No.	Description	Date

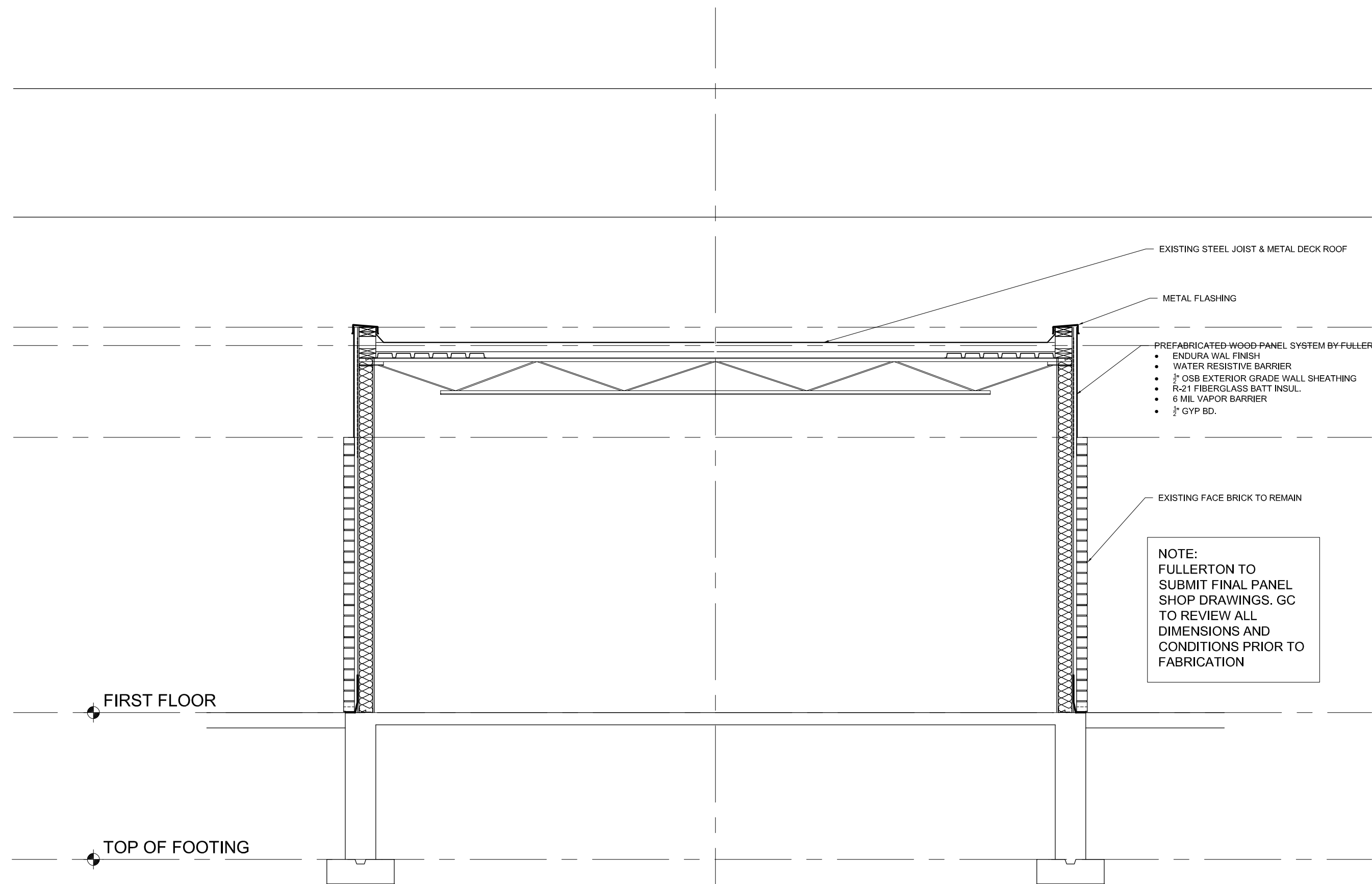
Date :	1/31/2019
Scale :	As Noted
File Number :	A-402.dwg
Drawn :	TES
Project :	201813
Sheet Number :	A-402

Sections

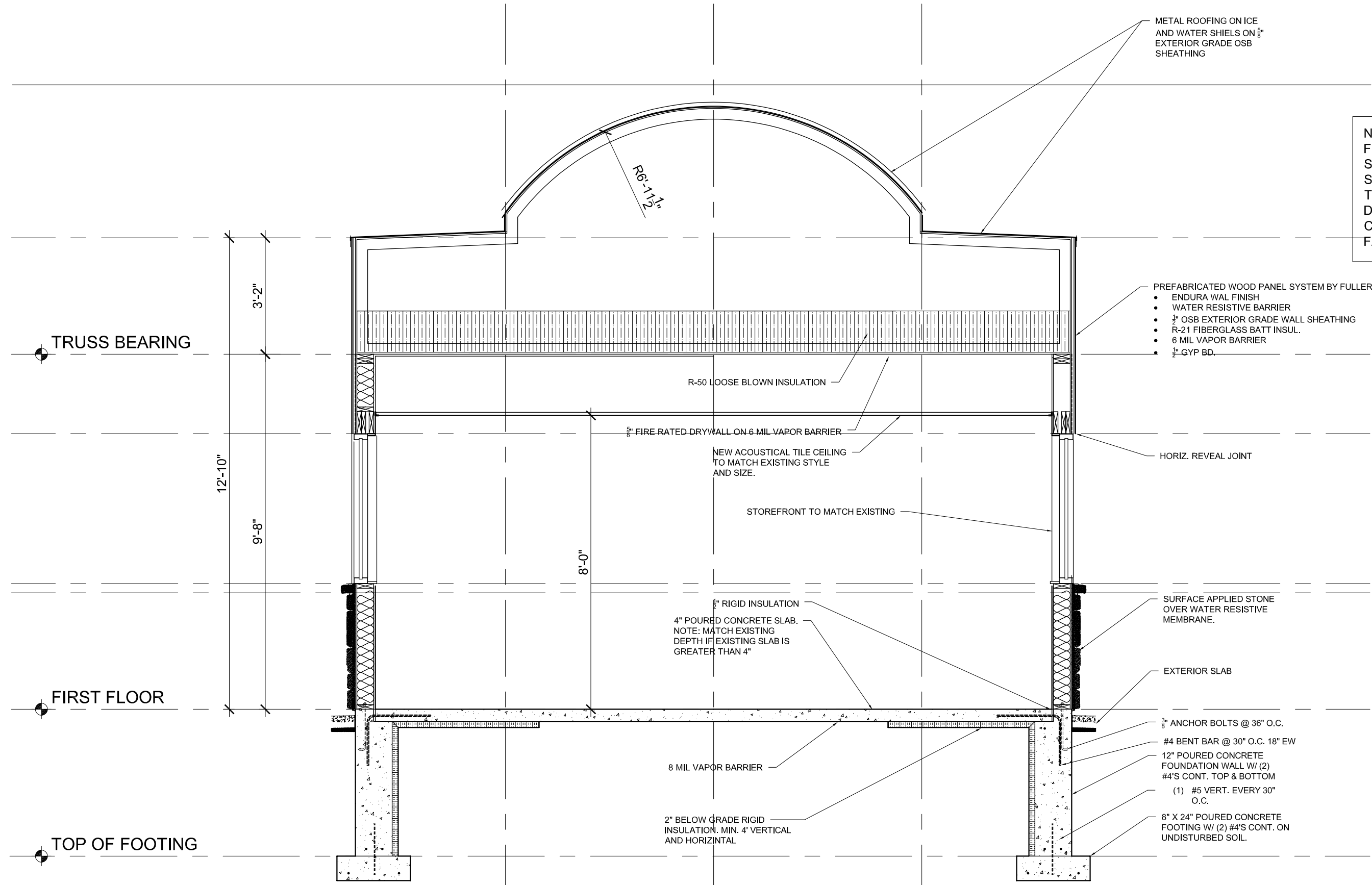
NOTE:  
FULLERTON TO  
SUBMIT FINAL PANEL  
SHOP DRAWINGS. GC  
TO REVIEW ALL  
DIMENSIONS AND  
CONDITIONS PRIOR TO  
FABRICATION



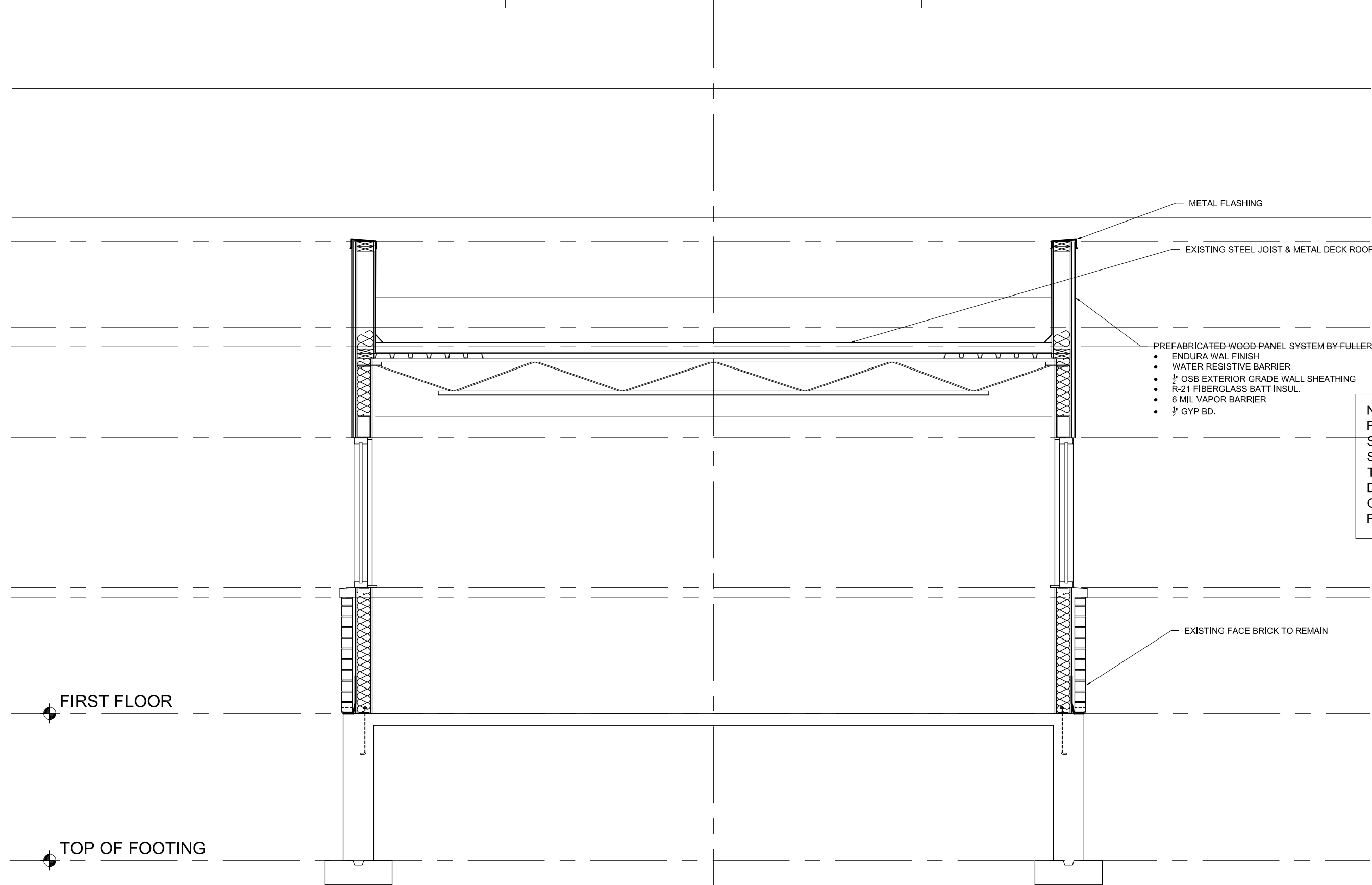
4 SECTION  
Scale: 3/8" = 1'-0"



3 SECTION  
Scale: 3/8" = 1'-0"



1 SECTION  
Scale: 3/8" = 1'-0"



2 SECTION  
Scale: 3/8" = 1'-0"

NOTE:  
FULLERTON TO  
SUBMIT FINAL PANEL  
SHOP DRAWINGS. GC  
TO REVIEW ALL  
DIMENSIONS AND  
CONDITIONS PRIOR TO  
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