



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:
13908

OFFICE USE ONLY	
Issuance Date	3-2-20 12
Zoning	A-1, 50

BUILDING PERMIT

Job Address 1071 E Thorne Building Type: Residential Commercial

Description of Work:

Second story addition

Estimated Cost of Project: \$75,000

Owner/Occupant

Name Jeff Shover Business Name _____
 Address 1071 E Thorne City/State/Zip Fox Point WI 53217
 Phone 414 460-8910 Email _____

****Cautionary Statement required when homeowner is applying for permit****

Contractor

Company Name LaBonte Construction Contractor Name Jeffrey Koenig
 Address 2025 N Summit Ave Suite 111 City/State/Zip Milwaukee WI 53202
 Phone 414-339-6638 Email dave@summa.commercial.com
 Dwelling Contractor # 1202529 Dwelling Contractor Qualifier # 1202529

Square Footage Under Construction

1st Floor _____ 2nd Floor _____ Basement _____ Addition _____ Garage _____

Permit Costs

	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	<u>713.00</u>
Building Board	\$75.00	<u>passed</u>
Footing early start - \$210.00 one and two family; \$280.00 commercial		_____
Plan Review - \$250.00 one and two family; New Construction		_____
\$300.00 plus \$27.00/unit commercial; New Construction		_____
State Seal	\$65.00	_____
Razing, Interior Demolition	\$85.00 minimum plus	_____
Moving Buildings over Public Ways	\$0.12/sqft	_____
Fuel Tanks - Per 1,000 gallons	\$24.00	_____
Re-inspection	\$100.00	_____

Work started without permit **Double Fee**

Payable to: **Village of Fox Point**

Total Permit Fee 713.00

**Minimum Fee \$70.00

Applicant Signature _____

Date 2-26-20

Rev 0819

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 8.002892

Aug 30, 2019

1071 E Thonre Ln

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	

Total:	75.00
--------	-------

CHECK	Check No: 1808	75.00
-------	----------------	-------

	Payor: HD Designs LLC	
Total Applied:		75.00

Change Tendered:	.00
------------------	-----

08/30/2019 9:54 AM

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 2.001477

Feb 27, 2020

1072 E Thorne Ln

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	713.00
24-44460 BUILDING PERMIT	

Total:	713.00
--------	--------

CHECK	Check No: 10641	713.00
	Payor: Property Prep LLC	

Total Applied:	713.00
----------------	--------

Change Tendered:	.00
------------------	-----

02/27/2020 2:12 PM

PLAN REVIEW

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT

Letter of Conditional Approval

- 1) The person picking up this permit is responsible for all contractors calling in requests for final inspections. This includes building, plumbing, heating and electric inspections.
- 2) Inspections may be completed 48 hours after notification.
- 3) Set of approved plans and/or engineering shall be onside for rough and final inspections.
- 4) Electric, heating and plumbing permits are required. The Electrician shall be licensed by the State of Wisconsin. The plumbing contractor shall be licensed by the State of Wisconsin. The heating contractor shall be certified by the state of Wisconsin.
- 5) SPS 321.05(2)-Provide natural ventilation by means of openable doors or windows at the rate of 3.5% of the net floor area of the space. Balanced mechanical ventilation may be provided in lieu of openable windows or doors provided the system is capable of providing at least one air change per hour of fresh outside air while the room is occupied.
- 6) SPS 323.02(3)-Passive intake air ducts providing makeup air for intermittent exhaust fans shall be sized to provide at least 40% of the total air that would be exhausted with all intermittent exhaust ventilation in the dwelling operating simultaneously.
- 7) SPS 323.06-Combustion air required for gas fired equipment, copy available on request
- 8) SPS 321.10-Pressure treated wood required on bottom plates of basement walls.
- 9) SPS 321.03(5) & 321.05(1)-Bedrooms are not permitted in basements unless a code complying 2nd exit is provided and 8% natural light per sq. ft. of bedroom is provided.
- 10) SPS 321.09-An interconnected smoke detector is required in each bedroom, outside each group of bedrooms, and on each other floor. On floor levels that contain one or more sleeping areas, the alarm shall be installed outside of the sleeping area, within 21 feet of the centerline of the door opening to any sleeping area and in an exit path from any sleeping area. All required detectors shall be powered by the building electrical system and battery backup.
- 11) SPS 321.097-An interconnected carbon monoxide detector is required on each floor level including the basement. On floor levels that contain one or more sleeping areas, the alarm shall be installed outside of the sleeping area, within 21 feet of the centerline of the door opening to any sleeping area and in an exit path from any sleeping area. All required detectors shall be powered by the building electrical system and battery backup. They shall be listed and labeled identifying conformance with UL 2034.

PLAN REVIEW

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT

Letter of Conditional Approval

- 12) Plumbing and carpentry inspections must be done with each other. Please make sure both trades are ready before calling for inspections.
- 13) This approval does not apply to electrical or plumbing work being done.
- 14) Lead safe renovation Rule - As of April 22, 2010, renovation work will be regulated when performed for compensation in a dwelling or child-occupied facility built before 1978 and it disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows. Companies and individuals conducting regulated renovation work must be certified. Please contact the Dept. of Health services for any questions.
- 15) SPS321.035(1)-At least one full bathroom door shall be at least 80 inches high and provide either a net clear opening width of 30 inches or be a 32 inch door. This includes doors to a sink, toilet, tub or shower. If this bathroom is accessible only through a bedroom, the bedroom door shall meet the minimum width requirements. This only applies if the existing bathroom door is being replaced.
- 16) An exhaust fan exhausted to the exterior is required in new bathroom.
- 17) Truss Calculations and engineered beam calculations are required before rough carpentry inspection will be made.
- 18) Call for rough inspection.
- 19) All construction shall meet current code.
- 20) Drain tile required around perimeter of addition and connected to house drain tile.
- 21) A water calculation worksheet shall be provided to account for added fixtures.
- 22) SPS 323.02(3)-Rooms with toilets, tubs or showers shall be provided with an exhaust fan capable of exhausting 50cfm per minute.
- 23) Ice maker drain shall comply with SPS 382 Plumbing code.
- 24) Air admittance valves to be tested or an affidavit of testing submitted if approved by the plumbing inspector.
- 25) SPS 321.03(5), (6)-Exits from basements with bedrooms shall follow this requirement.
- 26) SPS 321.26(7), (8)-Install weep holes and flashing in masonry veneers.

PLAN REVIEW

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT

Letter of Conditional Approval

- 27) UBC 30.55(II)E-Energy calcs are not required for new additions to one & two family dwellings constructed prior to December 1, 1978. A recognized heating professional shall provide a written statement that the heating system is capable of maintaining the indoor design temperature during outdoor design conditions per SPS 322.40.
- 28) SPS 321.05(3)-Safety glass required at bathroom tubs and showers and exits.
- 29) SPS 384.20(5)-A water closet may not be located closer than 15 inches from its center to any side wall, partition, vanity, or other obstruction, nor closer than 30 inches center to center, between water closets. There shall be at least 24 inches clearance in front of a water closet to any wall, fixture or door.
- 30) NFPA 54: Ch. 10.15.1.2-Household cooking appliances shall have a vertical clearance above the cooking top of not less than 30 inches to combustible material.
- 31) Follow range/stove manufacturers requirements for cabinets and gas line
- 32) IAPMO certificates or A112.18.3 needed for all hand showers and pullout or side spray faucets except the one with the ASSE 1014.
- 33) Footing certification may be required. *Form available online (Permits & Licenses)*
- 34) Grading, drainage, erosion, and fill permits. Contact Scott Brandmeier: 414-351-8900.
- 35) Footing and foundations to follow ACI 322-14 & ACI 530-13.
- 36) Grading will need an as-built plan to reflect grading at final.
- 37) SPS 382.36 Downspouts which are buried for dispersal is storm sewer piping. A plan is required and this installation must be done by a properly licensed plumbing contractor.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held in Schwemer Hall, 7200 N. Santa Monica Blvd, on Friday, September 6, 2019, at 7:45 am. Those present included:

Michael Rakow
Matt Amman
Bill Feldman
Michael West

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Michael West to approve the minutes from August 16, 2019. Motion was seconded by Bill Feldman. Motion Passed.

AGENDA

- **Steve Proko, 7504 N Crossway Rd, proposed kitchen remodel.** It was the consensus of the Building Board to approve as submitted.
- **John Schneider, 6808 N Barnett Ln, resubmittal expand garage.** It was the consensus of the Building Board to approve as submitted.
- **Claudea Koehler, 7531 N Boyd Way Rd, resubmittal screened patio.** It was the consensus of the Building Board to approve as submitted.
- **Jeffrey Shovers, 1071 E Thorne Ln, proposed second floor addition.** It was the consensus of the Building Board to approve as submitted.
- **Kyle Runbeck, 8012 N Santa Monica Blvd, proposed kitchen remodel.** It was the consensus of the Building Board to approve as submitted.
- **Dean Segal, 7037 N Lombardy Rd, proposed addition/bath & bedroom remodel.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by Michael West. Motion seconded by Matt Amman. Motion Passed. Building Board adjourned at 8:20 am.

Respectfully Submitted,

Michael Rakow
Building Inspector
Village of Fox Point

HB DESIGNS LLC
CUSTOM RESIDENTIAL ARCHITECTURE



August 28, 2019

Open Area

Pamela and Jeffrey Shovers
1071 E Thorne Ln
Fox Point, WI 53217

Lot Area = 87,780 sq ft
First Floor (including attached garage) = 2872 sq ft
Second Floor (including new addition) = 2232 sq ft
Detached garage = 440 sq ft

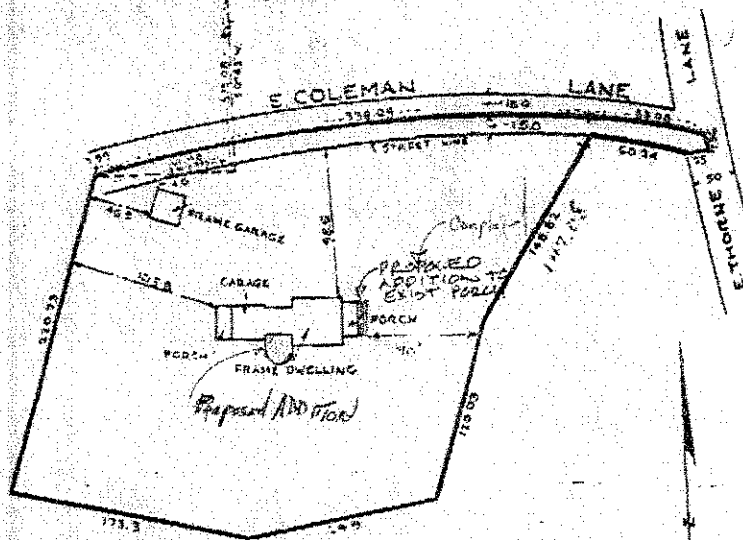
Plat of Survey

Title Guaranty Company of Wisconsin

Milwaukee



KNOWN AS 103 E COLEMAN LANE FOX POINT WISCONSIN
 FOR FULL DESCRIPTION SEE REVERSE SIDE
 ORDER NO. 145676
 SURVEY NO. 7140 -M
 WILLIAM M. BAGER - OWNER
 OCT. 10 - 1936
 SCALE 1" = 100'
 CENTER OF SEC. 16



We hereby Certify that we have surveyed the property described above according to official records, and that the plat above is a correct representation of the lot lines and principal lines of buildings thereon, which are shown on this photograph.

NATIONAL SURVEY SERVICE
 CIVIL ENGINEERS AND SURVEYORS
 MILWAUKEE, WIS.

BY

J. H. Becker

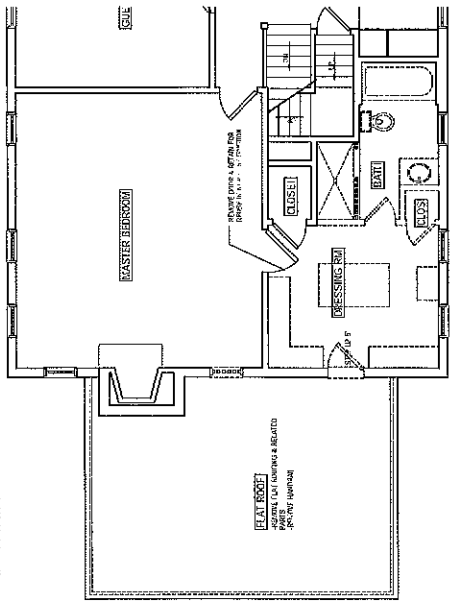


PROTECTION

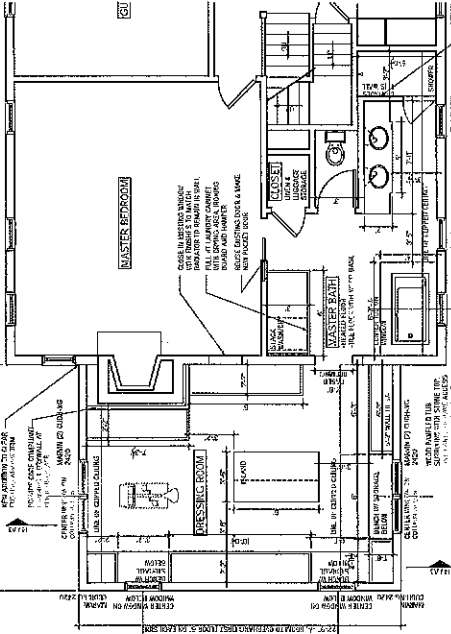
FOR LOCATION OF PROPERTY SEE MAP ON REVERSE SIDE

GENERAL INFORMATION NOTES

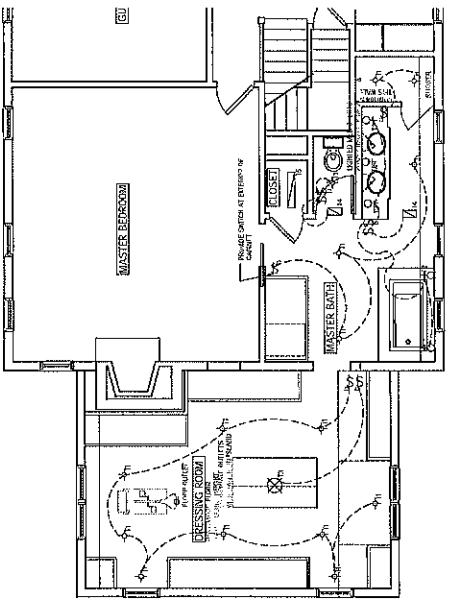
1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
3. ALL FINISHES TO BE DETERMINED BY THE ARCHITECT.
4. ALL FINISHES TO BE DETERMINED BY THE ARCHITECT.



Partial Second Floor Plan - Existing
Scale 1/4" = 1'-0"

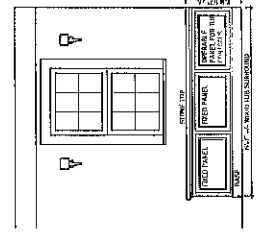


Partial Second Floor Plan - Proposed
Scale 1/4" = 1'-0"

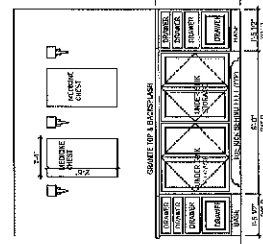


Partial Second Floor Plan - Utility Plan
Scale 1/4" = 1'-0"

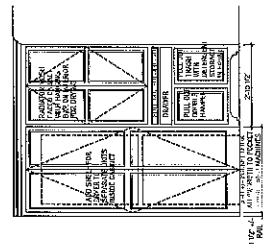
- GENERAL NOTES:
- 1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 - 2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 - 3. ALL FINISHES TO BE DETERMINED BY THE ARCHITECT.
 - 4. ALL FINISHES TO BE DETERMINED BY THE ARCHITECT.



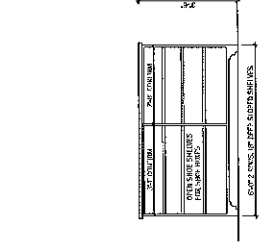
Master Bath - Tub Elevation
Scale 1/2" = 1'-0"



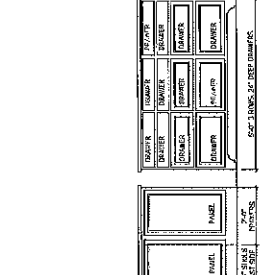
Master Bath - Vanity Elevation
Scale 1/2" = 1'-0"



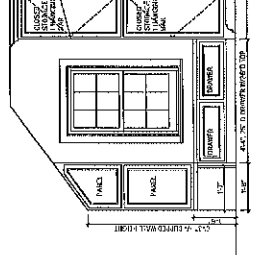
Master Bath - Shower Cabinet Elevation
Scale 1/2" = 1'-0"



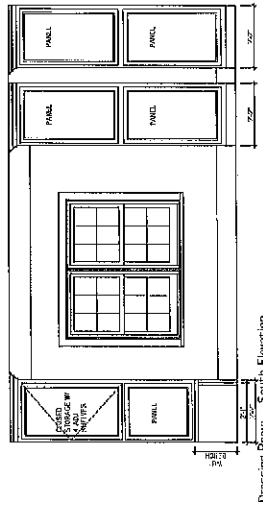
Dressing Room - Island Elevation
Scale 1/2" = 1'-0"



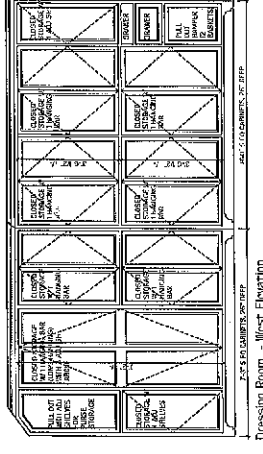
Dressing Room - North Elevation
Scale 1/2" = 1'-0"



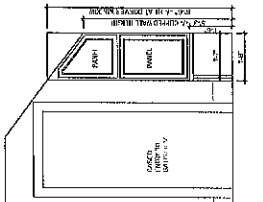
Dressing Room - South Elevation
Scale 1/2" = 1'-0"



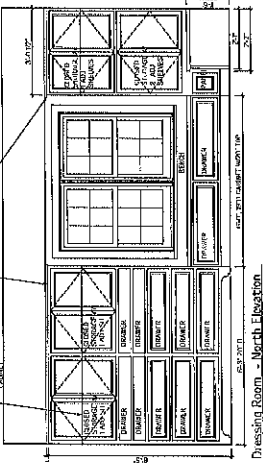
Dressing Room - South Elevation
Scale 1/2" = 1'-0"



Dressing Room - West Elevation
Scale 1/2" = 1'-0"



Dressing Room - North Elevation
Scale 1/2" = 1'-0"



Dressing Room - South Elevation
Scale 1/2" = 1'-0"

DATE: SEPTEMBER 15, 2011
PROJECT: SHOWERS RESIDENCE
FOOTING: 45' x 50'
SCALE: 1/4" = 1'-0"
DRAWN BY: J. J. JONES
CHECKED BY: J. J. JONES
PROJECT NO.: 11-001

