

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd  
 Fox Point, WI 53217  
 (414) 247-6622  
 www.villageoffoxpoint.com

**Permit Number:**

P 14630

**OFFICE USE ONLY**  
 Issuance Date 9-9-21

**PLUMBING PERMIT**

Job Address	<u>1023 E Thorne Ln</u>	Building Type:	<u>Residential</u> Commercial
Description of Work	<u>Drain tile for (1) sump &amp; (4) downspouts</u>		
Owner/Occupant Name	<u>Maureen Bazelton</u>		

<b>Contractor</b>	
Company Name	<u>Jims Excavating</u>
Address	<u>2400 Cedar Saut Rd <del>Saukville</del></u>
Phone	<u>414-322-3547</u>
Master Plumber Number	<u>223174 ✓</u>
Master Plumber Name	<u>Jim Winnemueller</u>
City/State/Zip	<u>Saukville, WI 53080</u>
Email	<u>Jim@jimsexcavating.com</u>

Fixtures	Qty	Fixtures	Qty	Fixtures	Qty	Fixtures	Qty
AAV		Disposal		Laundry Tray		Wash Machine Connection	
Bar Sink		Drinking Fountain		Shower		Water Meter	
Bathtub		Floor Drain		Sink		Water Closet	
Bidet		Grease Trap		Sump, Clear		Water Heater	
Conductor		Hose Bib		Sump, Sanitary		Water Treatment Device	
Dishwasher		Ice Maker		Urinal		Other	
Dispenser		Irrigation System		Wash Basin		Other	
Total number of fixtures X \$10.00				<b>Total Section One</b>		<b>\$</b>	

Description	Rate	Qty	Amount
Sanitary Building Drain 0-100 Feet	\$60.00		
Over 100 feet	\$0.50/ft		
Storm Building Drain 0-100 Feet	\$60.00		
Over 100 feet	\$0.50/ft		
Sanitary Building Sewer 0-100 Feet	<b>SITE PLAN REQUIRED</b>		
Over 100 feet	\$0.50/ft		
Storm Building Sewer 0-100 Feet	<b>SITE PLAN REQUIRED</b>		
Over 100 feet	\$0.50/ft	<u>110</u>	<u>60</u> <u>55</u>
Water Service 0-100 Feet	<b>SITE PLAN REQUIRED</b>		
Over 100 feet	\$0.50/ft		
Well Abandonment	\$60.00		
Well Operation (5 years)	\$120.00		
Fire Sprinkler Systems	\$60.00		
Exhaust Hood Suppression System-Commercial	\$100.00		
Cap Sewer and Water Each	\$60.00		
Catch Basin and Manholes Each	\$30.00		
Street Excav: Pavement-\$1000, Not in Roadway/Sidewalk-\$500		Deposit	
Work started without permit	<b>Double Fee</b>		
	<b>Minimum Fee</b>	<b>\$60.00</b>	
<b>Section One Total</b>			
Payable to: Village of Fox Point	<b>Total Permit Fee</b>	<b>\$</b>	<u>115</u>

Applicant Signature [Signature]

Rev 0619

Date 9-8-21

**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056619

Sep 8, 2021

1023 E Thorn Ln

Previous Balance:	.00
LICENSES & PERMITS - PLUMBING PERMIT	115.00
24-44470 PLUMBING PERMIT	

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Total:	115.00
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CHECK	Check No: 16439	115.00
Payor: The Secret Garden		

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Total Applied:	115.00
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Change Tendered:	.00
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PLAT NO. LS-3774-15  
FIELD CREW: D.R.G. & E.A.J.  
DRAWN BY: J.G.S.



**NORTH SHORE ENGINEERING, INC.**  
Consulting Engineers & Land Surveyors  
11433 N. Port Washington Rd., Mequon, Wisconsin, 53092  
(262) 241-9400 • FAX: (262) 241-5337

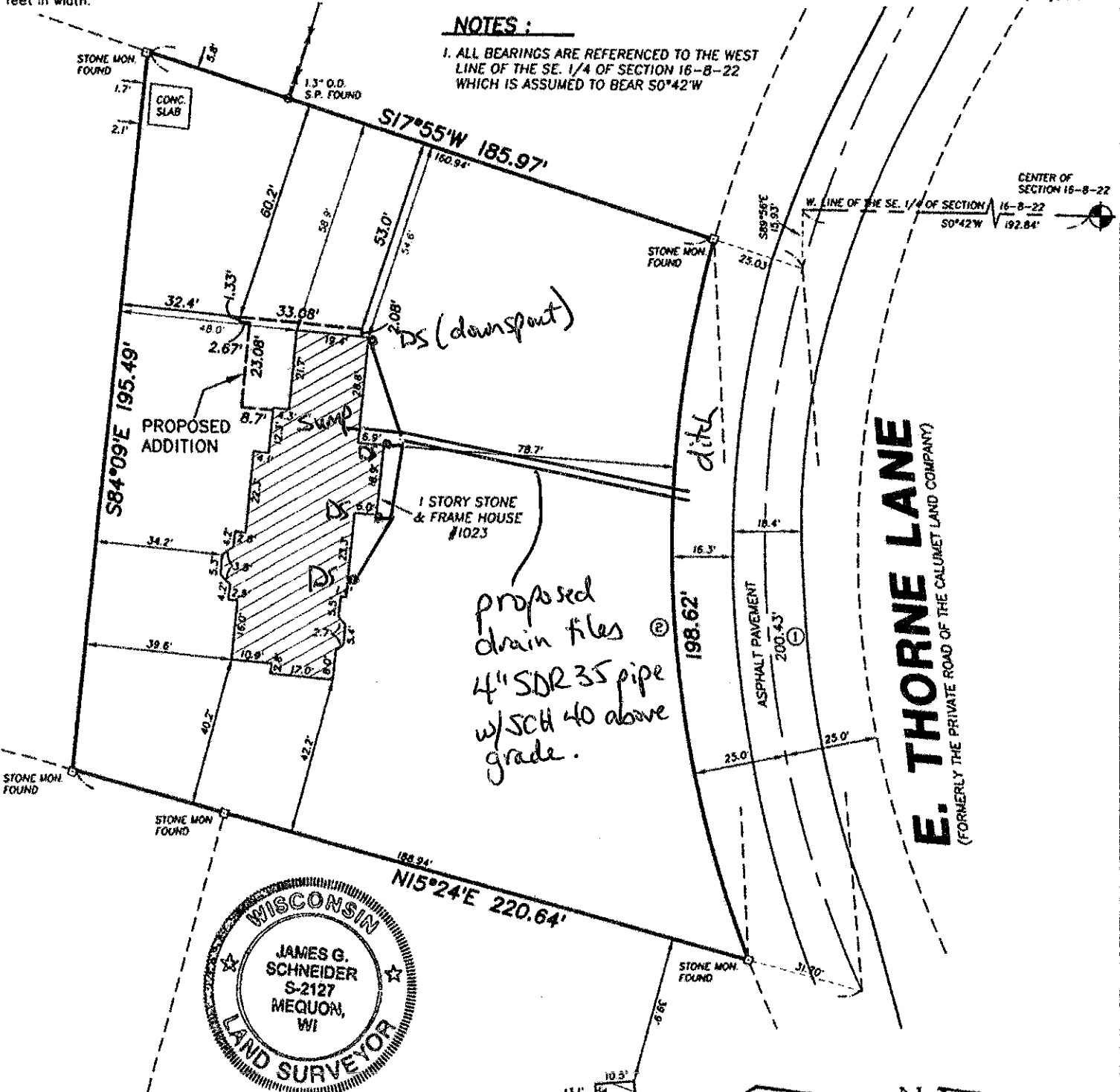
PLAT OF SURVEY

Prepared For: Fein Design / 1023 E. Thorne Lane

Property Description: All that part of Lots Nine (9) and Ten (10) in the Southeast One-quarter (1/4) and Southwest One-quarter (1/4) of Section Sixteen (16), in Township Eight (8) North, Range Twenty-two (22) East, in the Village of Fox Point, Milwaukee County, Wisconsin, bounded and described as follows Commencing at a point which is 15.93 feet, S89°56'E of a point which is 192.84 feet, S00°42'W of the center of Section Sixteen (16) aforesaid, said point being in the center of a Private Road (n.k.a. E. Thorne Lane) and said point being the place of beginning of the land to be described; thence S17°55'W, 185.97 feet to a point, thence S84°09'E, 195.49 feet to a point, thence N15°24'E, 220.64 feet to a point in the center of a Private Road, (n.k.a. E. Thorne Lane) thence Southwesterly, 200.43 feet along a curved line, whose radius is 290 feet and whose center is to the North (the long chord of which curve bears S85°23'W, 196.50 feet) to the place of beginning, said last described course and distance being on and along the center line of a Private Road (n.k.a. E. Thorne Lane) of the Calumet Land Company, 50 feet in width.

NOTES:

- 1. ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SE. 1/4 OF SECTION 16-8-22 WHICH IS ASSUMED TO BEAR S0°42'W



*DS (downspout)*

*proposed drain files @ 4" SDR 35 pipe w/ SCH 40 above grade.*

**E. THORNE LANE**  
(FORMERLY THE PRIVATE ROAD OF THE CALUMET LAND COMPANY)

