

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

~~\$17.00 PAID~~ BUILDING PERMIT
RECEIPT #1.052750
Permit No. 16889

Date Submitted: 4-12-2017

APPLICATION FOR BUILDING OR RAZING

The undersigned hereby applies for a permit to build or raze, in accordance with the information tabulated hereafter,

Type of Project: Fence Address: 415 W. Bergen
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Size of Structure: (square feet/cubic feet) Height of Structure: 4 ft (stories or feet)

Distance - Street Line to Front Line of Structure: (feet) Distance - Side Lot Line to Structure: (feet)

Estimated Cost: \$18,000.

Remarks - Please indicate scope of work: Aluminum Black fence
in Back yard & side yard staying back
the setback of the House per
Survey

Herewith are filed the specifications that describe the work in question and as shown on the plans above submitted.

In making the application, the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure: Angela Johnston Architect/Contractor: A1 Fence
Address: 415 W. Bergen Address: 11040 N. Buntrock Ave
City: Fox Point State: WI Zip: 53090 City: Mequon State: WI Zip: 53092
Telephone: 414-332-6505 Telephone: 414 217 8848
Email Address: Email Address: Sales @ A1-fence.com

Dwelling Contractor Certification No.: 16405 Expiration Date: 2018

Dwelling Contractor Qualifier Certification No.: 16406 Expiration Date: 2018

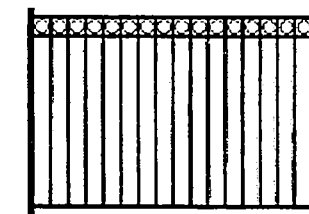
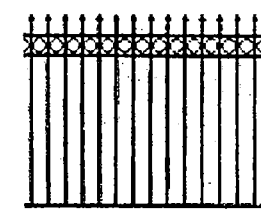
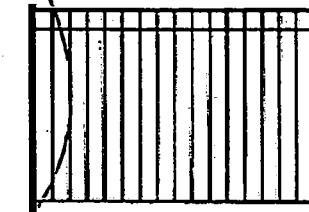
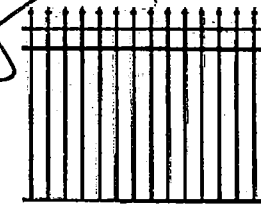
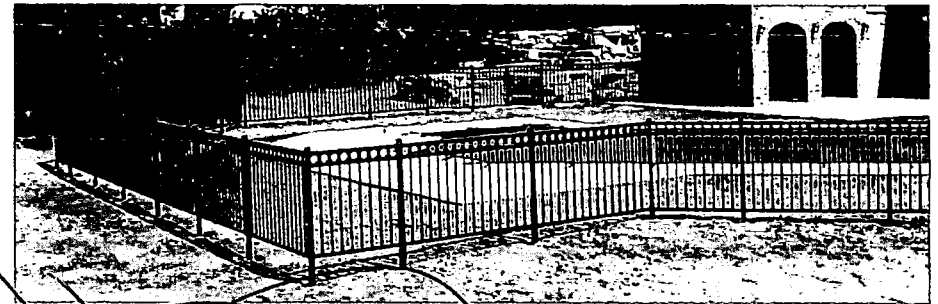
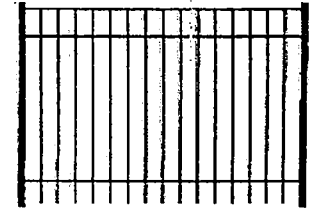
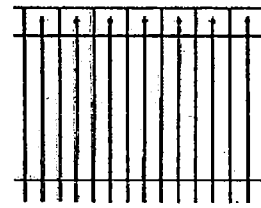
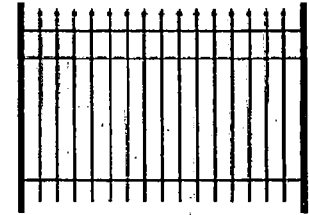
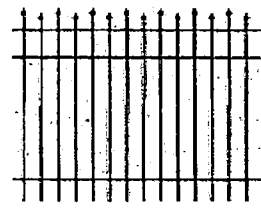
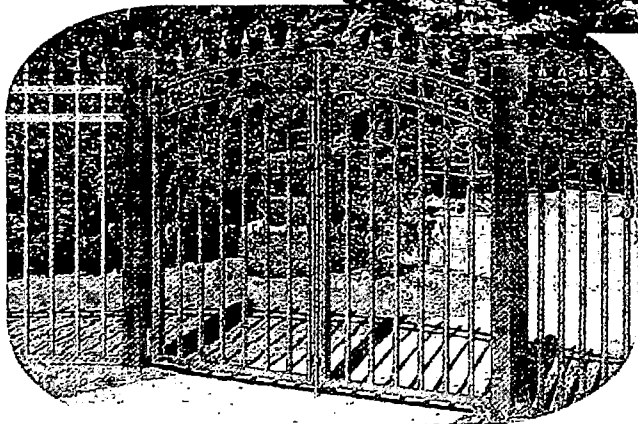
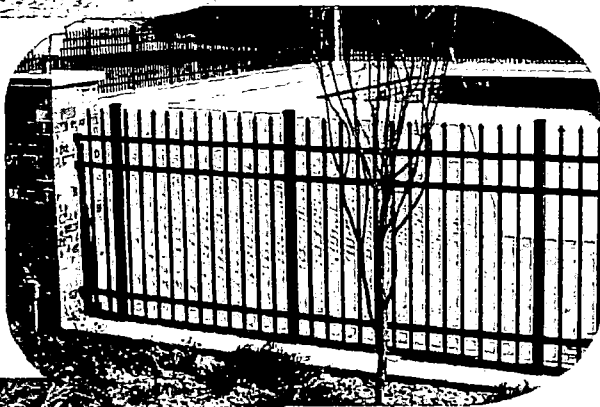
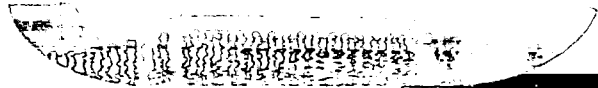
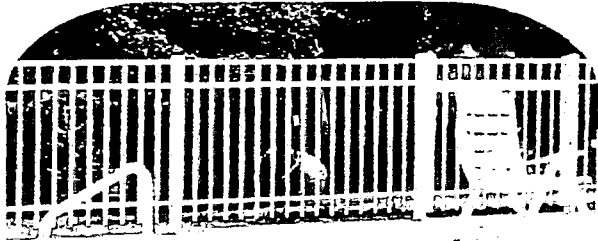
Permit Fee: \$17.00 Receipt No.: 1.052750

Applicant Signature: Date Application Approved: 4/17/17

IF HOMEOWNER IS APPLYING FOR A BUILDING PERMIT,
A SIGNED CAUTIONARY STATEMENT FORM MUST BE ATTACHED.

ORNAMENTAL FENCES

AVAILABLE IN: **Black Fine Texture, Bronze Fine Texture, Evergreen, Gloss Beige, Gloss White and Gloss Gold.**



Date Submitted:

2/2/17

Permit No.

APPLICATION FOR BUILDING OR RAZING

The undersigned hereby applies for a permit to build or raze, in accordance with the information tabulated hereafter,

Type of Project:

Fence

Address:

415 W Bergen

Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Size of Structure:

500

(square feet/cubic feet)

Height of Structure:

4 + 3 1/2'

(stories or feet)

Distance - Street Line to Front Line of Structure:

(feet)

Distance - Side Lot Line to Structure:

(feet)

Estimated Cost:

Total = \$25,000

Remarks - Please indicate scope of work:

Fencing - Aluminum entire side & Back
& Along Front & East Property Line

Herewith are filed the specifications that describe the work in question and as shown on the plans above submitted.

In making the application, the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure:

Angela Johnston

Architect/Contractor:

A1-Fence

Address:

415 W Bergen

Address:

11040 N Buntrock Ave

City:

Fox Point

State:

WI

Zip:

City:

Mequon

State:

WI

Zip:

53092

Telephone:

414 332-6505

Telephone:

414 - 217 - 8848

Email Address:

✓

Email Address:

Sales @ A1-fence.com

Dwelling Contractor Certification No.:

18405

Expiration Date:

2018

Dwelling Contractor Qualifier Certification No.:

18406

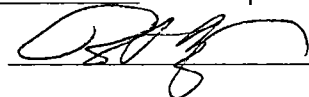
Expiration Date:

2018

Permit Fee:

Receipt No.:

Applicant Signature:



Date Application Approved:

IF HOMEOWNER IS APPLYING FOR A BUILDING PERMIT,
A SIGNED CAUTIONARY STATEMENT FORM MUST BE ATTACHED.



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT 53217-3505
414-351-8900
FAX 414-351-8909

February 6, 2017

Angela Johnston
415 W. Bergen Drive
Fox Point, WI 53217

Dear Ms. Johnston:

I have received your application for a Building Permit to construct a new fence on your property.

In reviewing your application, I observed that you are proposing to construct a 3.5 foot tall aluminum fence in the front yard area of your property. The survey attached to your application shows that the proposed fence will be forward of the front line of your home (principal building) and it will be constructed along your east and north property lines. This is contrary to section 745-7(B)(3)(h)[2] of the Fox Point Village Code which states that no new fence, wall, architectural screening device, driveway gate or arbor may be located beyond the front line of the principal building on the property unless permitted by the Board of Appeals (BOA) by special exception after a hearing pursuant to the procedures set forth in subsection 745-7(B)(3)(j) of the Village code.

For the foregoing reasons, I am hereby withholding the issuance of your Building Permit at this time. Please contact the Village Clerk/Treasurer, Kelly Meyer, if you would like to submit an application to the BOA to request a special exception.

Please feel free to contact me should you have any questions concerning this letter.

Sincerely,

Scott Miller
Building Inspector
Village of Fox Point

Cc Village Manager
Village Attorney
Village Clerk/Treasurer
A-1 Fence Company
File



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
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Sincerely,

Scott Miller
Building Inspector
Village of Fox Point

Cc Village Manager
Village Attorney
Village Clerk/Treasurer
A-1 Fence Company
File

Scott Miller

From: noreply@civicplus.com
Sent: Monday, March 28, 2016 6:54 PM
To: Scott Miller
Subject: Online Form Submittal: Contact the Building / Electrical / Plumbing Inspector

Contact the Building / Electrical / Plumbing Inspector

First Name	James
Last Name	Keegan
Address1	415 W Bergen Dr
Address2	<i>Field not completed.</i>
City	Fox Point
State	Wisconsin
Zip	53217
Phone Number	6082131216
Email	jameskeeg@gmail.com

Message: Hi Scott, I spoke to you earlier today regarding the plans I submitted to finish off my basement. You had requested the dimension between the floor and the bottom of joist, which I measured tonight as 7' 5". Please let me know if there is any additional information required for the building permit. Thanks for your help with this. Thanks, James Keegan 415 W Bergen Dr. (608)213-1216

Email not displaying correctly? [View it in your browser.](#)



VILLAGE OF FOX POINT

MILWAUKEE COUNTY

WISCONSIN

VILLAGE HALL

7200 N. SANTA MONICA BLVD.

FOX POINT WI 53217-3505

414-351-8900

FAX 414-351-8909

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

JAMES KEEGAN

Homeowner's Name – PRINTED

415 W. BERGEN DR

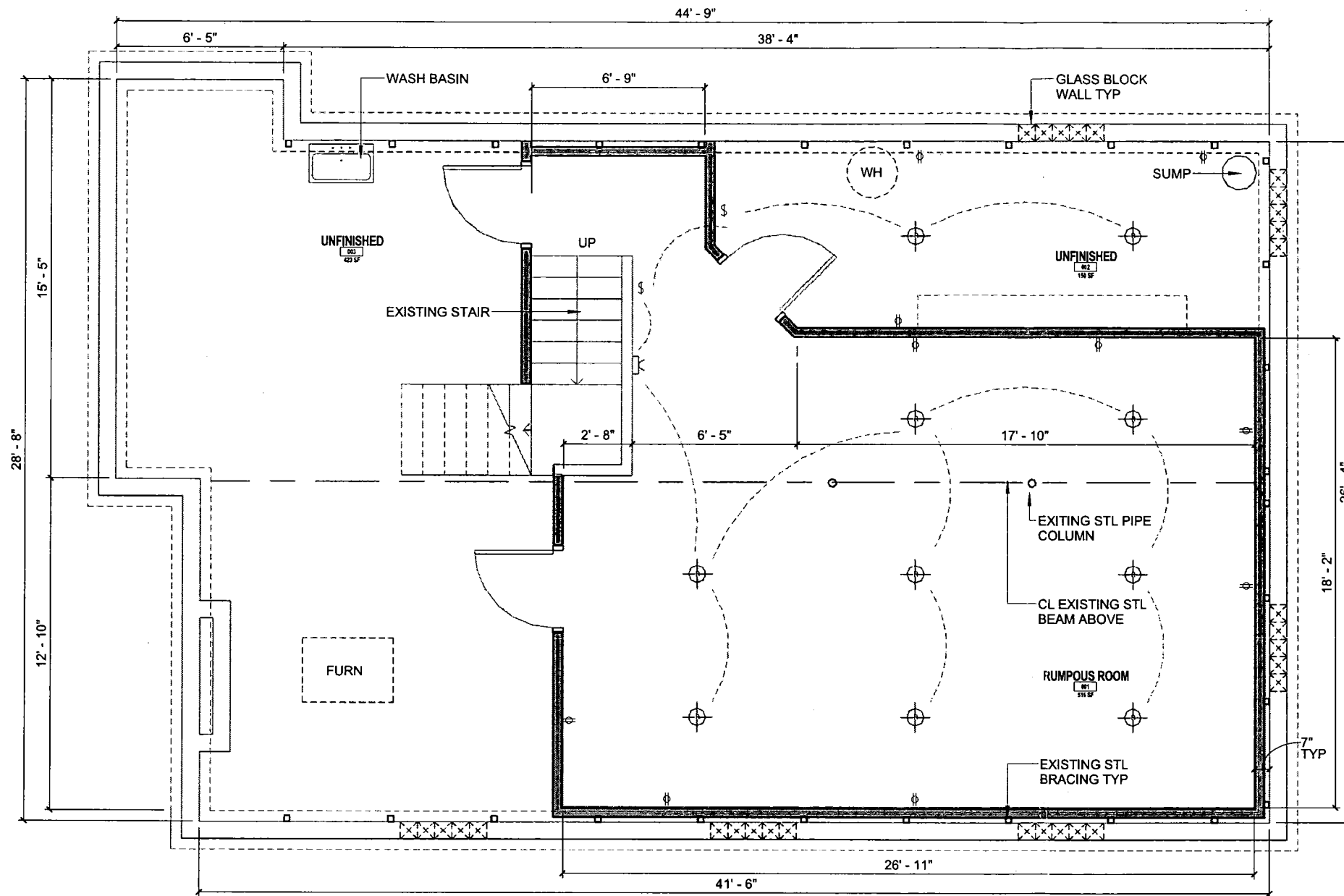
Fox Point Property Address

[Signature]

Homeowner's Signature

3/17/16

Date



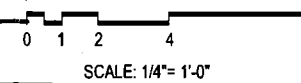
NOTES

1. ALL NEW WALLS 2X4 W/ 1/2" GYPSUM WALL BOARD UNO
2. ALL DOORS 36" WIDE - 6 PANEL DOORS.
3. THE ONLY THING I'M GOOD AT IS RIDING THIS BIKE. TO GIVE THAT UP WOULD BE VERY SELF-DESTRUCTIVE

LEGEND

- ⊕ WALL OUTLET
- \$ SWITCH
- ⊙ RECESSED LIGHT FIXTURE

1 00-BASEMENT KEEGAN RES.
1/4" = 1'-0"



BASEMENT FLOOR PLAN

CONTRACTOR INFORMATION	
Date	4-22-16
State Master Electrician License No.	1183790
State Electrical Contractor Certification No.	1256260

VILLAGE OF FOX POINT
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
414-351-8900

APPLICATION FOR ELECTRICAL PERMIT

OFFICE USE ONLY	
Permit No.	21311
Received	4/25/16
Service	
Rough-In	
Final	

Owner's Name: JAMES KEEGAN	Address at which work is to be done: 415 W BERGEN DR
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ESTIMATED COST OF JOB

~~\$600.00~~ \$600.00

Buildings:

- ☒ Residential
- ☐ Commercial
- ☐ Industrial
- ☐ Institutional
- ☐ New Construction
- ☐ Additional Rooms
- ☒ Remodeling
- ☐ New Occupancy

Where on Premises? - DESCRIBE:

BASEMENT
FAMILY ROOM
BUILD OUT

List Name of Installing Contractor

HEATING

AIR CONDITIONING

PLUMBING

No.	Description	Qty.	Rate of Fees	Amount
1	Light, switch, and convenience outlets	16	.70 ea.	11.20
2	Lighting Fixtures	11	.70 ea.	7.70
3	Fluorescent Fixtures - per tube		.70 ea.	
4	Range, Electric		8.00 ea.	
5	Garbage Grinding and Disposal Unit		8.00 ea.	
6	Dishwasher		8.00 ea.	
7	Clothes Dryer		8.00 ea.	
8	Water Heaters, Electric		8.00 ea.	
9	Gas Burner, Oil Burner, or Stoker		8.00 ea.	
10	Refrigerating, Air Cooling or similar machine - .25 per HP		8.00 min.	
11	Feeders - No. 6 A.W.G. or Larger		10.00 ea.	
12	Temporary Service Permit for: How Long?		30.00 ea.	
13	Services: Service Switches, ea.		05.00 ea.	
	Service 1. 0 through 100 amps.		25.00 ea.	
	Service 2. 101 through 400 amps.		40.00 ea.	
	Service 3. 401 through 600 amps.		40.00 ea.	
	Service 4. 601 through 1000 amps.		60.00 ea.	
	Service 5. Thereafter, each additional 1000 amps.		5.00 ea.	
14	Motors over 1/4 HP		.70 per HP or frac.	
15	Fuel Dispensing Pumps		6.00 ea.	
16	Transformers, Rectifiers, and Generators		2.00 per KW	
17	Space Heating Systems, per circuit		4.00 ea.	
18	Power receptacles - 120 Volts or over 1. Through 30 amps.		3.00 ea.	
19	2. Over 30 amps.		5.00 ea.	
20	Wireways, busways, underfloor raceways, or auxiliary gutters		.50 per ft.	
21	Strip Lighting, Plug-in Strip, Trol-E Duct, or similar system		.50 per ft.	
22	Signs, Electric-.75 ea. Socket, plus 2.00 ea. additional transformer		8.00 min.	
23	Swimming Pool Wiring: A. Inground pools		40.00	
24	B. Above ground pools		40.00	
25	Spas, Hot-Tubs, Hydromassage Bathtubs		6.00	
26	MINIMUM CHARGE FOR ANY ONE PERMIT		60.00	60.00
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00	
28	DOUBLE FEES will be charged for any work started before obtaining permit			
MAKE CHECKS PAYABLE TO: Village of Fox Point MAIL TO: Electrical Inspector				
TOTAL FEES				60.00

Receipt # 52048

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

Contractor	BRIK ELECTRIC	ERIK AHONEN	Signature of Supervising Electrician	<i>Erik Ahonen</i>
Address	3720 E BIRCHWOOD AVE		Telephone No.	414-460-4192
City	CODAHY	State	WI	Zip 53110
			Email Address	eahonen@wi.rr.com

This Permit is void if work is not started within 2 months, or if started, no work is done before 2 months.

120920 #160

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 7776

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner ☐ Type _____
Forced Air, Radiant, Baseboard, Etc.Fuel: ☐ Gas ☐ Oil ☐ Coal ☐ Elect. ☐ Other _____

Desc. of Heating Plant _____

Vented to _____

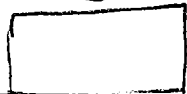
Fuel Tank ☐ : _____ Size _____ Location _____Summer Air Conditioner ☒ Size 2 TON (Ton, H.P.)Coolant R410ACompressor Coolant: Air ☒; Water ☐;

If Water Cooled:

Source of Water _____

Discharged to _____

Bergan Dr.



A/C → A/C

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Replacement of A/C, next to current A/CIncinerator ☐ Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Heegan, JamesAddress of Work 415 W. Bergan Dr. Fox Point, WI

OFFICE USE ONLY

Application
Approved:Installation
Approved:4/9/12Joe Donovan
Signed3/26/12
DateContractor DONOVAN & JORGENSENAddress 5420 W ELECTRIC AVECity WEST ALLIS, WI 53219 Phone _____State WI Zip _____State Credential Number 3702 & Expiration Date FAX 414-727-4601

Receipt No: 1.039754

Apr 09, 2012

415 W BERGEN DRIVE

LICENSES & PERMITS-HEATING PERMIT	60.00
24-44450 HEATING PERMIT	

Total:	60.00
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CHECK	Chk No: 81797	60.00
Total Applied:		60.00

Change Tendered:	.00
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04/09/12 12:49pm

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

APPLICATION FOR
HOME OCCUPATION PERMIT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217
(414)351-8900

Date of application 7-25-7

Name of homeowner/applicant RYAN J ROBERTS Phone 414-351-1974

Name of business NORTH SHORE PARTY RENTALS

Address 415 W BERGEN DR Business Phone 414-351-1974

List all owners of business and the birth date of all owners RYAN ROBERTS 9-3-77 Michelle Roberts 2-2-71

Type of business PARTY RENTALS / INFLATABLE BOUNCERS Date business started 8-1-7

Describe in detail the business activity that will take place in the home MAKE APPOINTMENTS TO RENT OUT INFLATABLE BOUNCERS, - NO CUSTOMER WORK PERMITTED - SEE ATTACHED

Describe the number and frequency of deliveries or visits to the home 2 TIMES A YEAR

Number of employees 2 - (MR. & MRS. ROBERTS)

Describe equipment used that is either owned or leased that is used for business purposes AIR BLOWER, INFLATABLE BOUNCERS, COMPUTER, PHONE
NO STORAGE PER APPLICANT ATTACHED.

Signature of Applicant [Signature]

For Village Use Only

Date received 7/25/07 Permit Fee \$40 - Receipt 22356

Date approved by Building Inspector [Signature] Permit expiration date 5 years - 8/8/12

This application is to be forwarded to the Building Inspector. After approval, copies should be forwarded to the Assessor, Police Department, Assistant Village Manager/Village Clerk, and placed in the property file.

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No.	189626
Received	12/5/05
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 11-30-2004

License No. #137

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder <u>414-881-3904</u> <u>MICHAEL LUDWIG</u>	Owner <u>Ryan Roberts</u>	Occupant <u>Ryan Roberts</u>
Job Address <u>415 W Bergen Drive</u> <u>1-414-759-3143</u>		

ESTIMATED COST OF JOB

- Buildings ☐ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises?

Describe _____

List Name of Installing Contractor _____

HEATING _____

AIR CONDITIONING _____

PLUMBING _____

Date of Inspection

- Rough _____ Will Call ☐
 Final _____ Will Call ☐
 Service Approval Sent _____ ☐

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets	80	.35 ea	28	00
2	Lighting Fixtures	15	.30 ea	4	50
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric	1	4.00 ea	4	00
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher	1	4.00 ea	4	00
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner Oil Burner or Stoker	1	5.00 ea	5	00
10	Refrigerating, Air Cooling or similar machine - .25 per HP	1	5.00 min	5	00
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP <u>Ceiling FANS</u>	2	.30 per HP or frac		.60
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 17556
 TOTAL FEES 51 10

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

Contractor <u>Tom BURDICK & Brookfield Electric Inc</u>	Supervising Electrician (Signature) <u>Thomas R Burdick</u>	Date <u>11-30-2005</u>
Address <u>P.O. Box 2441</u>	Telephone <u>1-262-547-5111 office</u>	
City <u>Brookfield Wisc</u>	State <u>53008</u>	Zip Code <u>1-414-349-9834 cell</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.015556

Dec 05, 2005

415 W BERGEN DRIVE

LICENSES & PERMITS-ELECTRICAL PERMIT	51.10
24-44430 ELECTRICAL PERMIT	

Total:	51.10
--------	-------

CHECK	Chk No: 16755	51.10
-------	---------------	-------

Total Applied:	51.10
----------------	-------

Change Tendered:	.00
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12/05/05 10:20am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

INSPECTION REPORT AND NOTICE OF NONCOMPLIANCE

Report Date: 3/22/06	Inspection Date: 3/27/06	Permit No.: (No Permit)	Parcel No.:
Project Address: 415 W. Beckman Drive		Subdivision:	Lot No.: Block No.:
Inspection Type(s): <input type="checkbox"/> Footing <input type="checkbox"/> Erosion Control <input type="checkbox"/> Foundation <input type="checkbox"/> Bsmt Drain Tile <input type="checkbox"/> Underslab Plbg <input type="checkbox"/> Rough HVAC <input type="checkbox"/> Rough Plumbing <input type="checkbox"/> Rough Electrical <input type="checkbox"/> Construction <input type="checkbox"/> Insulation/Energy <input type="checkbox"/> Final <input checked="" type="checkbox"/> Other:			
Area Inspected, if Partial Inspection: Fireplace chimney		If Final Inspection, Occupancy May: <input type="checkbox"/> Take Place Now <input type="checkbox"/> Not Take Place Until The Items Below Are Corrected and Inspected <input type="checkbox"/> Other:	
Owner: Ryan Roberts 415 W. Beckman Drive Fox Point, WI 53217		Contractor:	

AN INSPECTION OF THE ABOVE PREMISES HAS DISCLOSED THE FOLLOWING NONCOMPLIANCES:

ORDER NO.	CODE SECTION	FINDINGS AND REQUIREMENTS
1	FRC 2.09 NFBC 7.52.9 FRC 30.05(a) F(d)	<p>The "Approved Plans" Do not allow the installation of the new Fireplace chimney. Therefore, Because the Building Board never approved this installation, This is a Violation of Section 2.09 of the Village Code. Also, Per the Department of Commerce, The chimney MUST be installed in accordance with the National Fuel Gas Code which requires the chimney to be installed 2 feet above any portion of the Building within 10 feet (see attached NFBC 7.52.9) Please obtain a permit for this installation ASAP. April 24, 2006</p>

IMPORTANT: Please report when violations are corrected. AVOID DELAY

NOTICE OF NONCOMPLIANCE: All cited violations shall be corrected within 30 days after written notification unless an extension of time is granted. Each day that the violation continues after notice shall constitute a separate offense and is subject to remedies and penalties by the authority having jurisdiction. Appeals per ch. 68, WI Stats. and s. Comm 20.21.

Enforcement Jurisdiction:	<input type="checkbox"/> Town <input checked="" type="checkbox"/> Village <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> State <input type="checkbox"/> Insp Agency#	OF: Fox Point	Authority By Municipal Ordinance Section:
Inspector's Name:	Violations Explained To:	Compliance Date: APRIL 24, 2006	
Inspector's Address:	Office Hours:	Telephone No.:	
7200 W. Santa Monica BLVD	8-930 AM	351-8900	

Distribution: ☐ Ply 1 - Contractor ☐ Ply 2 - Inspector ☐ Ply 3 - Owner ☐ Ply 4 - File

INSPECTION REPORT AND NOTICE OF NONCOMPLIANCE

Report Date: 3/28/06	Inspection Date: 3/27/06	Permit No.: (No Permit)	Parcel No.:
Project Address: 415 W. BERKMAN DRIVE	Subdivision:	Lot No.:	Block No.:
Inspection Type(s): <input type="checkbox"/> Footing <input type="checkbox"/> Erosion Control <input type="checkbox"/> Foundation <input type="checkbox"/> Bsmt Drain Tile <input type="checkbox"/> Underslab Plbg <input type="checkbox"/> Rough HVAC <input type="checkbox"/> Rough Plumbing <input type="checkbox"/> Rough Electrical <input type="checkbox"/> Construction <input type="checkbox"/> Insulation/Energy <input type="checkbox"/> Final <input checked="" type="checkbox"/> Other:			
Area Inspected, if Partial Inspection: Fireplace chimney		If Final Inspection, Occupancy May: <input type="checkbox"/> Take Place Now <input type="checkbox"/> Not Take Place Until The Items Below Are Corrected and Inspected <input type="checkbox"/> Other:	
Owner: Ryan Roberts 415 W. BERKMAN DRIVE FOX LAKE, WI 53217		Contractor:	

AN INSPECTION OF THE ABOVE PREMISES HAS DISCLOSED THE FOLLOWING NONCOMPLIANCES:

ORDER NO.	CODE SECTION	FINDINGS AND REQUIREMENTS
1	FPL 2.09 NFAC 7.529 FPL 30.05(a) F(a).	<p>The "Approved Plans" Do not allow the installation of the new Fireplace chimney. Therefore, Because the Building Board never approved this installation, this is a violation of Section 2.09 of the Village Code. Also, per the Department of Commerce, the chimney must be installed in compliance with the national rule code which requires the chimney to be installed 2 feet above any portion of the building within 10 feet (see attached NFAC 7.529). Please obtain a permit for this installation ASAP.</p> <p style="text-align: right;">April 24, 2006</p>

IMPORTANT: Please report when violations are corrected. AVOID DELAY

NOTICE OF NONCOMPLIANCE: All cited violations shall be corrected within 30 days after written notification unless an extension of time is granted. Each day that the violation continues after notice shall constitute a separate offense and is subject to remedies and penalties by the authority having jurisdiction. Appeals per ch. 68, WI Stats. and s. Comm 20.21.

Enforcement Jurisdiction:	<input type="checkbox"/> Town <input checked="" type="checkbox"/> Village <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> State <input type="checkbox"/> Insp Agency#	OF: FOX LAKE	Authority By Municipal Ordinance Section:
Inspector's Name:	Violations Explained To:		Compliance Date: APRIL 24, 2006
Inspector's Address:	Office Hours: 8-930 AM	Telephone No: 351-8900	

Distribution: ☐ Ply 1 - Contractor ☐ Ply 2 - Inspector ☐ Ply 3 - Owner ☐ Ply 4 - File

INSPECTION REPORT AND NOTICE OF NONCOMPLIANCE

Report Date: 3/23/06		Inspection Date: 3/27/06		Permit No.: (No Permit)		Parcel No:	
Project Address: 415 W. Jackson Drive				Subdivision:		Lot No.:	
Block No.:		Inspection Type(s):		<input type="checkbox"/> Footing <input type="checkbox"/> Erosion Control <input type="checkbox"/> Foundation <input type="checkbox"/> Bsmt Drain Tile <input type="checkbox"/> Underslab Plbg <input type="checkbox"/> Rough HVAC <input type="checkbox"/> Rough Plumbing <input type="checkbox"/> Rough Electrical <input type="checkbox"/> Construction <input type="checkbox"/> Insulation/Energy <input type="checkbox"/> Final <input checked="" type="checkbox"/> Other:			
Area Inspected, if Partial Inspection:				If Final Inspection, Occupancy May: <input type="checkbox"/> Take Place Now <input type="checkbox"/> Not Take Place Until The Items Below Are Corrected and Inspected <input type="checkbox"/> Other:			
Fireplace chimney Owner: Ryan Roberts 415 W. Jackson Drive Fox Point, WI 53217				Contractor:			

AN INSPECTION OF THE ABOVE PREMISES HAS DISCLOSED THE FOLLOWING NONCOMPLIANCES:

ORDER NO.	CODE SECTION	FINDINGS AND REQUIREMENTS
1	FPC 2.09 NFAC 7.529 FPC 30.05(a) F(4)	<p>The "Approved Plans" Do not show the installation of the new Fireplace chimney. Therefore, because the Building Board never approved this installation, this is a violation of Section 2.09 of the Village Code. Also, per the Department of Conservation, the chimney must be installed in conjunction with the structural steel core base which requires the chimney to be installed 2 feet above any portion of the building within 10 feet (see attached NFAC 7.529). Please obtain a permit for this installation ASAP. April 24, 2006</p>

IMPORTANT: Please report when violations are corrected. AVOID DELAY

NOTICE OF NONCOMPLIANCE: All cited violations shall be corrected within 30 days after written notification unless an extension of time is granted. Each day that the violation continues after notice shall constitute a separate offense and is subject to remedies and penalties by the authority having jurisdiction. Appeals per ch. 68, WI Stats. and s. Comm 20.21.

Enforcement Jurisdiction: <input type="checkbox"/> Town <input checked="" type="checkbox"/> Village <input type="checkbox"/> City <input type="checkbox"/> County OF: <input type="checkbox"/> State <input type="checkbox"/> Insp Agency# Fox Point		Authority By Municipal Ordinance Section::	
Inspector's Name: [Signature]		Violations Explained To:	
Inspector's Address: 2200 N. Santa Monica Blvd		Compliance Date: April 24, 2006 Office Hours: 8-930 AM Telephone No: 351-8900	

Distribution: ☐ Ply 1 - Contractor ☐ Ply 2 - Inspector ☐ Ply 3 - Owner ☐ Ply 4 - File

Pd # 60.00 Cash
4/6/2004 Rec # 1.012024

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 12471

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

X Type of Structure Residence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

X Address 415 W. Bergen Drive Fox Point, WI 53217

Lot _____ Block _____

Subdivision _____

District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: _____ Exterior finish _____
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Garage _____

X Estimated cost Building \$151,577.00

Structure _____

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of stalls _____

Where situated _____

General construction _____
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

X Remarks: We live in A Ranch home with A Flat roof AND
WE WANT TO convert it into A Cape Cod Home

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

X Owner of Structure Ryan J Roberts X Arch. or Contr. DAVID H. Lehman

Address 415 W. Bergen Drive Address 1425 Summit Ave Suite 104

City Fox Point WI 53217 City Waukesha WI 53188
State Zip State Zip

Phone 414-351-1974 Phone 262-366-4260

Size of Structure _____ (sq. ft.) Permit Fee 1444⁰⁰ herewith tendered

Date Submitted _____ State ID# _____ Exp. Date _____

Date Approved 1/20/03 Signed Ryan J Roberts

Date of Permit _____ Architect, Owner, Builder

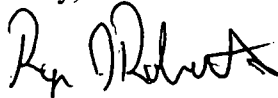
\$1444
Pd 1/25/03
Doc 1.012024

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217

Dear,
Scott Miller

This letter is to inform you that my family and I who lives at 415 W Bergen Drive, Fox Point, WI. We will not occupy the second story of our house due to the fact that it will not be fully constructed. We will continue to live on the first floor of our home until construction would be complete. The building board requested this letter on January 7, 2005. They will issue the permit for construction once you receive this letter and my architect completes a couple of requests that the building board made.
Thanks for you time.

Sincerely,

A handwritten signature in black ink, appearing to read "Ryan J Roberts". The signature is stylized with a large, looped "R" and a long, sweeping horizontal stroke at the end.

Ryan J Roberts



DAVID H. LEHMAN
ARCHITECT AIA
1425 SUMMIT AVE. SUITE 104
WAUKESHA, WISCONSIN 53188
CELL: (262) 366-4260
E-Mail: archdave1@juno.com

January 18, 2005

Mr. Scott Miller,
Village Building Inspector
Village of Fox Point
7200 North Santa Monica Blvd.
Milwaukee, Wisconsin 53217

Re: Building permit issue for
Ryan Roberts Addition
417 W. Bergen Drive
Fox Point, Wisconsin

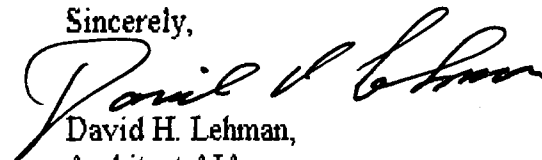
Dear Mr. Miller:

This project to have a dimension added to all elevation drawings of 2'-0" minimum above roof ridge line to top of flue.

Have included the requested structural calculations with copies of load table for 1.9E LVL beams, 2.0E PSL columns and steel beam design load table. I trust this data will be adequate to allow the issuance of a building permit.

Please call if you have any questions relating to this project.

Sincerely,


David H. Lehman,
Architect AIA

①

1/18/05

* Beam OK is 6000 for 24,000 lb or 9'-0" span
see ATTACHED Beam steel TABLE Page 2-72

DAVID H. LEHMAN
ARCHITECT AIA
1425 SUMMIT AVE. SUITE 104
WAUKESHA, WISCONSIN 53188
CELL: (262) 366-4260
E-Mail archdave1@juno.com

1/18/05

ROBERTS RESIDENCE ADDITION STRUCTURAL CALCULATIONS

BEAM B-1 DINING TO KITCHEN

SPAN 14'-0"

LOAD: wall 10' x 15' = 150'

FLOOR 2ND 55 x 1 1/2 = 83

OLD FLAT ROOF 12 x 1 1/2 = 18

ROOF PITCHED 45 x 4 = 180

TOTAL LOAD 431' / LF

* SELECTED FROM LOAD TABLE PAGE 8 BEAM & PAGE 18 COLS.

LVL 3 1/2" x 11 7/8" 14' SPAN GOOD FOR 685' / LF

431' + Beam WGT 11.4 = 442.40' TOTAL LOAD ON BEAM

WITH COLS 3 1/2 x 3 1/2 LVL LOAD 3,017' FOR MAX OF 10' HIGH

Beam B-2 LIVING RM TO KITCHEN @ NEW STAIR

SPAN 14'-0" MAX.

LOADS: FLOOR LOAD 12' OLD FLAT ROOF FRAME

NEW 2ND FLOOR LOAD 55'

67'

67' x 13'-11" FLOOR SPAN = 932.64' / LF

20. - Beam WGT.

952.64' / LF

USE A 5 1/4" x 11 7/8" LVL GOOD FOR 1028' / LF ON A 14' SPAN

* SELECTED FROM LOAD TABLE PAGE 9 BEAM & PAGE 18 COL

WITH COLS 3 1/2 x 5 1/4 LVL LOAD 6,669' FOR MAX OF 10' HIGH

$F_y = 36 \text{ ksi}$ BEAMS
W ShapesAllowable uniform loads in kips
for beams laterally supported

For beams laterally unsupported, see page 2-146

W 8



Designation			W 8		W 8			Deflection In.			
Wt./ft			28	24	21	18	15		13	10	
Flange Width			6½	6½	5¼	5¼	4		4	4	
L _c			6.90	6.90	5.60	5.50	4.20		4.20	4.20	
L _u			17.5	15.2	11.8	9.90	7.20		5.90	4.70	
F _y = 36 ksi	Span in Feet	2									.01
		3									.03
		4			60	54	47	39	31		.05
		5	66	56	58	48	37	31	25		.08
		6	64	55	48	40	31	26	21		.11
		7	55	47	41	34	27	22	18		.15
		8	48	41	36	30	23	20	15		.20
		9	43	37	32	27	21	17	14		.25
		10	38	33	29	24	19	16	12		.31
		11	35	30	26	22	17	14	11		.37
		12	32	28	24	20	16	13	10		.44
		13	30	25	22	19	14	12	10		.52
		14	27	24	21	17	13	11	8.8		.60
		15	26	22	19	16	12	10	8.2		.69
		16	24	21	18	15	12	10	7.7		.79
		17	23	19	17	14	11	9.2	7.3		.89
		18	21	18	16	13	10	8.7	6.9		1.00
		19	20	17	15	13	10	8.3	6.5		1.11
		20	19	17	14	12	9.3	7.8	6.2		1.22
		Properties and Reaction Values									
S _x in. ³	24.3	20.9	18.2	15.2	11.8	9.31	7.91		For expansion of deflection see page 2		
V kips	33	28	30	27	29	26	19				
R ₁ kips	15.9	12.7	12.1	10.2	10.9	9.39	6.31				
R ₂ kips/in.	6.77	5.82	5.94	5.46	5.82	5.46	4.04				
R ₃ kips	21.2	15.6	16.1	12.9	13.9	11.4	6.47				
R ₄ kips/in.	3.78	2.84	2.89	2.77	3.52	3.65	1.86				
R kips	34	26	26	23	26	24	13				

Load above heavy line is limited by maximum allowable web shear.
Values of R in **bold face** exceed maximum web shear V .

Plumber Coy Plog
Address 616 E. BROADWAY
Tel. No. 262-5426921
WAUKESHA, WI 53186

No. 10794
Application and Record
Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

RYAN + MICHELLE
Owner ROBERTS
Address 415 W. BERGEN
Date 12-8 2005

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building
at

PERMITS USED	
Kind	No.
Sewer and Plumbing	15150
Water	
Street	
Meter	
Water Usage	

..... Fox Point, Wis.
Address at which work is to be done

Subdivision	Lot	Block
Remodel addition		

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP 5416 Donald M. Schmitz Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS			
	No.		No.
Hose Bibs		Dishwashers	1
Bath Tubs	1	Wash Basins	2
Sump Pumps		Water Closets	1
Laundry Trays		Showers	1
Drinking Fountains		Floor Drains	
Sinks	1	Food Waste Grinders	
Water Heaters		Sprinkling System	
Wash. Mach. Wastes	1	Urinals	
Bidets			
Catch Basins			

FEES	
Water Usage	\$
Building Sewer	.....
Water Service	.....
Building Drain	.....
Fixtures	.....
Water Meter	.....
Total	\$ 50.00
Deposit to cover street repairs	Receipt # 15687
	Permit Clerk

A inch water service pipes laid in
Curb box is located feet of feet of
..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in
..... feet of manhole

A inch storm sewer connection was made in
..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved Application Approved 19
As Built Water and Plumbing Inspector

REMARKS	DISCREPANCY RECORD

SEWER AND PLUMBING DEPARTMENT

Permit No. 10750 Application No. 10796 Fox Point, WI 12/20/05 20__

Permission is hereby given to do the necessary plumbing work on the premises of
described as follows:

Lot Block Subdivision

Located at 415 W. Margie

The above named is permitted to employ David Schmitz

License No. 5416 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in
_____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	1
Bath Tubs	1	Wash Mach Waste	1	Showers	1
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers	1	Sprinkling Systems	
Sinks	1	Wash Basins	2	Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Building Drain \$ _____

Fixtures \$ 50⁰⁰

Rec'd for Permit \$ Receipt #15687

Plumbing Inspector

Receipt No: 1.015687

Dec 20, 2005

415 W BERGEN

LICENSES & PERMITS-PLUMBING PERMIT	50.00
24-44470 PLUMBING PERMIT	

Total:	<u>50.00</u>
--------	--------------

CHECK	Chk No: 19113	50.00
Total Applied:		<u>50.00</u>

Change Tendered:	<u>.00</u>
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12/20/05 08:41am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner ☐ Type Bryant 40,000 # 350 MAU036040
Forced Air, Radiant, Baseboard, Etc.

Fuel: ☒ Gas ☐ Oil ☐ Coal ☐ Elect. ☐ Other _____

Desc. of Heating Plant _____

Vented to _____

Fuel Tank ☐: _____ Size _____ Location _____

Summer Air Conditioner ☐ Size 2 ton Bryant (Ton, H.P.)

Coolant A/C #561

Compressor Coolant: Air ☐; Water ☐;

If Water Cooled:

Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Incinerator ☐ Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels _____

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Roberts

Address of Work 415 W. Bergen Dr

OFFICE USE ONLY	
Application Approved:	Installation Approved:
<u>Marko Desler</u>	

Signed _____

Date 2-7-05

Contractor Foe De Belah Pkg

Address N90 W14465 Commerce Dr Phone 262-251-

City Meno Falls State WI Zip Code 53051 2630

W. BERGIN DR.

C. 72 Degrees 38' 10"
D. 143 Degrees 40' 55"
E. 143 Degrees 40' 55"



181.12' S. 77 58' 30" E.

157.56'

ROBERTS
415 W. BERGIN DR.

New porch roof with columns at entry

64'-9 11/16"

New 10/12 roof over garage and dining

New half story with 10/12 roof over existing first floor

PARCEL 1
19,310 Sq. Ft.

A/C
UNIT

31'-11 7/16"

12'-0"

118.10'

NORTH

REPLACE EXIST SIDEWALK
TO NEAREST SOUND JOINT 20'±

Sanitary Sewer
& water lateral
easement

10'

23.56'

21'

CHD. 94.76
RAD. 60.00'
S. 41 99' 25" E.

101.42'

PARCEL 2
8,652 Sq. Ft.

140.00'

Receipt No: 1.012542

Feb 23, 2005

415 W BERGEN

LICENSES & PERMITS-HEATING PERMIT
24-44450 HEATING PERMIT

50.00

Total:

50.00

CHECK Chk No: 30870

50.00

Total Applied:

50.00

Change Tendered:

.00

02/23/05 09:52am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No.	16833C
Received	12/11/02
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 12/6/02

License No. 84

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder	Owner <u>RYAN ROBERTS 351-1974</u>	Occupant
---------	---------------------------------------	----------

Job Address 415 W. BERGEN DR., FOX POINT, WI 53217

ESTIMATED COST OF JOB

- Buildings ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises?

Describe Basmt

List Name of Installing Contractor

HEATING HOLLAND HTG & A/C

AIR CONDITIONING

PLUMBING

Date of Inspection

Rough 12/12/02 Will Call ☐

Final 12/12/02 Will Call ☐

Service Approval Sent ☐

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker <u>FURNACE</u>	<u>1</u>	5.00 ea	<u>5</u>	<u>00</u>
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		40.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

TOTAL FEES 40 00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>POWERS ELECTRIC</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>12-9-02</u>
Address <u>5317 W. BURNHAM STREET</u>	Telephone <u>(414) 672-3011</u>	
City <u>WEST ALLIS,</u>	State <u>WI</u>	Zip Code <u>53219</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.006060

Dec 11, 2002

415 W BERGEN DRIVE

LICENSES & PERMITS-ELECTRICAL PERMIT	40.00
10-44430 ELECTRICAL PERMIT	

Total:	40.00
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CHECK	Chk No: 11468	40.00
Total Applied:		40.00

Change Tendered:	.00
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12/11/02 10:32am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

Receipt #6065

0000 911

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 6051e

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner ☒ Type FORCED AIR
Forced Air, Radiant, Baseboard, Etc.Fuel: ☒ Gas ☐ Oil ☐ Coal ☐ Elect. ☐ Other _____Desc. of Heating Plant Replace FORCED AIR FURNACEVented to DirectFuel Tank ☐ : _____ Size _____ Location _____Summer Air Conditioner ☐ Size _____ (Ton, H.P.)

Coolant _____

Compressor Coolant: Air ☐ ; Water ☐ ;

If Water Cooled:

Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Incinerator ☐ Manufacturer's Name XenonModel No. XF9V0905A Capacity _____ Bushels

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Ryan RobertsAddress of Work 415th Bergen Dr. Fox Point, WI 53217

OFFICE USE ONLY

Application
Approved:Installation
Approved:for use only12/1/02Michelle Christopher

Signed

Nov. 19, 2002

Date

Contractor Holland Heating and Air ConditioningAddress PO Box 318 Phone (262) 677-1954City JACKSON State WI Zip Code 53037

\$40.00

Receipt No: 1.006065

Dec 11, 2002

415 W BERGEN DRIVE

LICENSES & PERMITS-HEATING PERMIT
10-44450 HEATING PERMIT

40.00

Total:

40.00

CHECK Chk No: 6852

40.00

Total Applied:

40.00

Change Tendered:

.00

12/11/02 10:43am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	16533C
Received	4/11/02
Service	5/14/02
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 4-9-02
License No. 0537

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder	Owner <u>LAKE/MOORE</u>	Occupant <u>SAME</u>
Job Address <u>415 W BERGEN DR 352 5861</u>		

ESTIMATED COST OF JOB

- Buildings ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises?

Describe _____

List Name of Installing Contractor _____

HEATING _____

AIR CONDITIONING _____

PLUMBING _____

Date of Inspection

- Rough _____ Will Call ☐
 Final _____ Will Call ☒
 Service Approval Sent _____ ☐

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps. <u>200 A</u>		10.00 ea	10	00
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		40.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt #3966
TOTAL FEES 40 00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>G & G ELECTRIC</u>		Supervising Electrician (Signature) <u>[Signature]</u>		Date <u>4-9-02</u>
Address <u>12990 W. Wimbledon Drive</u>		Telephone <u>262-7840281</u>		
City <u>New Berlin, WI 53151</u>		State	Zip Code	

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.003966

Apr 12, 2002

415 W BERGEN DRIVE

LICENSES & PERMITS-ELECTRICAL PERMIT	40.00
10-44430 ELECTRICAL PERMIT	

Total:	40.00
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CHECK	Chk No: 4242	40.00
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Total Applied:	40.00
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Change Tendered:	.00
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04/11/02 12:35pm

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

ELECTRICAL INSPECTION APPROVED

(414) 362-5183 (Karr)

AX TO # 362-5175

PHONE

COUNTY Milwaukee C T V MUNICIPALITY Free Point INSPECTION NUMBER _____INSPECTOR Scott MillerCUSTOMER NAME Love/Miner PHONE _____ADDRESS 415 W. Berger Drive SUBDIVISION NAME _____ LOT _____ELECTRICAL CONTRACTOR Ed H. Electric

NEW SERVICE

OVERHEAD ☐UNDERGROUND ☐

REWired SERVICE

OVERHEAD TO UNDERGROUND ☒OVERHEAD TO OVERHEAD ☐UNDERGROUND TO UNDERGROUND ☐PERMANENT SERVICE ☐SIZE (AMPS) 200

(NUMBER OF METERS: CHANGE FROM _____ TO _____)

1 PHASE ☒3 PHASE ☐VOLTAGE 200/240 ✓TEMPORARY SERVICE ☐

SIZE (AMPS) _____

1 PHASE ☐3 PHASE ☐

VOLTAGE _____

OVERHEAD RESIDENTIAL REWIRE INFORMATION

YES NO

PERMANENT CONNECTIONS HAVE BEEN MADE ☐ ☐PERMANENT CONNECTIONS REQUIRED ☐ ☐SERVICE DROP RELOCATION OR REPLACEMENT REQUIRED ☐ ☐RESIDENTIAL/FARM ☐COMMERCIAL ☐INSTALL ONLY ☐

NUMBER OF METERS _____

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217
NONCOMPLIANCE NOTICE


February 25, 2002

Issued to: Moore, Moore, Carney, Lake, Graziano

Address: 8525 N. Port Washington Road

An inspection of the premises located at 415 W. Bergen Drive, discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- ~~1. Provide backflow protection for all exterior hose bibs and laundry tub faucets.~~
 - ~~2. Provide a code compliant fire door between the house and attached garage as required by code. (Ref. Fox Point Code (FPC) 30.43(7)(b))~~
 - ~~3. Properly abandon the well as required by code. (Ref. FPC 12.22)~~
 - ~~4. Properly remove the basement incinerator as per code.~~
 - ~~5. Properly remove the plastic dryer piping as per code.~~
 6. The maximum uniform rise for a step is 8 inches. I observed that there is an excessive rise to the service door landing.
 - ~~7. Provide a code compliant outlet for the supply of the sump pump motor.~~
 - ~~8. I observed the following code violations with the 60 ampere electrical service. They are:~~
 - A. NEC 110-14(a) Improper use of terminals.
 - B. NEC 230-42 It appears that the existing service entrance conductors are being overloaded. Please submit load calculations showing code compliance.
 - C. NEC Article 250 The electrical service must be grounded in accordance with code.
 - D. NEC 250-92 The service mast must be properly bonded as required by code.
- Please bring your electrical service into code compliance.
- ~~9. Properly remove all extension cords as per NEC 400-8.~~
 10. The exterior light fixture may not be supplied by non-metallic sheathed cable. (Ref. FPC 13.17)


Scott Miller
Building Inspector
Village of Fox Point

Notice: Please complete Form 3300-5 and return it to the appropriate DNR office and bureau. Completion of this report is required by chs. 160, 281, 283, 289, 291, 292, 293, 295, and 299, Wis. Stats., and ch. NR 141, Wis. Adm. Code. In accordance with chs. 281, 289, 291, 292, 293, 295, and 299, Wis. Stats., failure to file this form may result in a forfeiture of between \$10 and \$25,000, or imprisonment for up to one year, depending on the program and conduct involved. Personally identifiable information on this form is not intended to be used for any other purpose. NOTE: See the instructions for more information.

Route to: ☐ Drinking Water ☐ Watershed/Wastewater ☐ Waste Management ☐ Remediation/Redevelopment ☐ Other

(1) GENERAL INFORMATION (2) FACILITY/OWNER INFORMATION

WI Unique Well No.	DNR Well ID No.	County	Facility Name
Common Well Name			Facility ID
Gov't Lot (if applicable)			License/Permit/Monitoring No.
1/4 of 1/4 of Sec. ; T. N; R.			Street Address of Well
Grid Location			415 W. Bergen Dr
ft. N. S. ft. E. W.			City, Village, or Town
Local Grid Origin (estimated:) or Well Location			Village of Fox Point
Lat. Long. or			Present Well Owner
St. Plane ft. N. ft. E. Zone			Original Owner
Reason For Abandonment			Street Address or Route of Owner
WI Unique Well No. of Replacement Well			1787 Whispering Woods Ct.
Convert to city water			City, State, Zip Code
			Richfield, WI 53076

(3) WELL/DRILLHOLE/BOREHOLE INFORMATION (4) PUMP, LINER, SCREEN, CASING, & SEALING MATERIAL

Original Construction Date	Pump & Piping Removed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
<input type="checkbox"/> Monitoring Well	Liner(s) Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
<input checked="" type="checkbox"/> Water Well	Screen Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
<input type="checkbox"/> Borehole / Drillhole	Casing Left in Place? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Construction Type:	Was Casing Cut Off Below Surface? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Drilled <input type="checkbox"/> Driven (Sandpoint) <input type="checkbox"/> Dug	Did Sealing Material Rise to Surface? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Other (Specify)	Did Material Settle After 24 Hours? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Formation Type:	If Yes, Was Hole Retopped? <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Unconsolidated Formation <input type="checkbox"/> Bedrock	Required Method of Placing Sealing Material
Total Well Depth (ft.) Casing Diameter (in.) 6	<input checked="" type="checkbox"/> Conductor Pipe-Gravimetry <input type="checkbox"/> Conductor Pipe-Pumped
(From ground surface) Casing Depth (ft.)	<input type="checkbox"/> Screened & Poured (Bentonite Chips) <input type="checkbox"/> Other (Explain)
Lower Drillhole Diameter (in.)	Sealing Materials
Was Well Annular Space Grouted? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	<input type="checkbox"/> Neat Cement Grout
If Yes, To What Depth? Feet	<input type="checkbox"/> Sand-Cement (Concrete) Grout
Depth to Water (Feet) 70'	<input type="checkbox"/> Concrete
	<input type="checkbox"/> Clay-Sand Slurry (11 lb./gal. wt.)
	<input type="checkbox"/> Bentonite-Sand Slurry " "
	<input checked="" type="checkbox"/> Bentonite Chips
	For monitoring wells and monitoring well boreholes only
	<input type="checkbox"/> Bentonite Chips
	<input type="checkbox"/> Granular Bentonite
	<input type="checkbox"/> Bentonite - Cement Grout
	<input type="checkbox"/> Bentonite - Sand Slurry

(5) Material Used To Fill Well/Drillhole	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	(Circle One)	Mix Ratio or Mud Weight
3/8" Bentonite chips	Surface	80	30 50 LB BAGS		

(6) Comments:

(7) Name of Person or Firm Doing Sealing Work	Date of Abandonment
MID CITY PLB&C	3-28-02
Signature of Person Doing Work	Date Signed
[Signature]	4-02-02
Street or Route	Telephone Number
5151 Detrie Ct.	(262) 781-5940
City, State, Zip Code	
Battle Creek WI 53007	

FOR DNR/COUNTY USE ONLY	
Date Received	Noted By
Comments	

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

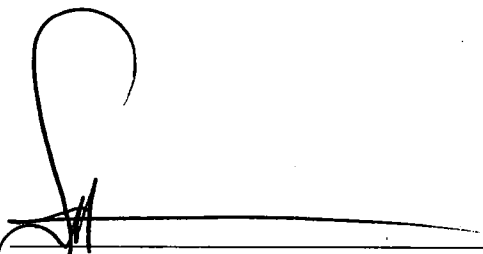
May 10, 2002

NO. 4833

Issued to: Moore, Moore, Carney, Lake, Graziano

Address: 8525 N. Port Washington Road

This Certificate of Compliance permits a change in the occupancy of the premises at 415 West Bergen Dr., Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Scott Miller
Building Inspector
Village of Fox Point

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure FENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.Address 415 12th St. N. PORT WASHINGTON R.D.

Lot _____ Block _____

Subdivision _____

District _____

Does contemplated structure violate the Village zoning ordinance? NoHeight of Structure 6' 0" (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: PINE Exterior finish STAINED
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Estimated cost Garage _____

Building _____

Structure \$2000Is there a private garage? ✓Does the contemplated garage violate the Village zoning ordinance? ✓

Size: _____ Number of stalls _____

Where situated ✓General construction _____
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

Remarks: _____

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure ELIZABETH MOORE Arch. or Contr. B. HooperAddress 8519 N. PORT WASHINGTON RD. Address _____City FOX POINT City _____

State _____ Zip _____ State _____ Zip _____

Phone 352-8564 Phone ✓Size of Structure _____ (sq. ft.) Permit Fee ✓ herewith tenderedDate Submitted 7/9/86Date Approved 7/9/86 Signed Brian Hooper 7/8/86Date of Permit _____ Architect, Owner, Builder 5873

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Designation RESIDENCE
Duplex, Residence, Apartment, Store, Garage, Theatre

House Number 415 W. BERGEN DR. STREET

Lot LOT 1C, Block

Subdivision FOX CRAFT HIGHLANDS

District T3

Does contemplated building violate the Village zoning ordinance? NO

Height of Building 1 STORY (stories or feet)

Width (parallel to highway) 54 (feet)

Depth (perpendicular to highway) 30 (feet)

Distance: Street Line to Front Line of Porch 40 (feet)

Type of Construction: FRAME
Frame, Brick-tile

Exterior finish FRAME
Stucco-Siding-Brick Veneer

Height of front yard above street sidewalk grade

Number of rooms 6 - 1 BATH

Estimated cost { Garage
Building 17000.00

Is there a private garage? YES

Does the contemplated garage violate the Village zoning ordinance? NO

Size 18 X 23 Number of stalls 2

Where situated ATTACHED

General construction FRAME
Frame-Brick-Stucco

Have you applied to the Industrial Commission for a permit under the State Building Code?

Has the permit been granted?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks:

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the residence is occupied.

Owner of land G. KANNENBERG Owner of Building G. KANNENBERG

Permit fee \$ 44.55 herewith tendered.

Signed Gilbert Kannenberg
Architect, Owner, Builder
Dated, 19 1954
W O - 2 - 1440

2146

No PLAN # 7-2-73
fee # 31637
No. 5613

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Wood. (RESIDENCE SIDING - ALUM.)
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

House Number 415 W. Bergen Dr.

Lot _____ Block _____

Subdivision _____

District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure 9 ft. _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: _____ Exterior finish _____
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Estimated cost { Garage _____
Building \$2000.00
Structure _____

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of stalls _____

Where situated _____

General construction _____
Frame — Brick — Stucco — Etc.

Have you applied to the Industrial Commission for a permit under the State Building Code? _____

Has the permit been granted? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

Remarks: Apply Alum Siding on house

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Elizabeth Moore Arch. or Contr. Miller Builders

Address 415 W. Bergen Dr Address 4770 W. 21st St.

Phone _____ Phone 871-6840
\$6.00

Size of Structure _____ (sq. ft.) Permit Fee _____ herewith tendered

Date Submitted 6-28-73

Date Approved 6-28-73

Date of Permit 7-2-73

Signed Gnatz Grassef
Architect, Owner, Builder

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

Per # 33209
10/25/74
No. 5795

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure SHED & FENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

House Number 415 W. BERGEN DR

Lot 16 Block

Subdivision FOX CROFT HIGHLANDS

District A-3 RES

Does contemplated structure violate the Village zoning ordinance?

Height of Structure 73 1/2 INCH 90 SP FT (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction METAL Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure SHED 179 00 FENCE \$15.00 = 254.00

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated NEXT TO - GARAGE

General construction METAL
Frame — Brick — Stucco — Etc.

Have you applied to the Industrial Commission for a permit under the State Building Code?

Has the permit been granted?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: 300 SURVEY

X MEANS 12 FT HIGH BUSHES

DOUBLE FEE - SHED ERECTED PRIOR TO OBTAINING PERMIT

CHP

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure THOMAS IVIOPPE Arch. or Contr.

Address 415 W. BERGEN DR Address SAME

Phone 352 8564 Phone

Size of Structure 90 (sq. ft.) Permit Fee \$10.00 herewith tendered

Date Submitted OCT-22-74

Date Approved

Signed J.P. Mone

Date of Permit OCT. 23, 1974

Architect, Owner, Builder

HM1010-4B

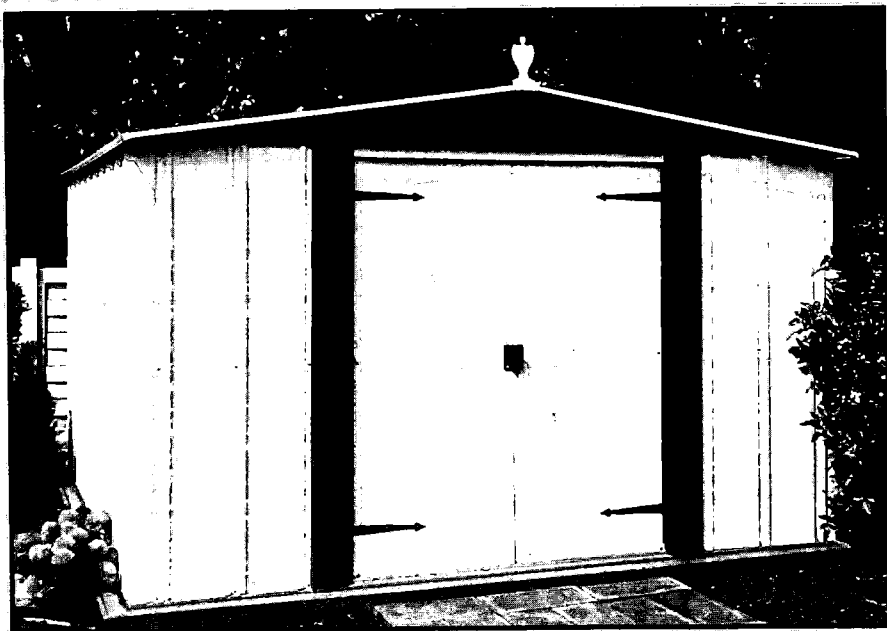
the HAMLET

SIZE (Nominal): 10' x 10'

THOMAS MOORE
415 W. BERGEN DR.

ARROW UTILITY BUILDING

- Owner's Manual
- Assembly Instructions
- Care and Maintenance Suggestions



BUILDING DIMENSIONS (APPROXIMATE)

CLASS 18 BUILDING

MODEL NUMBER	NOMINAL SIZE	STORAGE AREA SQ. FT. CU. FT.	EXTERIOR DIMENSIONS (Includes Roof Overhang)			INTERIOR DIMENSIONS			DOOR OPENING		NUMBER CTNS.
			WIDTH	DEPTH	HEIGHT	WIDTH	DEPTH	HEIGHT	WIDTH	HEIGHT	
HM1010-4B	10' x 10'	90 507	120"	121"	73½"	116"	112"	72¾"	51"	61½"	2



CHROMALLOY
A Consistent Family of Creative Companies

ARROW GROUP INDUSTRIES
(GLOBE ARTS)

70907

Please Return

2146

Doc # 36887

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 3402

APPLICATION FOR HEATING PERMIT

\$1500

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner ☒ Type Forced Air
Forced Air, Radiant, Baseboard, Etc.

Fuel: ☒ Gas ☐ Oil ☐ Coal ☐ Elect. ☐ Other

Desc. of Heating Plant Carrier 58ES-125-214, gas furnace,
125,000 BTU input, 1600 CFM @ .50 ESP

Vented to Chimney

Fuel Tank ☐ : _____ Size _____ Location _____

Summer Air Conditioner ☒ Size 2 1/2 (Ton, H.P.)

Coolant AIR

Compressor Coolant: Air ☒; Water ☐;

If Water Cooled:

Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

South side of home centrally located - 27' from
lot line

Incinerator ☐ Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels _____

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Thomas Moore

Address of Work 415 W. Bergen drive

Lot _____ Block _____ Subdivision _____

Contractor Bergin Corp.

Address 175 S. Main St., Thiensville, Wis. Phone 242-2720

Approved:

Wayne J. J. J.
Signed

8-12-77

Date

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 8209C

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 415 W. BERGEN DRIVE

Lot _____ Block _____

Subdivision _____

District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: _____ Exterior finish _____
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Estimated cost Garage _____

Building \$500.00

Structure _____

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of stalls _____

Where situated _____

General construction _____
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans 1 in number, which I certify I will conform to in the work hereby applied for.

Remarks: FOUNDATION REPAIR PER ATTACHED

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure _____ Arch. or Contr. MECOY CONTRACTORS

Address _____ Address 2116 W. CORNELL

City _____ City MILWAUKEE WIS 53209

Phone _____ Phone 445-4045

Size of Structure _____ (sq. ft.) Permit Fee \$25.00 here with tendered

Date Submitted 10-26-89

Date Approved _____

Date of Permit 10-27-89

Signed MECOY CONTRACTORS

Architect, Owner, Builder

INSPECTION REPORT AND NOTICE OF NONCOMPLIANCE

INSPECTION DATE <u>DECEMBER 14, 1982</u>				FILE NO.	
Owner's Name	Address	City	State	Zip	
<u>ELIZABETH MARKOWSKI</u>	<u>413 W. BERGIN DRIVE</u>	<u>FOX POINT</u>	<u>WISC.</u>	<u>53217</u>	
Contractor's Name	Address	City	State	Zip	
<u>SIMON MARGULIUS</u>	<u>266 W. BIRCOT</u>	<u>GRAFTON</u>	<u>WISC.</u>	<u>53024</u>	
Dwelling Location		City/County			
<u>8525 N. PORT WASHINGTON RD</u>		<u>FOX POINT/MILWA.</u>			
BUILDING PERMIT NO'S. <u>6911</u>					

INSPECTION TYPE	<input type="checkbox"/> FOOTING	<input checked="" type="checkbox"/> ROUGH	<input type="checkbox"/> FINAL
<input type="checkbox"/> FOUNDATION	<input checked="" type="checkbox"/> BLDG. CONST.	<input type="checkbox"/> ENERGY	<input type="checkbox"/> HVAC
		<input type="checkbox"/> ELEC.	<input type="checkbox"/> PLUMB.

AN INSPECTION OF THE ABOVE DWELLING HAS DISCLOSED THE FOLLOWING VIOLATION(S) OF THE WISCONSIN UNIFORM DWELLING CODE. (Ind. 20.01).

ORDER NO.	CODE SECTION	FINDINGS AND REQUIREMENTS.
1	21.08	FIRESTOPPING SHALL BE PROVIDED IN THE WALLS AT EACH FLOOR AND CEILING.
2.	NOT IN CODE	FRAMING PROHIBITS GARAGE DOOR FROM BEING OPENED.
3.	21.05	ATTIC VENTS REQ'D. 1 SQ. FT. FOR @ 300 SQ. FT. OF ATTIC AREA--50% IN SOFFIT AREA.
4.	21.25	REPLACE MISSING STUDS.
5.	20.09	SUBMIT PLANS INDICATING HOW FRONT & REAR ENTRY STOPS WILL BE COMPLETED SO AS TO COMPLY WITH BUILDING AND ZONING CODES.
6.		INDICATE HOW CEILING DRYWALL WILL BE HELD UP WITH LACK OF NAILERS AT INTERSECTIONS WITH WALLS
7.		IT IS RECOMMENDED THAT THOUGHT AND/OR STUDY BE GIVEN BY OWNER AND BUILDER AS TO WHAT, IF ANYTHING, SHOULD BE DONE WITH APPARENTLY ABANDONED DRAIN TILE. THEY APPEAR TO BE AN OLD FILTER BED FOR AN OLD SEPTIC SYSTEM. THESE TILE COULD CAUSE A FUTURE DRAINAGE OR WET BASEMENT PROBLEM

NOTICE OF NONCOMPLIANCE. Ind 20.01 (1)(c)

All cited violations shall be ordered corrected within 30 days after written notification, unless an extension of time is granted pursuant to section Ind. 20.21 (3)(a). Each day that the violation continues after notice shall constitute a separate offense and is subject to remedies and penalties by the authority having jurisdiction.

Violations Explained to	<u>SIMON MARGULIUS</u>	Compliance Date
Certified Inspector	<u>Carl H. Plank</u>	Telephone <u>352-8113</u>

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

Rec 9852
2/17/55
No. 3538 chb.

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

1. Location 415 W. Bergen Drive
(Give exact street and number. Do not give corner.)
2. Owner Gilbert Kannenberg
3. Lot Block Subdivision
4. Building or structure residence
5. Contractor GREEN TREE ELECTRIC License No.

	Number	Rate of Fees	Fees
6. Lighting Outlets		@ \$.10	
7. Fixtures		" .05	
8. Range Circuit or Outlet		" 1.00	
9. Range Connection		" 1.00	
10. Water Heaters & other Heating Devices	1st Kilowatt	" 1.00	
	Each Additional Kilowatt	" .10	
11. Refrigerating Machines		" 2.00	
12. Oil Burners and Stokers	1	" 1.00	1.00
13. Temporary Permits	Inspection per Hour	" 2.00	
14. Motors	H.P.-H.P.-H.P. per H.P.	" .10	
15. Studded Lights including their Individual Outlets		" .05	
16. Rectifiers and Transformers		" 1.00	
Estimated cost \$	Total fees		1.00

Date of inspection { Wiring Feb. 16, 1956 19 Note: Minimum Fee \$1.00
 Fixtures 19

Enclosed please find \$

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Walter J. Kaur
GREEN TREE ELECTRIC
Address 6933 N. Port Washington Rd.

Culvert Permit No. 1127

Date November 4, 1954

Building Permit No. 2146

Name G. Kannenberg

Address 415 W. Bergen Drive

Size 12" Length 20'

Remarks _____

Note: Duplicate to be issued to property owner, builder or architect.

JO #139
6-13-55

Village of Fox Point, Milwaukee County, Wisconsin

2146

Inspector of Buildings Department

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises 415 W. Bergen Drive Fox Point

Owner G. Kannenberg

This is to Certify, that electrical work done under Permit No. 3543 issued by this

DEPARTMENT to Holius Electric is in conformity with the provisions of the Building Code of the Village of Fox Point, Milwaukee County, Wis.

Install: Service ☐ Meters ☐

Remarks Hot Water Heater

Dated 6/3/55 19

Electrical Inspector, Village of Fox Point.

Inspector of Buildings Department

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises.....**415 W. Bergen Drive**.....Fox Point

Owner.....**G. Kaunenberg**.....

This is to Certify, that electrical work done under Permit No.....**3543**.....issued by this

DEPARTMENT to.....**Hollus Electric Co.**.....is in conformity with
the provisions of the Building Code of the Village of Fox Point, Milwaukee County, Wis.

Install: Service



Meters



Remarks.....**Temporary Service**.....

Dated.....**Feb. 25th**.....19**55**.....

Electrical Inspector, Village of Fox Point.

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 5543

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

1. Location 415 W Bergen Drive
(Give exact street and number. Do not give corner.)
2. Owner C. Komenberg
3. Lot _____ Block _____ Subdivision _____
4. Building or structure Res.
5. Contractor Melin Electric License No. 67

	Number	Rate of Fees	Fees
6. Lighting Outlets	50	@ \$.10	5.00
7. Fixtures	15	" .05	.75
8. Range Circuit or Outlet	1	" 1.00	1.00
9. Range Connection		" 1.00	
10. Water Heaters & other Heating Devices	1st Kilowatt	" 1.00	1.00
	Each Additional Kilowatt	" .10	
11. Refrigerating Machines		" 2.00	
12. Oil Burners and Stokers	1	" 1.00	1.00
13. Temporary Permits	100 Amp.	Inspection per Hour	2.00
14. Motors	1	H.P.-H.P.-H.P. per H.P.	.10
15. Studded Lights including their Individual Outlets		" .05	
16. Rectifiers and Transformers		" 1.00	

Estimated cost \$

Total fees

10.95

Date of inspection { Wiring Will call 19 _____ Note: Minimum Fee \$1.00
Fixtures 19 _____

Enclosed please find \$

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed

H Melius

Address

2512 A N 6 St.

Per # 30453
7/28/72

2146

License No. 13

SHEET 2 - VILLAGE'S COPY

Permit No. 8077

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date JULY 27 1972

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location VIS. W. BEAVER DR
(Give exact street and number. Do not give corner)

Elec. Contractor R C ELECTRIC Address 767 W. WINDLAKE AVE

Builder Address

Owner T. M. RE Address

What is occupancy of the building NEW ☐ OLD ☒ Residence

1. Outlets.....		each	\$.20	
2. Fixtures.....		each .....	.15	
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp .....	.15	
4. Audible or visual devices.....		per device .....	.20	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each .....	.50	
6. Built-in electric heaters; bathroom, nursery, etc.....		each	2.00	
7. Garbage Disposal.....		each	2.00	
8. Dishwasher.....		each	2.00	
9. Clothes dryer.....		each	2.00	
10. Range or other receptacles over 150 volts.....		each	3.00	
11. Water heater.....	1	each	3.00	3.00
12. Automatic heating equipment — gas, oil, coal.....		each	3.00	
13. Automatic water systems.....		each	2.00	
14. Refrigerating, air conditioning, etc., machines.....		each	2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft. ....	.05	
16. Dimmers or Time Clocks.....		each	1.00	
17. Vacuum and Inert-Gas tube sign.....		each transformer.....	1.00	
18. Incandescent Signs, studded lights.....		per socket .....	.10	
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each .....	.50	
20. Motors, each horsepower or fraction thereof each motor.....		H.P. ....	.20	
21. Generators, rectifiers, transformers, etc.....		per K.W. ....	.15	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	5.00	
23. Raceways, wireways, busways, gutters.....		per ft. ....	.10	
24. Electric heating devices (other than those listed above).....		per K.W. ....	.50	
25. Service equipment — 0-100 amps. new or overhauling.....		per disconnect	2.00	
Service equipment — 100 amps. to 600 amps.....		per disconnect	6.00	
Service equipment — over 600 amps.....		per disconnect	8.00	
26. Temporary service, etc. (3 month period).....		.....	3.00	
27. Motion picture, stereopticon and x-ray machines, etc.....		each	3.00	
28. Re-inspection after time limit on notice.....		.....	2.00	
29. Minimum fee for any permit requiring separate inspection.....		MINIMUM FEE	5.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....		FEES DOUBLE		

TOTAL FEES..... 5.00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS:

Date for Inspection Date Approved Signature [Signature] (Supervising Electrician)
Address 767 W. WINDLAKE AVE
City MILWAUKEE
Zone 5304 Telephone 671-5400

Make check Payable to Treasurer, Village of Fox Point.

60 F
2/46

INSPECTION APPROVAL

Permit 8077

Date 8/9/72

TO DEPT. OF BUILDING INSPECTION
VILLAGE OF FOX POINT

Please be advised that the undersigned has made a Water Heater
Electrical Inspection of the residence of T. Moore
located at 415 W Bergen Dr. and hereby approves same.

REMARKS:

Signed Walter J. Kaiser
WALTER J. KAISER
ELECTRICAL INSPECTOR
VILLAGE OF FOX POINT

License No. 94

SHEET 1 — ELECTRICAL INSPECTOR'S COPY

Permit No. 9044Dec # 36912
8/19/77

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date Aug. 16, 1977

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 415 W Bergen Dr.
(Give exact street and number. Do not give corner)Elec. Contractor Bergin Corp Address P.O. Box 21 Thiensville, WI 53092

Builder _____ Address _____

Owner Thomas Moore Address 415 W Bergen Dr.What is occupancy of the building NEW ☐ OLD ☐

1. Outlets.....	each	\$.20		
2. Fixtures.....	each .....	.15		
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....	each lamp .....	.15		
4. Audible or visual devices.....	per device .....	.20		
5. Exhaust and ventilating fans and their control (below 1 H.P.).....	each .....	.50		
6. Built-in electric heaters; bathroom, nursery, etc.....	each	2.00		
7. Garbage Disposal.....	each	2.00		
8. Dishwasher.....	each	2.00		
9. Clothes dryer.....	each	2.00		
10. Range or other receptacles over 150 volts.....	each	3.00		
11. Water heater.....	each	3.00		
12. Automatic heating equipment — gas, oil, coal.....	each	3.00		
13. Automatic water systems.....	each	2.00		
14. Refrigerating, air conditioning, etc., machines.....	each	2.00	2	00
15. Strip lighting, plug in strip, trol-e-duct, etc.....	per ft. ....	.05		
16. Dimmers or Time Clocks.....	each	1.00		
17. Vacuum and Inert-Gas tube sign.....	each transformer.....	1.00		
18. Incandescent Signs, studded lights.....	per socket .....	.10		
19. Arc and mercury lamps, spot and floodlights (mogul base).....	each .....	.50		
20. Motors, each horsepower or fraction thereof each motor.....	H.P. ....	.20		
21. Generators, rectifiers, transformers, etc.....	per K.W. ....	.15		
22. Feeders or subfeeders No. 3 B & S gauge or larger.....	each	5.00		
23. Raceways, wireways, busways, gutters.....	per ft. ....	.10		
24. Electric heating devices (other than those listed above).....	per K.W. ....	.50		
25. Service equipment — 0-100 amps. new or overhauling.....	per disconnect	2.00		
Service equipment — 100 amps. to 600 amps.....	per disconnect	6.00		
Service equipment — over 600 amps.....	per disconnect	8.00		
26. Temporary service, etc. (3 month period).....	.....	3.00		
27. Motion picture, stereopticon and x-ray machines, etc.....	each	3.00		
28. Re-inspection after time limit on notice.....	.....	2.00		
29. Minimum fee for any permit requiring separate inspection.....	MINIMUM FEE	5.00	5	00
30. Double fee shall be charged for any work started before filing an application for a permit.....	FEES DOUBLE			

TOTAL FEES.....

5 00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS: Wall Air Conditioner Humidifier

Date for Inspection

Date Approved

Signature [Signature]
(Supervising Electrician)

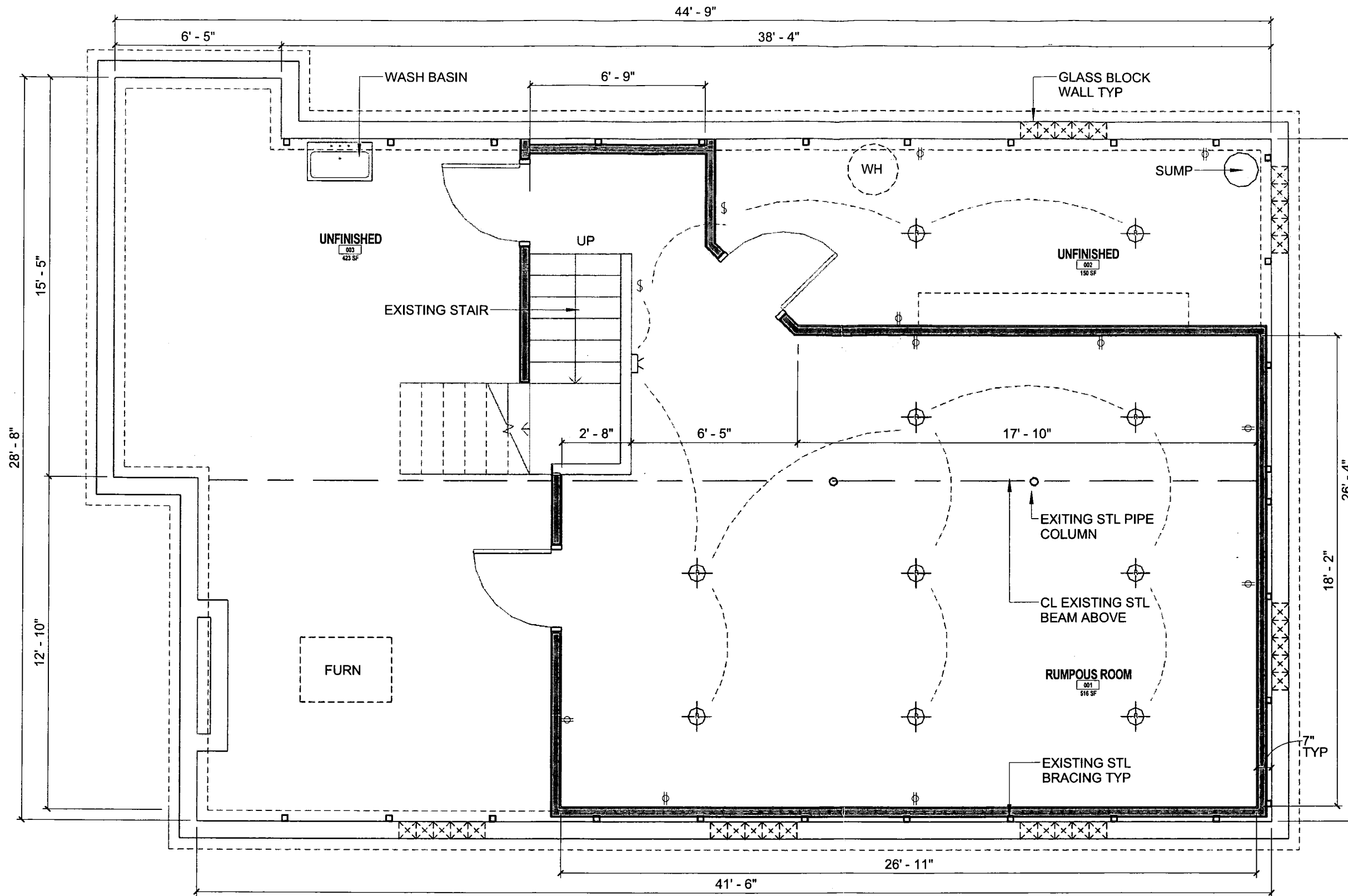
Roughing in.....

Address P.O. Box 21

Temp.....

City Thiensville, WIFinal AUG. 24-77Zone 53092 Telephone 242-2720

Make check Payable to Treasurer, Village of Fox Point.



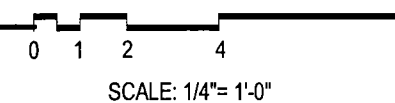
NOTES

1. ALL NEW WALLS 2X4 W/ 1/2" GYPSUM WALL BOARD UNO
2. ALL DOORS 36" WIDE - 6 PANEL DOORS.
3. ~~THE ONLY THING I'M GOOD AT IS RIDING THIS BIKE. TO GIVE THAT UP WOULD BE VERY SELF DESTRUCTIVE~~

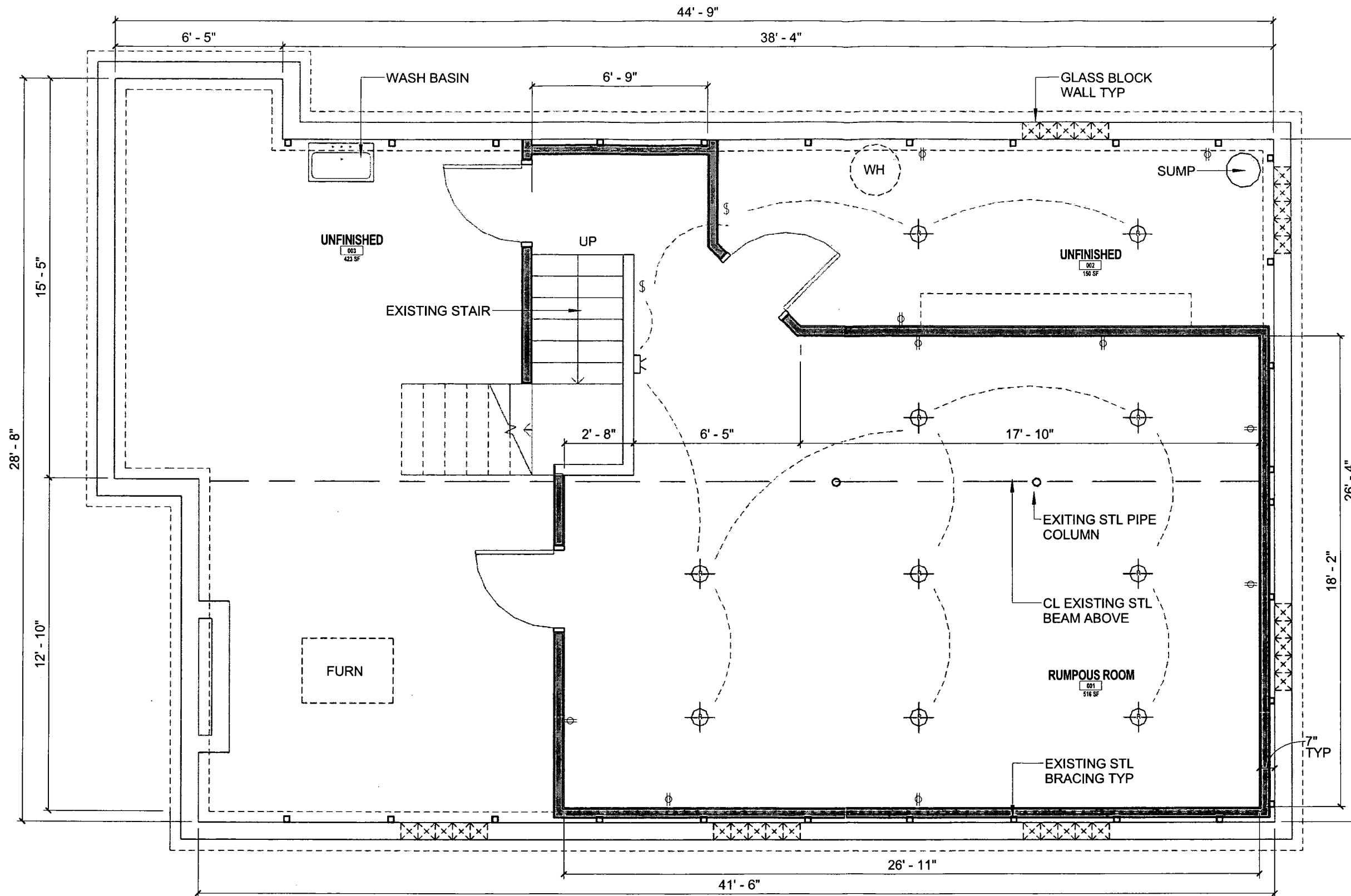
LEGEND

- ⌀ WALL OUTLET
- \$ SWITCH
- ⊙ RECESSED LIGHT FIXTURE

1 00-BASEMENT KEEGAN RES.
1/4" = 1'-0"



BASEMENT FLOOR PLAN



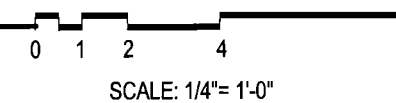
NOTES

1. ALL NEW WALLS 2X4 W/ 1/2" GYPSUM WALL BOARD UNO
2. ALL DOORS 36" WIDE - 6 PANEL DOORS.
3. THE ONLY THING I'M GOOD AT IS RIDING THIS BIKE. TO GIVE THAT UP WOULD BE VERY SELF-DESTRUCTIVE

LEGEND

- ⌀ WALL OUTLET
- \$ SWITCH
- ⊙ RECESSED LIGHT FIXTURE

1 00-BASEMENT KEEGAN RES.
1/4" = 1'-0"



BASEMENT FLOOR PLAN

SEWER AND PLUMBING DEPARTMENT

Permit No. 2007 Application No. 2014 Fox Point, Wis. March 9, 1955

Permission is hereby given to do the necessary draining and plumbing work on the premises of E. Kannerberg described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

Foxcroft Highlands

14

being No. 415 on the South side of W. Borgen Drive

The above named is permitted to employ Chas. Schlicht a Licensed Plumber for the purpose of laying a Septic tank inch Sanitary Sewer drain pipe from Main to Curb to Lot line to Premises. Connection to be made in 375'

feet French of French

Or of laying a inch Storm Sewer Drain pipe

Fixtures with drain or water connection

No.		No.		No.	
Bath tubs	<u>1</u>	Urinals		Wash Basins	<u>1</u>
Laundry tubs	<u>1</u>	Sinks	<u>1</u>	Water Closets	<u>1</u>
Basement drains	<u>1</u>	Showers	<u>1</u>	Hot Water Heater	<u>1</u>
		<u>SUMP</u>	<u>2</u>	Garbage Disposal	

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 56 of the Village of Fox Point and amendments.

375' trench \$21.25
 Received for Permit \$5.00 Dollars
water heater \$1.00
 Received for Fixtures \$4.50 Dollars

No storm water or surface water drains, whether installed above or below the surface of the ground may be connected to the sanitary sewer system. Bldg. Code Sec. 10 (8) P. 13b.

\$37.75

PLUMBING INSPECTOR

R. Jansing

PERMIT CLERK

SEWER AND PLUMBING DEPARTMENT

Permit No. **2853**

Application No. **2883**

Fox Point, Wis. **Sept 23** 19**58**

Permission is hereby given to do the necessary draining and plumbing work on the premises of **Ed. Kammberg** described as follows:

Description	Lot	Blk.	Subd.
Foxcroft Highlands	16	24	

being No. **415** on the **South** side of **W. Berlin Drive**

The above named is permitted to employ **Wm. Hallidation** a Licensed Plumber for the purpose of laying a **6** inch **clay** Sanitary Sewer drain pipe from Main to Curb to Lot line to Premises. Connection to be made in **main: 101.6** feet **west** of **manhole on west side of Port Washington Rd.**

Or of laying a **4** inch Storm Sewer Drain pipe

Septic tank must be pumped out and filled with gravel.
Fixtures with drain or water connection

No.	No.	No.
Bath tubs	Sump Pump	Wash Basins
Laundry tubs	Sinks	Water Closets
Basement drains	Showers	Hot Water Heater
Dishwasher		Garbage Disposal

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 56 of the Village of Fox Point and amendments.

100 ft trench
Received for Permit \$ **7.50** Dollars

Received for Fixtures \$ _____ Dollars

Earl H. Plumb
PLUMBING INSPECTOR

PERMIT CLERK

WATER PERMIT

Permit No. 2056

Application No. 3316

Fox Point, Wis. Dec. 13 1960

Permission is hereby given to do the work necessary to supply with water the premises of

Thomas Moore described as follows:

Description	Lot	Blk.
-------------	-----	------

Foxcroft Highland	16	
-------------------	----	--

being No. 415 on the south side of W. Bergen

The above named is permitted to employ Baker Pely, Inc. a Licensed

Plumber for the purpose of laying a 1 inch copper service pipe from Main to

Curb: a 1 inch copper service pipe from curb to building at same

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 262 of the Village of Fox Point and amendments.

Received for Permit \$ 3.00 Dollars

Received for Fixtures \$ Dollars

Returns must be made on all work done.

WATER INSPECTOR

PERMIT CLERK

SEWER AND PLUMBING DEPARTMENT

Permit No. 5528 Application No. 5697 Fox Point, Wis. May 19, 1980

Permission is hereby given to do the necessary draining and plumbing work on the premises of Thomas Moore described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

being No. 415 on the South side of M. Bergin Drive

The above named is permitted to employ Donald H. Best Bergin Corp. a Licensed

Plumber for the purpose of laying a _____ inch _____ Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in _____

feet _____ of _____

Or of laying a _____ inch _____ Storm Sewer Drain pipe _____

Fixtures with drain or water connection

No.	No.	No.
Hose Bibs	Drinking Fountains	Wash Mach. Waste
Bath Tubs	Sump Pumps	Wash Basins
Laundry Trays	Sinks	Water Closets
Floor Drains	Showers	Water Heaters <u>1</u>
Dishwashers	Bidets	Food Waste Grinders
Catch Basins	Sprinkling System	Urinals

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Received for Permit \$ 10.00 Dollars

Received for Fixtures \$ _____ Dollars

Carl H. Stamp
PLUMBING INSPECTOR

2/2/2017

518 W Bergen Dr - Google Maps

Go gle Maps 518 W Bergen Dr

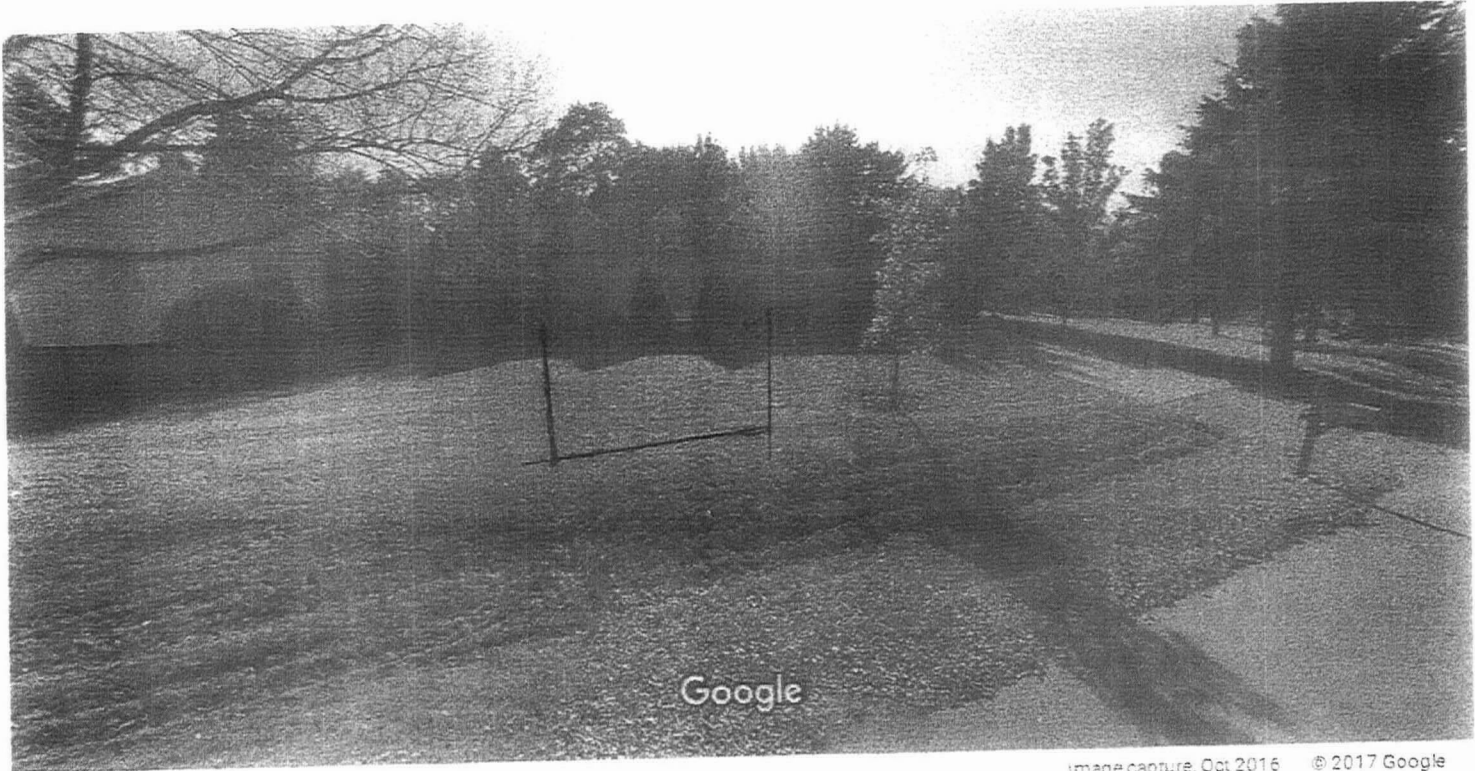
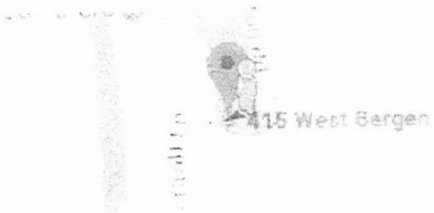


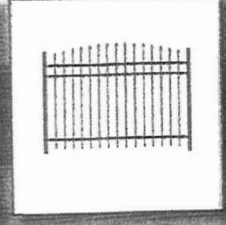
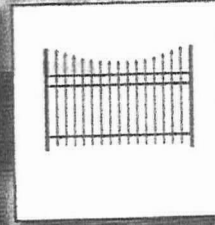
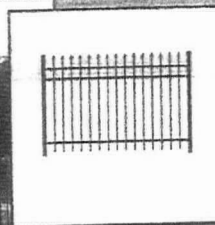
Image capture: Oct 2016 © 2017 Google

Fox Point, Wisconsin

Street View - Oct 2016



3 1/2' Ht
Style 0131



Model 0131 - 3 Rail - with Finials
Heights: 36", 42", 48" & 60" • Length: 6' Sections

VILLAGE OF FOX POINT
INSPECTION DEPARTMENT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217
(414) 351-8900

APPLICATION FOR INSPECTION AND
ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date 2-18-02
Building Address 415 ~~444~~ Bergen Dr. Fox Point, WI
Owner of Building Moore, Moore, Carney, Lake, Graziano
Owner's Address if different than above 8525 N. Port Washington
Rd, Fox Point - one of the owners - LAKE
Owner's Telephone (414) 352-5861
Owner's forwarding address _____
Proposed Occupant's Name (if known) _____
Proposed Occupant's Address _____
Proposed Occupant's Telephone ()

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner _____ Proposed Occupant _____ Other X

[Signature]
Applicant's Signature

Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

For Office Use Only:

No. 4866 Date Received 2/19/02

Amount \$100.00 Receipt 3495

Inspection made _____

Signature _____

~~11/8/59~~

10 Kamey Fylin

~~9 10105 Gmsey Kamey~~

~~8 10105 Gmsey Kamey~~

~~7 10105 Gmsey Kamey~~

~~6 10105 Gmsey Kamey~~

~~5 10105 Gmsey Kamey~~

~~4 10105 Gmsey Kamey~~

~~3 10105 Gmsey Kamey~~

~~2 10105 Gmsey Kamey~~

~~1 10105 Gmsey Kamey~~

10105 Gmsey Kamey

Plumber C. Schlicht

No.

2014

Drainlayer C. Schlicht

Address 2632-20 Silver Spring Dr

Ho. 1-4181

Application and Record

Owner J. Kannenberg

Address 415 W. Bergen Dr

Fox Point, Wis., March 9, 1955

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT, The undersigned hereby make application to do the work of Plumbing & Septic Tank consisting of

laying a Septic inch 375'

drain pipe from Main to Curb

to lot line to premises at

No. 415 W. Bergen Dr

Remarks:

laying a _____ inch _____

service pipe from Main to Curb;

a _____ inch service pipe from curb to

building at Well

No. _____

Remarks:

PERMITS ISSUED

Kind	No.
Sewer and Plumbing	2007
Water	—
Street	—
Meter	—

the following premises owned by J. Kannenberg 415 W. Bergen Dr

Name of owner

Address

Description

Lot

Block

Fox Crott. Highlands

16

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 2606

Chas. A. Schlicht Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Bath Tubs	<u>1</u>
Ice Box	
Laundry Tubs	<u>1</u>
Sanitary Bubblers	
Sinks	<u>1</u>
Urinals	
Wash Basins	<u>1</u>
Water Closets	<u>1</u>
Showers	<u>1</u>
Basement Drains	<u>1</u>
<u>Sump pump</u>	<u>2</u>
<u>Water heater</u>	<u>1</u>

FEES

<u>Septic Tank</u>	
Storm Sewer Connection	\$ <u>5.00</u>
<u>Sanitary</u>	
Sanitary Sewer Connection	<u>21.25</u>
<u>Water</u>	
Water Connection	<u>1.00</u>
Fixtures	<u>4.50</u>
Water Meter	
Total	<u>\$ 31.75</u>
Deposit to cover street repairs	
<u>R. Jansing</u>	Permit Clerk

A _____ inch _____ water service pipe was laid in _____

Curb box is located _____ feet _____ of _____ feet _____ of _____

A _____ inch _____ sanitary sewer connection was made in _____

_____ feet _____ of manhole Septic TANK and 375 FILTERING BED

A _____ inch _____ storm sewer connection was made in _____

_____ feet _____ of manhole _____

Outside Drain	House Drain	Report	Inspection Soil and Under Floor	Report	Final Inspection	Return	Water
<u>6-2-55</u>	<u>1-20-55</u>	<u>OK</u>	<u>1-20-55</u>	<u>OK</u>	<u>6-9-55</u>	<u>OK</u>	On _____
							On _____
							Off _____
							Off _____

Installation Approved _____

Application Approved 3-9-55, 1955

Robert Quinther
Water and Plumbing Inspector

REMARKS

COMPLAINT RECORD

No Meter

W. V. Rec. #3192

March 17, 1955

375' trench

50

5.00

325

16.25

\$ 21.25

Owner E. Kuhnert

Plumber C. Schlicht

Permit No. 2014

Street 415- W Bergende

2146

Plumber Wm Halliburton
Drainlayer Wm Halliburton
Address 2484 W. Silver Spring Dr.
Tel. No. HO 1-4544

No. 2883

Application and Record

Owner Gil Kannerberg
Address 415 W. Bergen Dr.
Date Sept 23, 1958

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing - drainlaying - consisting of

laying a 6 inch clay laying a _____ inch _____
drain pipe from Main to Lot line service pipe from Main to Lot line
to Building to Building
at _____

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	<u>2253</u>
Water	_____
Street	<u>1721</u>
Meter	_____
Water Usage	_____

415 W. Bergen Drive Fox Point, Wis.
Address at which work is to be done

Subdivision	Lot	Block
<u>Foxcroft Highlands</u>	<u>16</u>	<u>24</u>

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 2739 Wm Halliburton Plumber
FEES

FIXTURES WITH DRAIN OR WATER CONNECTIONS	
No.	No.
Hose Bibs	Dishwasher
Bath Tubs	Wash Basins
Sump Pump	Water Closets
Laundry Tubs	Showers
Sanitary Bubblers	Basement Drains
Sinks	Garbage Disposal
Water Heater	Sprinkling System

Water Usage \$ _____
Sanitary Sewer Connection 7.50
Water Connection _____
Water Heater _____
Fixtures _____
Water Meter _____
Total 7.50
Deposit to cover street repairs 50.00
Carl H. Plank Permit Clerk

A _____ inch _____ water service pipe was laid in _____
Curb box is located _____ feet _____ of _____ feet _____ of _____
_____ inch _____ Water Meter No. _____ Date Installed _____

A 6 inch clay sanitary sewer connection was made in main
101.6 feet whit of manhole on west side of Port Washington Rd. at
Intersection of Bergen Dr.

A _____ inch _____ storm sewer connection was made in _____
_____ feet _____ of manhole _____

Outside Sewer	Report	Inside Sewer	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
<u>10-6-58</u>	<u>O.K.</u>					<u>10-6-58</u>	<u>O.K.</u>

Installation Approved 10-6-58 Application Approved 9-23-58, 19____
As Built _____ Carl H. Plank Water and Plumbing Inspector

REMARKS
Sewer Entered
100 ft trench
50 5.00
50 @ .05 2.50
7.50

DISCREPANCY RECORD
DF Rec # 14446
W. O. Rec # 4074
9/24/58

Owner Gil Kannerberg

Plumber Wm. Hallidanton

Permit No. 2883

Street 415 W. Bergen St.

Plumber

Becker & Pelly Inc.

No.

3176

3316

Drainlayer

Address

*310 W Bradley Rd
FL 22050*

Tel. No.

Application and Record

Owner

*Thomas Moore
415 W Bering Rd
12-13-60*

Address

Date

1960

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing - drainlaying - consisting of

laying a _____ inch _____ laying a *1* inch *Copper*
drain pipe from Main to Lot line service pipe from Main to Lot line
to Building to Building

at

415 W Bering Rd

Fox Point, Wis.

Address at which work is to be done

PERMITS ISSUED

Kind	No.
Sewer and Plumbing	—
Water	2056
Street	1886
Meter	2047
Water Usage	—

Subdivision

Lot

Block

Foxcroft Highlands

16

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No.

3156

Becker & Pelly Inc.

Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	Dishwasher
Bath Tubs	Wash Basins
Sump Pump	Water Closets
Laundry Tubs	Showers
Sanitary Bubblers	Basement Drains
Sinks	Garbage Disposal
Water Heater	Sprinkling System

FEES

Water Usage	\$
Sanitary Sewer Connection	
Water Connection	<i>3.00</i>
Water Heater	
Fixtures	
Water Meter	<i>4.00</i>
Total	<i>7.00</i>
Deposit to cover street repairs	<i>50.00</i>

Earl H. Plunk

Permit Clerk

A *1* inch *Copper* water service pipe was laid in *lot to house*

Curb box is located _____ feet _____ of _____ feet _____ of _____

See back of building permit card for stop box tie in
3/4 inch H Beger Water Meter No. *7288599* Date Installed *1/16/61*

A _____ inch _____ sanitary sewer connection was made in _____ feet _____ of manhole _____

A _____ inch _____ storm sewer connection was made in _____ feet _____ of manhole _____

Outside Sewer ^{Water}	Report	Inside Sewer	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
<i>12-21-60</i>	<i>O.K.</i>					<i>1-9-61</i>	<i>O.K.</i>

Installation Approved

1-9-61

Application Approved

12-13-60

19

As Built

Earl H. Plunk

Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

1" Copper from main to lot line

*M. F. Rec # 16594
W. U. Rec # 4643
12/15/60*

2140

Owner Thomas Moore

Plumber Backus Pllg. Inc.

Permit No. 3316

Street 415 W. Bergen Dr.

Plumber Berbin Corporation
Address P.O. Box 21
Tel. No. Hiensville 53092

Owner THOMAS MOORE
Address 415 BERGIN DR.
Date MAY 1966, 198

laying a _____ inch _____
building sewer from Main to Lot line
to Building

laying a _____ inch _____
water service from Main to Lot line
to Building

at _____

415 BERGIN DRIVE Fox Point, Wis.
Address at which work is to be done

In the performance of this work the undersigned Plumber hereby agrees to be bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

agrees to be bounden by and submit to all sta
or Plumbers.

FEES

Water Usage	\$
Building Sewer .....	.....
Water Service .....	.....
Building Drain .....	.....
Fixtures	10.00 c
Water Meter	4 10.00
Total	10.00
Deposit to cover street repairs .....	.....

Carl H. Plank

inch..... Water Meter No..... Date Installed.....

A. _____ inch _____ storm sewer connection was made in _____
_____ feet _____ of manhole _____

Installation Approved 1-28-81 Application Approved 5-19-80, 19____
As Built _____
Water and Plumbing Inspector Carl H. Plank

[illegible]

Owner Thomas Moore

Address 415 E. Bergen Dr.

Permit No. 5697

Plumber Donald H. Best
Bergin Corp.

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

Date Submitted: 3/17/2016

Permit No. 16499

APPLICATION FOR BUILDING OR RAZING

The undersigned hereby applies for a permit to build or raze, in accordance with the information tabulated hereafter,

Type of Project: Basement Rec-Room

Address: 415 W. Bergen Dr.

Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Size of Structure: 500 Sqft (existing) (square feet/cubic feet) Height of Structure: N/A (stories or feet)

Distance - Street Line to Front Line of Structure: (feet) Distance - Side Lot Line to Structure: (feet)

Estimated Cost: Approximately \$5,250

Remarks - Please indicate scope of work:

This project includes remodeling an existing basement area for a recreation room. A storage area will also be created.

Herewith are filed the specifications that describe the work in question and as shown on the plans above submitted.

In making the application, the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure: James Keegan

Architect/Contractor: Ethan Skeels / James Keegan

Address: 415 W. Bergen Dr.

Address: 415 W. Bergen Dr.

City: Fox Point State: WI Zip: 53217

City: Fox Point State: WI Zip: 53217

Telephone: (608)213-1216

Telephone: (608)213-1216

Email Address: jameskeeg@gmail.com

Email Address: jameskeeg@gmail.com

Dwelling Contractor Certification No.:

Expiration Date:

Dwelling Contractor Qualifier Certification No.:

Expiration Date:

Permit Fee: \$700 Receipt No.: 1.052008

Applicant Signature:

Date Application Approved:

IF HOMEOWNER IS APPLYING FOR A BUILDING PERMIT,
A SIGNED CAUTIONARY STATEMENT FORM MUST BE ATTACHED.

Enter into
Permit
Book

PAID \$332.00
REC# 1.052779
Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

\$75.00 4/3/2017
Rec# 1.052697

Date Submitted:

4/3/2017

Permit No.

16695

APPLICATION FOR BUILDING OR RAZING

The undersigned hereby applies for a permit to build or raze, in accordance with the information tabulated hereafter,

Type of Project: RESIDENCE Address: 415 BERGEN DR.
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Size of Structure: _____ (square feet/cubic feet) Height of Structure: 1 1/2 STORIES (stories or feet)

Distance - Street Line to Front Line of Structure: _____ (feet) Distance - Side Lot Line to Structure: _____ (feet)

Estimated Cost: \$35,000.00

Remarks - Please indicate scope of work: REWORK EXISTING 3 SEASON SUNROOM INTO 4 SEASON SUNROOM, ADD A BATHROOM IN THE BASEMENT, REWORK CONCRETE STOOP AT FRONT ENTRY

Herewith are filed the specifications that describe the work in question and as shown on the plans above submitted.

In making the application, the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure: ANGELA JOHNSTON Architect/Contractor: RLD ARCHITECTURE & CONSTRUCTION

Address: _____ Address: 707 BEECH ST.

City: _____ State: _____ Zip: _____ City: GRAFTON State: WI Zip: 53024

Telephone: 414.332.6505 Telephone: 414.943.2293

Email Address: AJOHNSTON@WI.BR.COM Email Address: DLK.DAEHNERT@GMAIL.COM

Dwelling Contractor Certification No.: _____ Expiration Date: _____

Dwelling Contractor Qualifier Certification No.: _____ Expiration Date: _____

Permit Fee: 333 Receipt No.: 1.052779

Applicant Signature: Angela Johnston Date Application Approved: 4/26/17

IF HOMEOWNER IS APPLYING FOR A BUILDING PERMIT,
A SIGNED CAUTIONARY STATEMENT FORM MUST BE ATTACHED.



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT WI 53217-3505
414-351-8900
FAX 414-351-8909

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING BUILDING PERMITS**

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

ANGELA JOHNSTON

Homeowner's Name – PRINTED

415 W. BERGEN DR.

Fox Point Property Address

Angela Johnston

Homeowner's Signature

3/24/17

Date

REGISTER'S OFFICE
Milwaukee County, Wis.
RECORDED AT 10:16 AM

REF 1400 PAGE 757

FORM NO. 983-A

SEP 4 - 1991
REF 1400 PAGE 757-758

REGISTER OF DEEDS

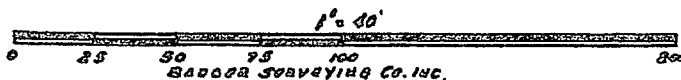
5498768

Sheet 1 of 2

DOC # 5498768 #
RECORD 3.00
A CASH A 3.00
#47046 C001 R01 T10:09

CERTIFIED SURVEY MAP NO. 4086

being a division of Lot 16, Fox Croft Highlands, being a subdivision of the South West 1/4 of the North East 1/4 of Section 8, Township 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin.



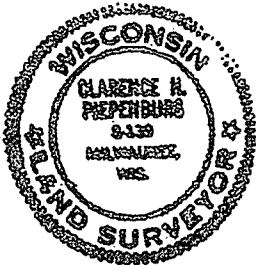
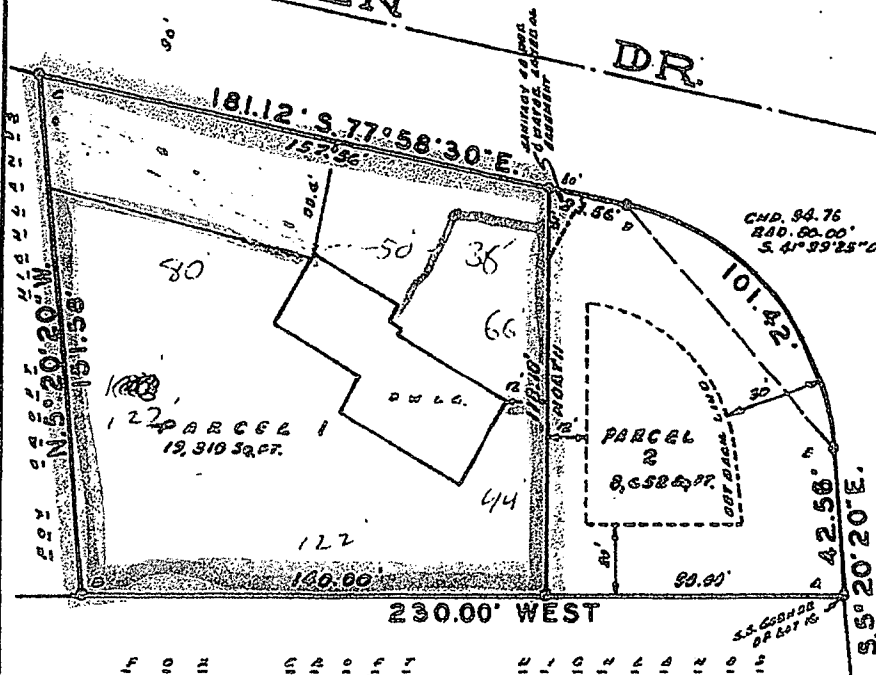
NOTE
DENOTES 1"=24" IRON PIPE, HEIGHT 113 LBS PER LINEAL FOOT

INTERIOR ANGLES	
A	82° 39' 40"
B	95° 20' 20"
C	78° 39' 10"
D	143° 00' 55"
E	143° 40' 55"

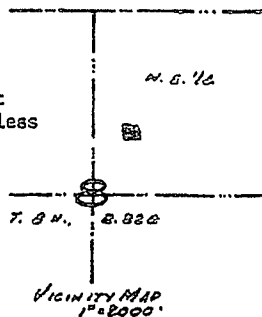
W. BERGEN

DR.

N. PORT WASHINGTON RD.



The open area of Parcel 2 shall not be reduced below 17500 sq. ft., unless there is a change in zoning which allows a lesser open area.



THIS IS AN ORIGINAL PRINT ONLY
IF SEAL IS IMPRINTED IN RED

CSM 81-096

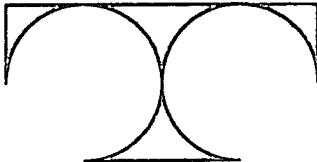
STRUCTURAL CALCULATIONS

APRIL 21, 2017
PROJECT NO. 17-226

PROJECT:

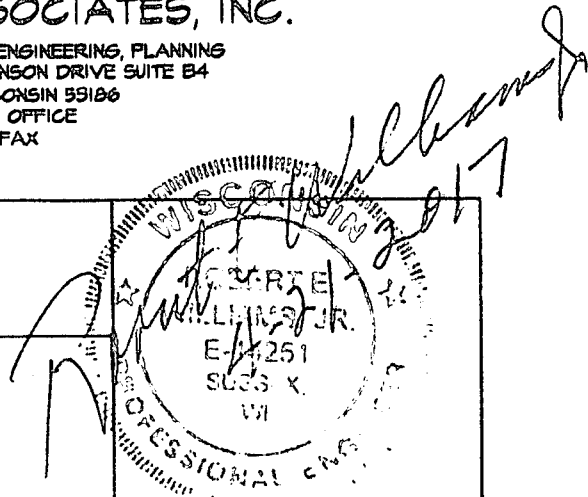
The Johnston Residence
A CUSTOM DESIGNED HOME ADDITION
415 WEST BERGEN DRIVE
FOX POINT, WI

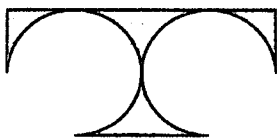
ENGINEER:



TDI ASSOCIATES, INC.

ARCHITECTURE, ENGINEERING, PLANNING
N8 W22330 JOHNSON DRIVE SUITE B4
WAUKESHA, WISCONSIN 53186
(262) 409-2530 OFFICE
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I. LOADS CONTINUED

G. Adjustment Factors for Environmental Loads

5. Wind Analysis

Tabular Results from Wind Speed of 90 MPH and Roof Slope (degrees): 39.00

Exposure Class B (No reduction or magnification factor)

Mean Roof Height (ft): 18.0

• Main Force Resisting System: Low Rise Building Provisions

Horizontal Loads			Vertical Loads		
	End Zone	Interior Zone		End Zone	Interior Zone
Wall	14.4	11.5	Leeward	-8.8	-7.5
Roof	9.9	7.9	Windward	-5.6	4.8
			Overhang	-5.1	-5.8

Height and Exposure Adjustment Coefficient 1.00

Horizontal Loads * Coeff.			Vertical Loads * Coeff.		
	End Zone	Interior Zone		End Zone	Interior Zone
Wall	14.4	11.5	Leeward	-8.8	-7.5
Roof	9.9	7.9	Windward	-5.6	4.8
			Overhang	-5.1	-5.8

• Components and Cladding: Low Rise Building Provisions

Wall			Roof		
Area	Dir. Pres.	Uplift	Area	Dir. Pres.	Uplift
10	14.6	-15.8	10	13.3	-14.6
20	13.9	-15.2	20	13.0	-13.8
50	13.0	-14.3	50	12.5	-12.8
100	12.4	-13.5	100	12.1	-12.1

Height and Exposure Adjustment Coefficient 1.00

Wall * Coeff.			Roof * Coeff.		
Area	Dir. Pres.	Uplift	Area	Dir. Pres.	Uplift
10	14.6	-15.8	10	13.3	-14.6
20	13.9	-15.2	20	13.0	-13.8
50	13.0	-14.3	50	12.5	-12.8
100	12.4	-13.5	100	12.1	-12.1

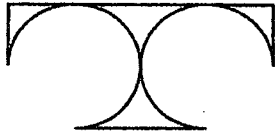


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III. Lateral wind Force Design Table

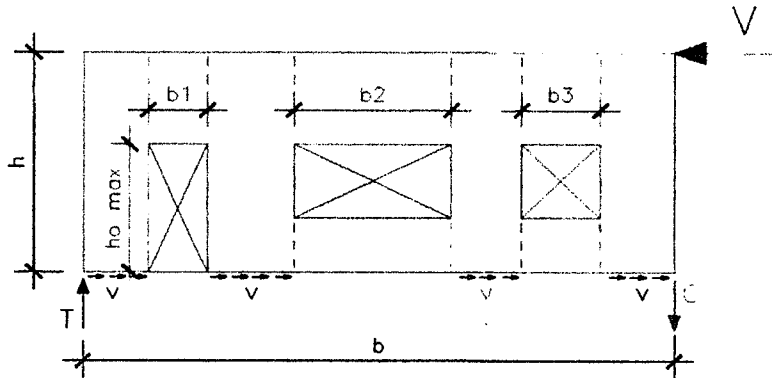
16								
shear wall type	floor	grid	wind force	trib. span	height	no. of stories	shear force on wall	total shear force on wall
EXTERIOR								
A	1ST WALL	END	14.4	6	4.00	1	345.60	
A	1ST ROOF	END	9.9	6	3.00	1	178.20	523.80
B	1ST WALL	END	14.4	8	4.00	1	460.80	
B	1ST ROOF	END	9.9	8	6.00	1	475.20	936.00



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Perforated Shear Wall Worksheet SW-#A 1ST Floor



$$b_o = b_1 + b_2 + b_3$$

$$b_{th} = b - b_o$$

h_o = height, maximum, for openings

V = Shear applied to Wall

v = Unit Shear (from Piers * Perforation Factor)

T = Tension Force for Holddown to System Below

C = Compression Force to System Below

** Diagram is for illustrative purposes only. See Elevation Sheets for shear wall being examined.

C_o Table

h_o / h

b_{th} / b	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0
0.0	1.000	1.000	1.000	0.802	0.670	0.602	0.480	0.420	0.358	0.330
0.1	1.000	1.000	1.000	0.814	0.690	0.626	0.510	0.450	0.388	0.360
0.2	1.000	1.000	1.000	0.826	0.710	0.650	0.538	0.472	0.408	0.380
0.3	1.000	1.000	1.000	0.844	0.740	0.680	0.570	0.510	0.448	0.420
0.4	1.000	1.000	1.000	0.862	0.770	0.714	0.610	0.550	0.482	0.450
0.5	1.000	1.000	1.000	0.880	0.800	0.748	0.650	0.590	0.528	0.500
0.6	1.000	1.000	1.000	0.898	0.830	0.782	0.694	0.646	0.588	0.560
0.7	1.000	1.000	1.000	0.922	0.870	0.830	0.754	0.706	0.654	0.630
0.8	1.000	1.000	1.000	0.946	0.910	0.878	0.818	0.782	0.734	0.710
0.9	1.000	1.000	1.000	0.970	0.950	0.934	0.902	0.878	0.846	0.830
1.0	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000

Wall Input Values

Height of Wall	h (ft)	9
Maximum Opening Height	h_o (ft)	7
Width of Wall (total)	b (ft)	16
Sum of Wall Opening Width	b_o (ft)	13

Calculate Perforation Reduction

Max Opening Hgt / Wall Hgt	h / h_o	0.78
Shear Wall Remaining (piers)	b_{th} (ft)	3
Pier length / wall length	b_{th} / b	0.188
Perforation factor	C_o (ft)	0.534

*Perforation Factor is from Double Interpolation of C_o Table

Hold-down Force Required

Length between Hold-downs	L (ft)	15.75
Tension Force	T (lbs)	299.43

IBC Code: Can sum the sheathing values per side, but the summation of the two must be less than twice the lowest unit shear of the two materials.

Force Input Value

Shear Force applied to Wall	V (lbs)	524
Force applied by wind		

Unit Shear Calculation

Remaining Pier Length * C _o	$b_{th} * C_o$ (ft)	1.60
75 Unit Shear, V / Pier length	v (lb/ft)	326.79

Side 1: Sheathing: 1/2" OSB

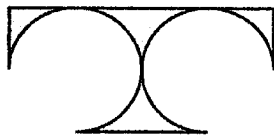
Length	L (ft)	1.60
Unit Shear Capacity	v (lb/ft)	260
		8d Nail @ 8/12 Pattern

Side 2: Sheathing 1/2" GYP

Length	L (ft)	1.60
Unit Shear Capacity	v (lb/ft)	80
		#6Screw @ 8/12 pattern

Total Force Capacity	V (lbs)	545.2	> 524	O.K.
Equivalent Unit Shear	v (lb/ft)	340	> 326.787	O.K.

Gypsum is screwed at 16" OC at edge joint along horizontal butt joints



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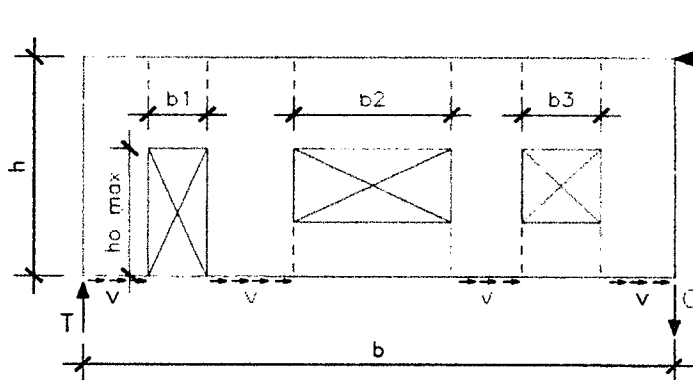
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Perforated Shear Wall Worksheet SW-#B 1ST Floor



$$b_o = b_1 + b_2 + b_3$$

$$b_{fh} = b - b_o$$

h_o = height, maximum, for openings

V = Shear applied to Wall

v = Unit Shear (from Piers * Perforation Factor)

T = Tension Force for Holddown to System Below

C = Compression Force to System Below

** Diagram is for illustrative purposes only. See Elevation Sheets for shear wall being examined.

C_o Table

h_o / h

b_{fh} / b	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0
0.0	1.000	1.000	1.000	0.802	0.670	0.602	0.480	0.420	0.358	0.330
0.1	1.000	1.000	1.000	0.814	0.690	0.626	0.510	0.450	0.388	0.360
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0.6	1.000	1.000	1.000	0.898	0.830	0.782	0.694	0.646	0.588	0.560
0.7	1.000	1.000	1.000	0.922	0.870	0.830	0.754	0.706	0.654	0.630
0.8	1.000	1.000	1.000	0.946	0.910	0.878	0.818	0.782	0.734	0.710
0.9	1.000	1.000	1.000	0.970	0.950	0.934	0.902	0.878	0.846	0.830
1.0	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000

Wall Input Values

Height of Wall	h (ft)	9
Maximum Opening Height	h_o (ft)	7
Width of Wall (total)	b (ft)	11.94
Sum of Wall Opening Width	b_o (ft)	9.5

Calculate Perforation Reduction

Max Opening Hgt / Wall Hgt	h / h_o	0.78
Shear Wall Remaining (piers)	b_{fh} (ft)	2.44
Pier length / wall length	b_{fh} / b	0.204
Perforation factor	C_o (ft)	0.539

*Perforation Factor is from Double Interpolation of C_o Table

Hold-down Force Required

Length between Hold-downs	L (ft)	11.69
Tension Force	T (lbs)	720.62

IBC Code: Can sum the sheathing values per side, but the summation of the two must be less than twice the lowest unit shear of the two materials.

Force Input Value

Shear Force applied to Wall	V (lbs)	936
Force applied by wind		

Unit Shear Calculation

Remaining Pier Length * C _o	$b_{fh} * C_o$ (ft)	1.32
75 Unit Shear, V / Pier length	v (lb/ft)	711.18

Side 1: Sheathing: 1/2" OSB

Length	L (ft)	1.32
Unit Shear Capacity	v (lb/ft)	640

8d Nail @ 2/12 Pattern

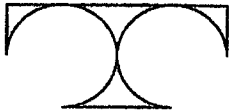
Side 2: Sheathing 5/8" Gyp.

Length	L (ft)	1.32
Unit Shear Capacity	v (lb/ft)	80

#6Screw @ 8/12 pattern

Total Force Capacity	V (lbs)	947.6	> 936	O.K.
Equivalent Unit Shear	v (lb/ft)	720	> 711.182	O.K.

Gypsum is screwed at 16" OC at edge joint along horizontal butt joints

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III. Lateral Force Design**B. Roof Diaphragms and Continuous Load Path for Uplift**

Height of wall-ft 1st 8

Total Wind Shear force 1003.68

Length pf wall-ft 1st 16

Design for Diaphragms

Wind Force max-psf 11.50

Height of roof 6 Worst Case Force = Shear F/ width 62.7 plf less than 180 plf Ok

Length of roof 16

Wind force max 7.90

Bldg Length 16

At Roof & Floor Diaphragms, Use 1/2" OSB Sheathing w/ 6/12 Nailing Pattern with 8d Nails.Hold-Downs at First Floor

Tension Force Worst Case=

721.0 lbs

From Shear Wal From Shear Wall

Ft Allow=

1162 lbs

OkOkContinuous Load Path - Uplift Design, Truss

Dead Load=psf 15

Bldg width-ft 12

Spacing of trusses-ft 2

Area of Roof Truss = spacing * 1/2 width

12.0 sq. ft.

By Components & Cladding: Ft=

-19.5 psf, by interpolation

Uplifting force, Ft= Ft-.6 DL=

-10.5 psf

At Hold-Down: ss span/2 x spacing -126 lbs

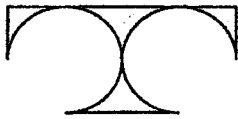
Simpson H5: Ft Allow= 780 lbs

Ok

Check Shear: Worst Case = 125.46 lbs

Simpson H5: Ft Allow= 455 lbs

Ok**Use Simpson H5 with (4) 8d Nails at Every Truss Bearing End and to plate.**



Check capacity to provide for Hold down of shear walls with Anchor Bolts

WORST CASE SHEAR WALL LONG SIDE

length of shear wall	16	feet	
spacing of anchor bolts	2.67	feet	
capacity of each bolt in tension	1277	pounds	with 6" embed head or bent
number of bolt w 1st bolt at max. 2' from ends	4.49	bolts	
use this number of bolts	5	bolts	
actual tension force on each bolt	349.33		
moment arm from all bolts	12	feet	
Hold down moment to resist overturn	15,324	foot pounds >	4,192 foot pounds O.K
Height of shear wall	8	feet	
Force at top of wall at one end	524	pounds	
Overturning Moment	4,192	foot pounds	

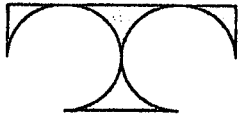
Check capacity of washer under anchor bolt

For pressure treated lumber on concrete

Allowable compression force in SYP PT material perpendicular to grain	565	psi
area of washer required to provide for maximum tension in titen HD	0.62	in^2
minimum size of square washer	0.79	in^2
minimum dia. of washer	0.89	in. dia.

For lumber on lumber

Allowable compression force in SYP PT material perpendicular to grain	425	psi
area of washer required to provide for maximum tension in titen HD	0.82	in^2
minimum size of square washer	0.91	in^2
minimum dia. of washer	1.02	in. dia.



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Check capacity to provide for Hold down of shear walls with Anchor Bolts

WORST CASE SHEAR WALL SHORT SIDE

length of shear wall	11.94	feet	
spacing of anchor bolts	2	feet	
capacity of each bolt in tension	1277	pounds	with 6" embed head or bent
number of bolt w 1st bolt at max. 2' from ends	3.97	bolts	
use this number of bolts	4	bolts	
actual tension force on each bolt	936.00		
moment arm from all bolts	8	feet	
Hold down moment to resist overturn	10,216	foot pounds >	7,488 foot pounds O.K.
Height of shear wall	8	feet	
Force at top of wall at one end	936	pounds	
Overturning Moment	7,488	foot pounds	

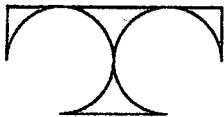
Check capacity of washer under anchor bolt

For pressure treated lumber on concrete

Allowable compression force in SYP PT material perpendicular to grain	565	psi
area of washer required to provide for actual tension in titen HD	1.66	in^2
minimum size of square washer	1.29	in^2
minimum dia. of washer	1.45	in. dia.

For lumber on lumber

Allowable compression force in SYP PT material perpendicular to grain	425	psi
area of washer required to provide for maximum tension in titen HD	2.20	in^2
minimum size of square washer	1.48	in^2
minimum dia. of washer	1.67	in. dia.



Capacity of Anchor Bolt

Concrete strength 3 ksi
Perimeter of bolt 1.57 in.
Length of bolt overall 9 in.
Length of bolt projection 3 in.
Length of embedment 6 in.

nominal dia. of bolt 1/2 inches
threads per inch 13
proof load of bolt 36,000 psi

Calculate area of bolt in stress

$$A_s = 0.7854(D - (0.9743/n))^2$$

$$A_s = 0.141899 \text{ square inches}$$

D= bolt diameter
n= threads per inch

Actual calculated Bolt Capacity in Tension 1277.089 pounds with safety factor of 4

Actual calculated Bolt Capacity in Shear = 766.2537 pounds with safety factor of 4

Allowable Loading:

Allowable Bond to bolt $u = .045 \times f'_c$ 135.00 psi

allowable tension in bolt 5,108.36 pounds per bolt

allowable concrete bond strength 15,260.40 pounds per bolt 3815.1 pounds per bolt with safety factor of 4

embedment bond strength exceeds bolt allowable tension strength
therefore 1/2" diameter anchor bolts are structurally adequate to meet code.

- 3) The applicant providing the Village with additional documentation showing that the foundation walls of the crawl space addition will be properly damp proofed.
- 4) The applicant providing the Village with additional documentation showing that the foam insulation that will be installed on the inside of the crawl space addition, will be protected with a code compliant 15-minute thermal barrier.

Angela Johnson, 415 W. Bergen Drive, proposed sunroom remodel, new bathroom and reworking the concrete stoop by the front entry door. It was the consensus of the Building Board to approve this application subject to the following conditions:

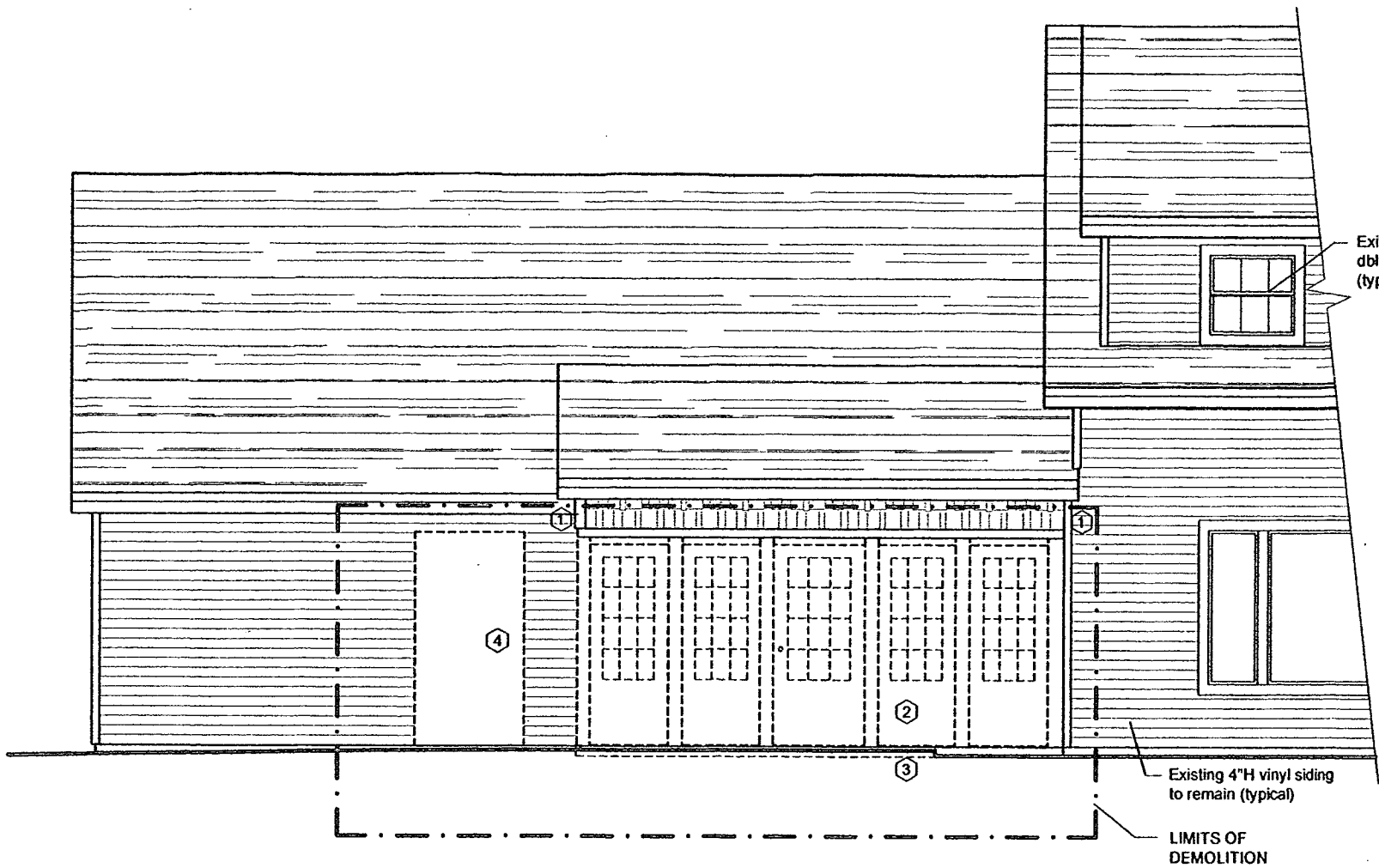
- 1) The applicant providing the Village with all of the necessary wall bracing information showing that this project will be constructed in compliance with Village code.
- 2) The applicant providing the Village with documentation showing that roof ventilation will be provided as required by code.
- 3) The applicant providing the Village with documentation showing that roof insulation will be provided as required by code.

Byron and Laurie Vielehr, 7944 N. Beach Drive, proposed addition to the north side of the attached garage. The Building Inspector said that proper notice of this meeting was sent to all neighboring property owners as required by Village code because this project involves a modification of open area. It was the consensus of the Building Board to approve this application, including the 1.84% reduction in open area, subject to the applicant providing the Village with documentation showing that the beams are properly sized.

Dr. Pako and Nichole Anne Major, 1380 E. Winkler Lane, proposed changes to the plans that were approved by the Building Board at their November 11, 2016 meeting. The Building Inspector said that proper notice of this meeting was sent to all neighboring property owners as required by Village code because the Board approved a modification in open area at a previous meeting when the applicant submitted plans for a new addition. The Building Inspector said that the applicant is seeking Building Board approval to change the roofing and siding materials on the new addition. It was the consensus of the Building Board to approve these changes to the approved plans.

John and Amy Murphy, 900 E. Wye Lane, proposed installation of two new windows on the north elevation of the home. It was the consensus of the Building Board to table this application because of the following reasons:

- 1) The application does not include any information showing that code compliant headers will be provided above the new window openings.
- 2) The application does not include any information showing the proposed size of the new windows.
- 3) The application does not specify the cladding or exterior finish materials of the new windows to show that they will match the existing windows on the home.



GENERAL DEMOLITION NOTES:

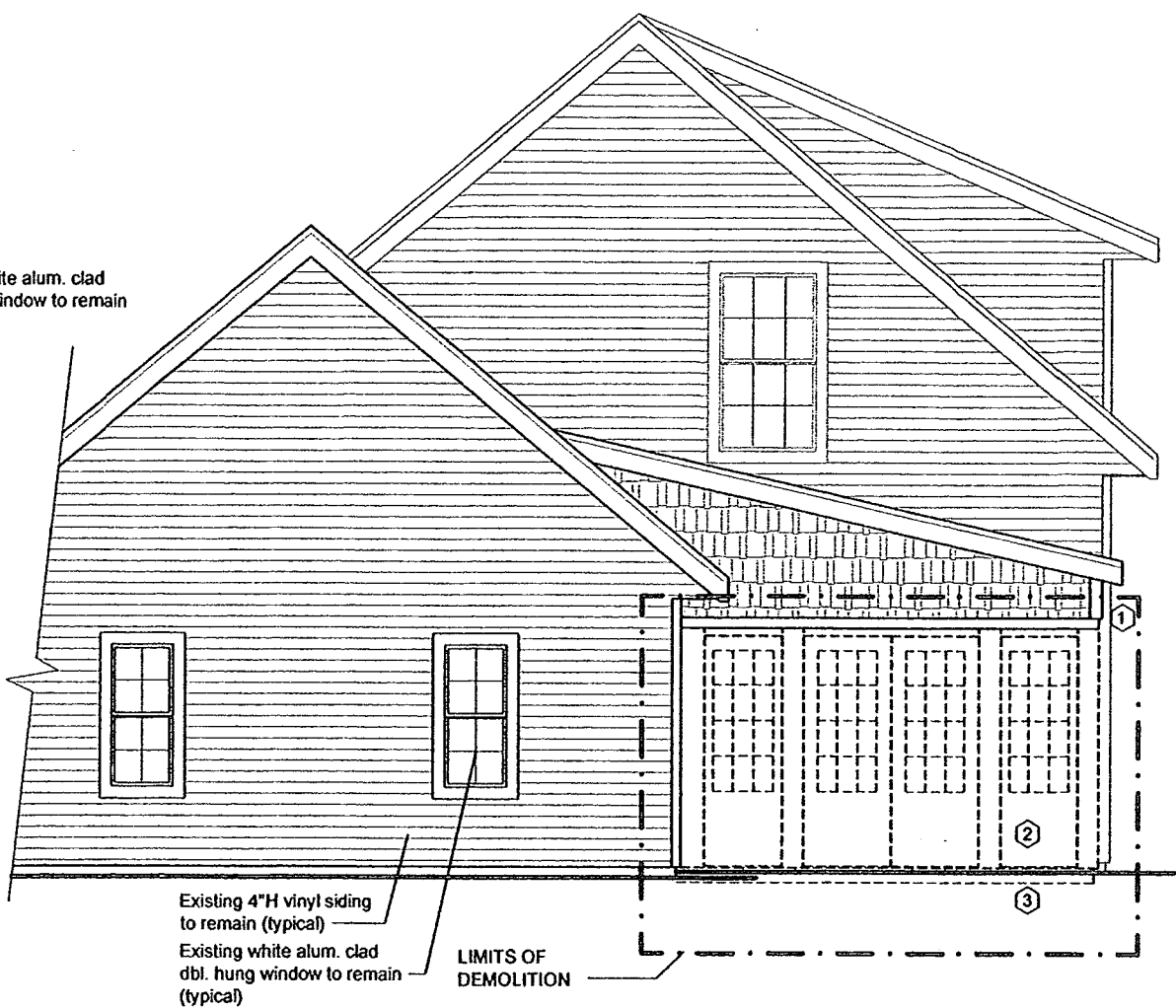
- Client to remove all personal belongings, such as furniture, dishes, and decorations from all rooms impacted by demolition work
- All fixtures shown dashed to be removed. Plumbing and electrical lines capped by appropriate sub contractor
- Any bearing walls shown removed to be temporarily braced until new header is installed

DEMOLITION NOTES:

- ① Existing roof structure to be temporarily shored up to allow for removal of 6"x6" wood columns
- ② Remove existing wood doors, windows, trim & 6"x6" columns
- ③ Remove existing 4" thick concrete slab
- ④ Remove existing vinyl siding, sheathing and studs to allow for a new 3'-2" x 6'-9 1/2" R.O.

SOUTH BUILDING ELEVATION - Existing/Demolition

SCALE: 3/16" = 1'-0"



GENERAL DEMOLITION NOTES:

- Client to remove all personal belongings, such as furniture, dishes, and decorations from all rooms impacted by demolition work
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WEST BUILDING ELEVATION - Existing/Demo.

SCALE: 3/16" = 1'-0"

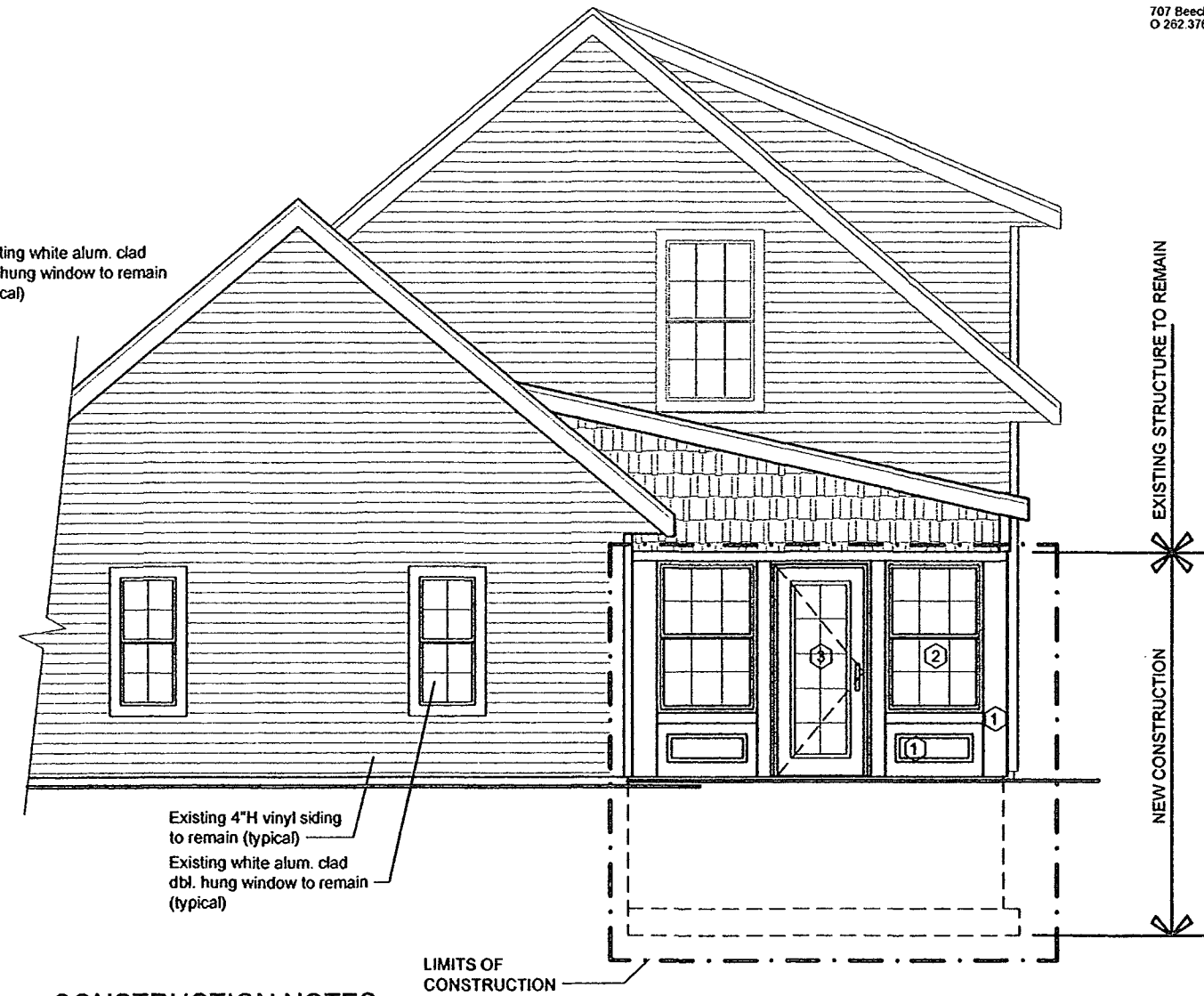
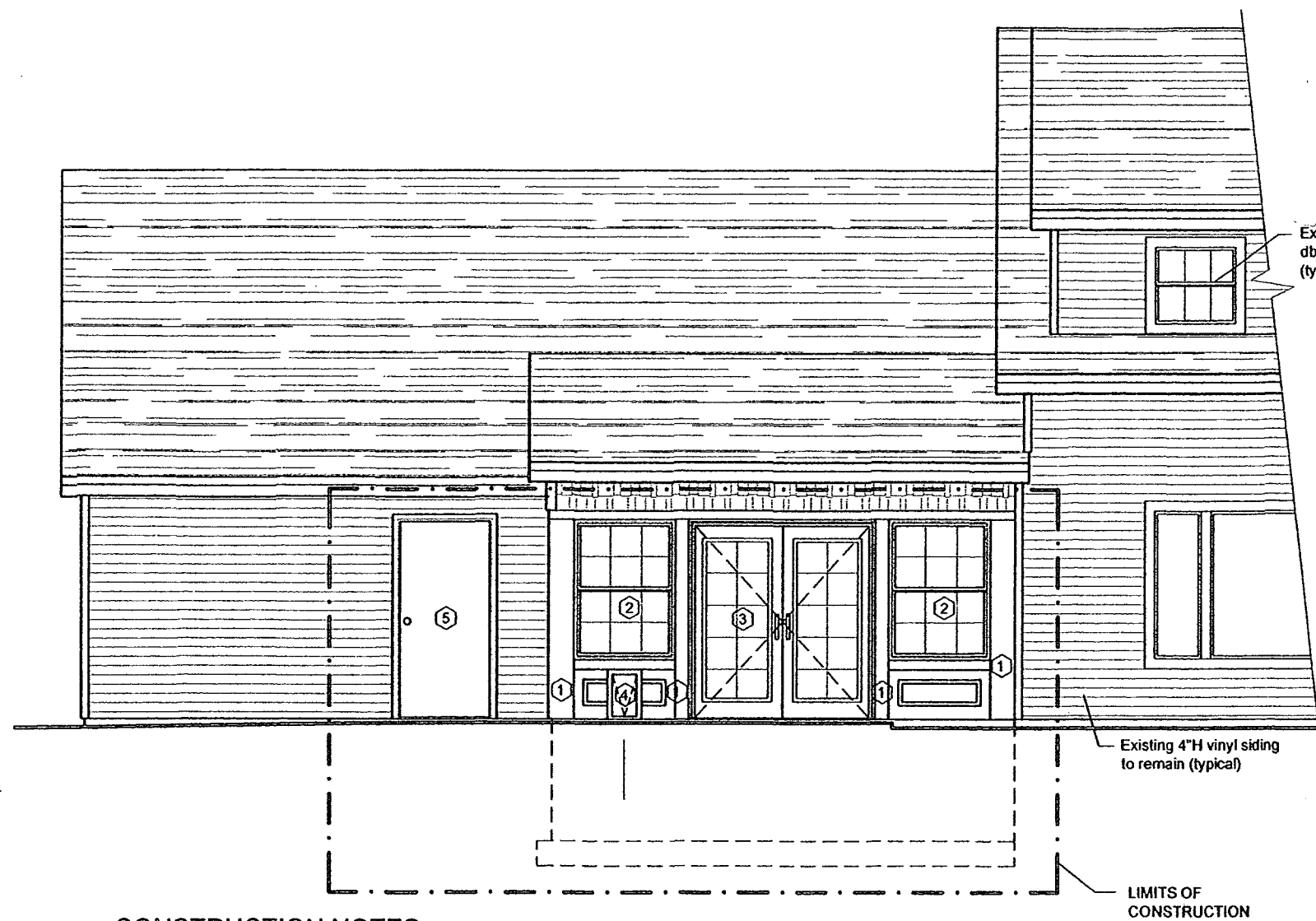
PROJECT:
 Proposed Remodeling
 Of Existing Residence

LOCATION:
 415 W. Bergen Dr.
 Fox Point, WI 53217

DATE:
 March 27 2017

REVISIONS:
 April 21, 2017

SHEET #:



CONSTRUCTION NOTES:

- ① New pre finished "Hardie Trim Board" (or equal)
- ② New double hung aluminum clad wood wndws. - size per floor plan
- ③ New aluminum clad wood door
- ④ New 10" x 16" high dog door (provided by Owner installed by contractor)
- ⑤ New 3'-0"x6'-8" insulated pre finished door and frame W/ brick mold

SOUTH BUILDING ELEVATION - Proposed

SCALE: 3/16" = 1'-0"

CONSTRUCTION NOTES:

- ① New pre finished "Hardie Trim Board" (or equal)
- ② New double hung aluminum clad wood wndws. - size per floor plan
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WEST BUILDING ELEVATION - Proposed

SCALE:

PROJECT:
Proposed Remodeling
Of Existing Residence

LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

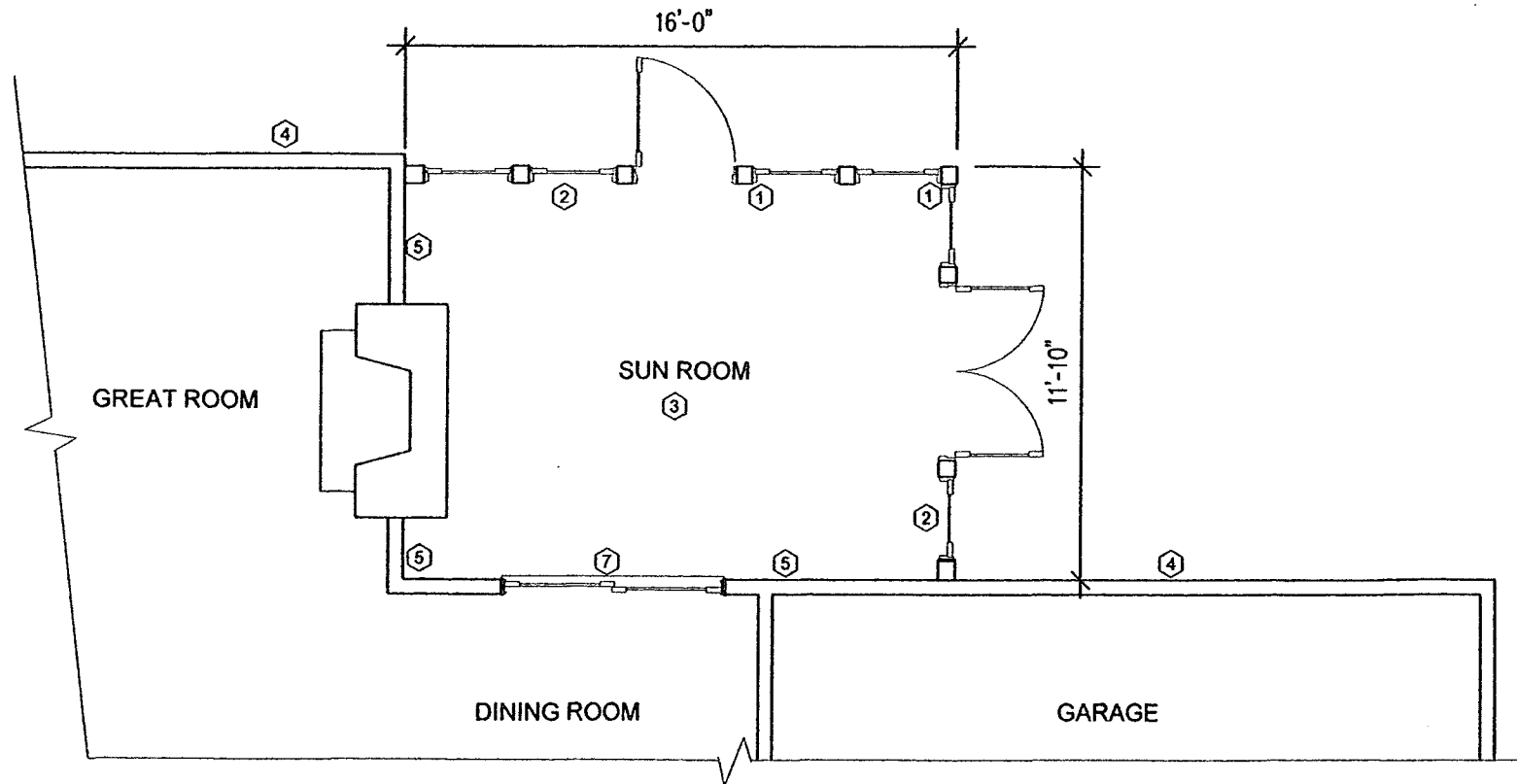
DATE:
March 27, 2017

REVISIONS:
April 21, 2017

SHEET #:

A - 2 of 6

3/16" = 1'-0"



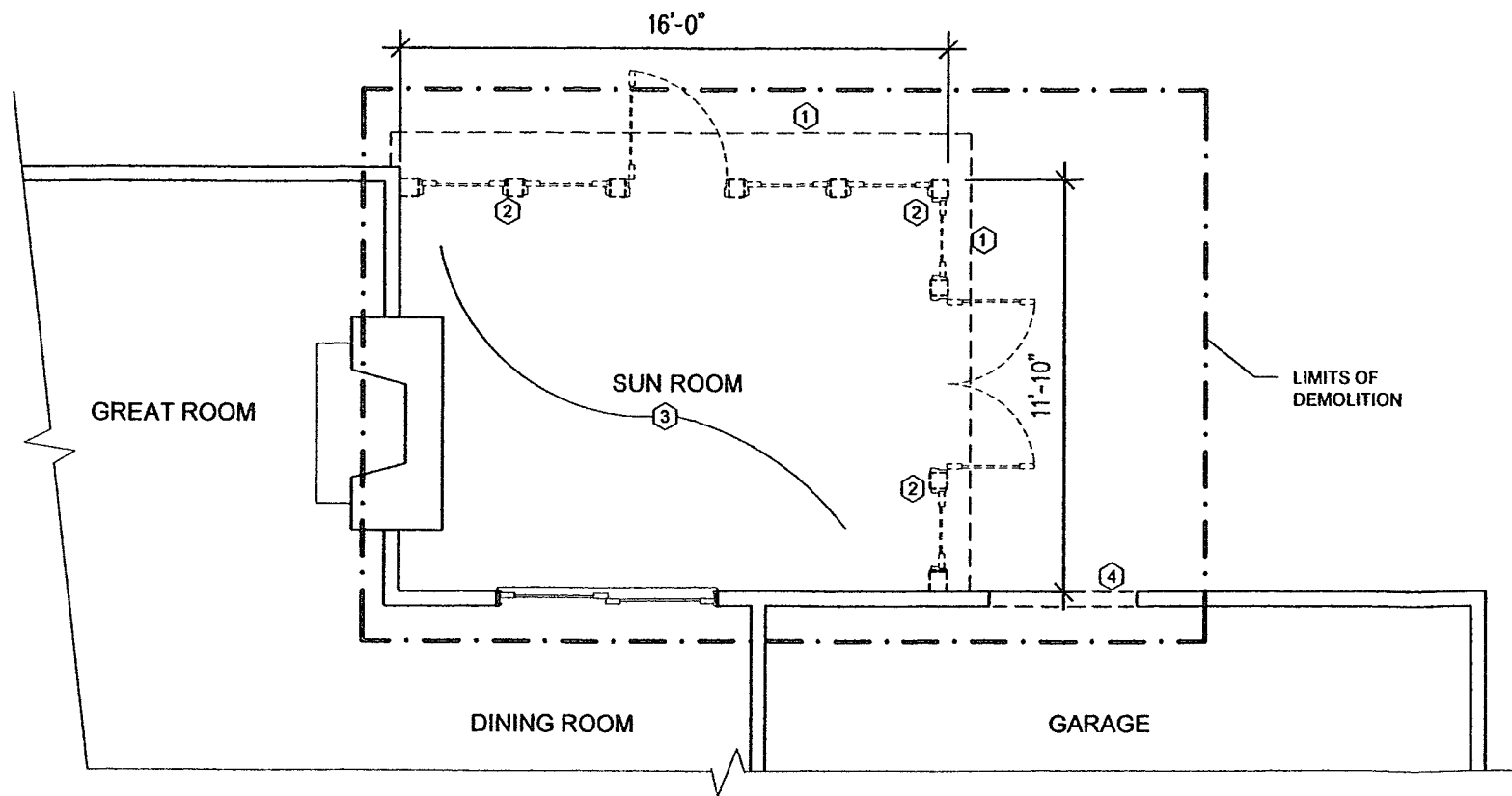
NOTES:

- ① Existing 6"x6" wood columns
- ② Existing wood doors, windows & trim
- ③ Existing 4" thick concrete slab
- ④ Existing 4" vinyl siding
- ⑤ Existing 8" wood siding
- ⑥ Existing stone fireplace
- ⑦ Existing sliding patio door

PARTIAL FIRST FLOOR PLAN - Existing



SCALE: 3/16" = 1'-0"



GENERAL DEMOLITION NOTES:

- Client to remove all personal belongings, such as furniture, dishes, and decorations from all rooms impacted by demolition work
- All fixtures shown dashed to be removed, and plumbing and electrical lines capped by appropriate sub contractor
- Any bearing walls shown removed to be temporarily braced until new header is installed

DEMOLITION NOTES:

- ① Existing roof structure to be temporarily shored up to allow for removal of 6"x6" wood columns
- ② Remove existing wood doors, windows, trim & 6"x6" columns
- ③ Remove existing 4" thick concrete slab
- ④ Remove existing vinyl siding, sheathing and studs to allow for a new 3'-2" W x 6'-9 1/2" H R.O.

PARTIAL FIRST FLOOR PLAN - Demolition



SCALE: 3/16" = 1'-0"

PROJECT:
Proposed Remodeling
Of Existing Residence

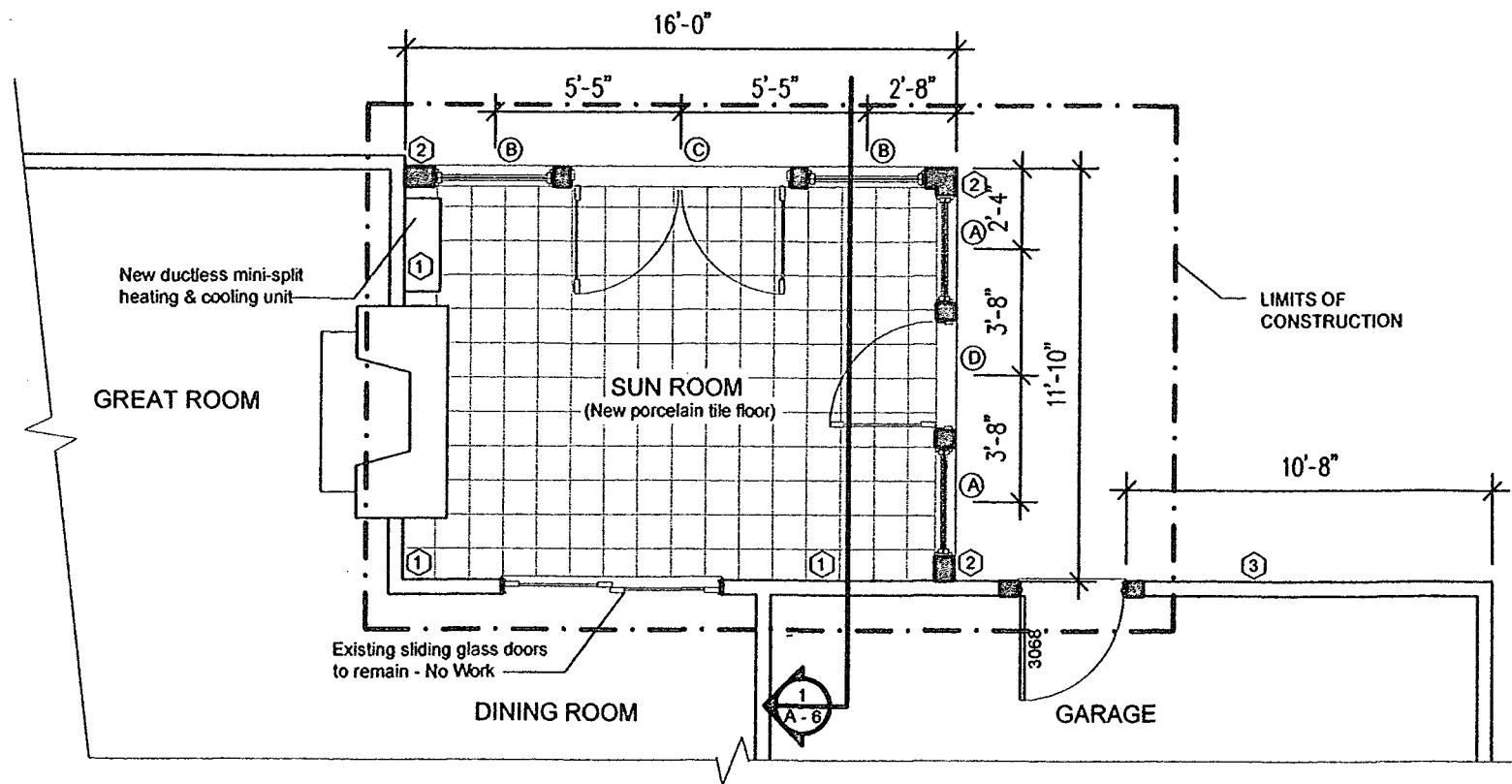
LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

DATE:
March 27, 2017

REVISIONS:
April 21, 2017

SHEET #:

A - 3 Of 6



WINDOW / DOOR SIZES:

- (A) 38 $\frac{1}{8}$ " w x 56 $\frac{3}{4}$ " h Rough Opening
- (B) 42 $\frac{1}{8}$ " w x 56 $\frac{3}{4}$ " h Rough Opening
- (C) 76 $\frac{1}{2}$ " w x 81 $\frac{3}{4}$ " h Rough Opening
- (D) 38 $\frac{1}{8}$ " w x 81 $\frac{3}{4}$ " h Rough Opening

GENERAL CONSTRUCTION NOTES:

- Window sizes noted on plan are "Jeld-Wen" double hung wood windows to be aluminum clad
- 3068 nomenclature is 3'-0" x 6'-8" h door
- All door headers are (2) 2x8's unless noted differently
- All new interior doors to be 6 panel primed doors to match existing
- All new interior casing and base board to match existing
- All new drywall walls and ceilings to have texture to match existing walls
- Provide floor finishes as noted on floor plan
- Prime and paint (2 coats) all new drywall walls and ceilings

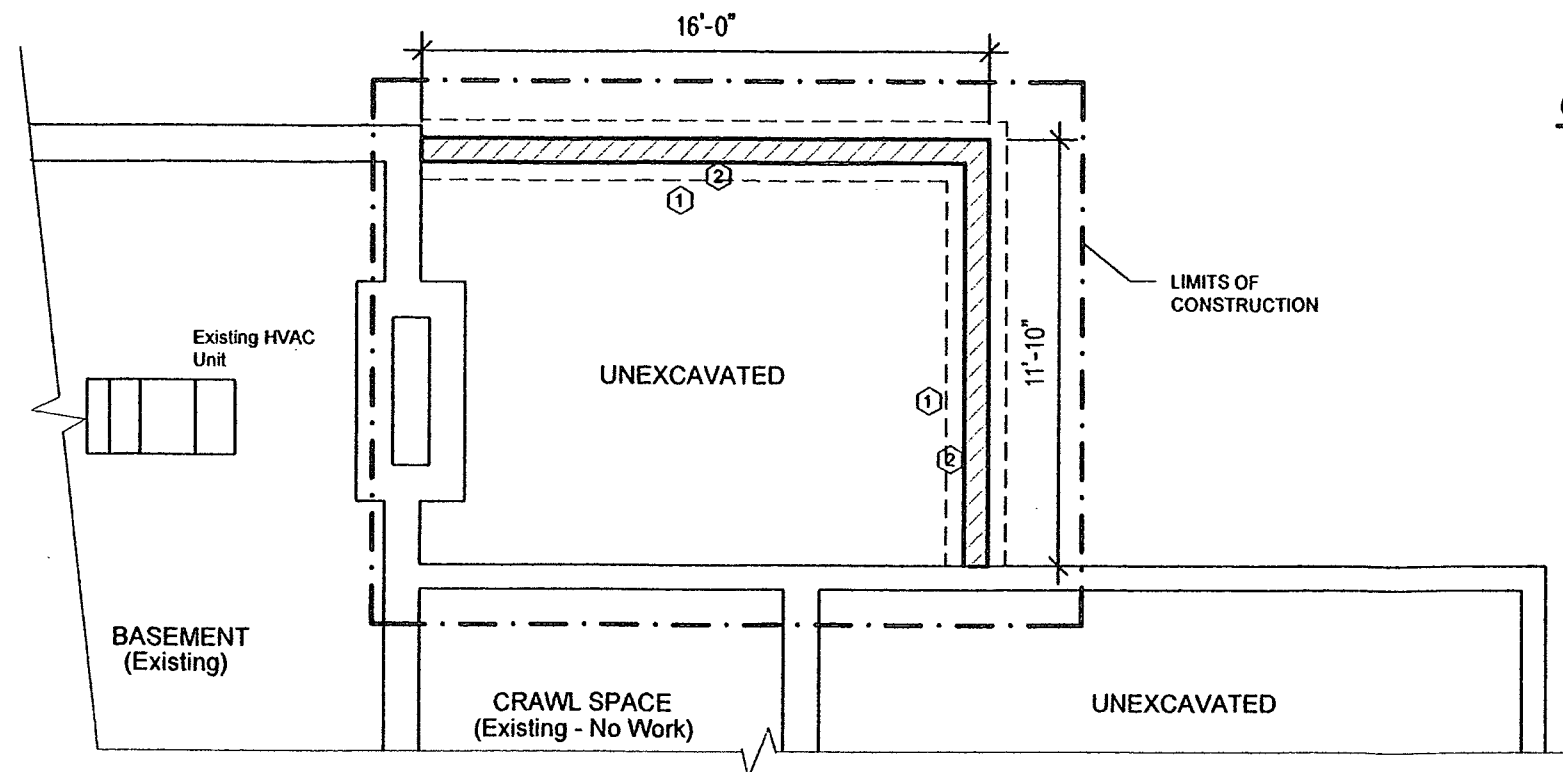
WALL TYPES:

- (1) Existing 2x4 wood stud wall full height w/ wood siding to remain
- (2) New 2x6 wood studs @ 16" o.c. to bottom of existing header w/ treated base plate. Tyvek house wrap, $\frac{7}{8}$ " exterior grade OSB sheathing, R-21 fiberglass batt insulation, vapor barrier, $\frac{1}{2}$ " drywall taped & finished
- (3) Existing 2x4 wood stud wall full height w/ vinyl siding to remain

PARTIAL FIRST FLOOR PLAN - Proposed



SCALE: 3/16" = 1'-0"



CONSTRUCTION NOTES:

- (1) New 10"x20" concrete footing w/ (2) #5's Continuous
- (2) New 10" CMU foundation wall w/ horizontal reinforcing @ 16" o.c. & (1) #5 vert. @ 48" o.c.

PARTIAL FOUNDATION PLAN - Proposed



SCALE: 3/16" = 1'-0"

PROJECT:
Proposed Remodeling
Of Existing Residence

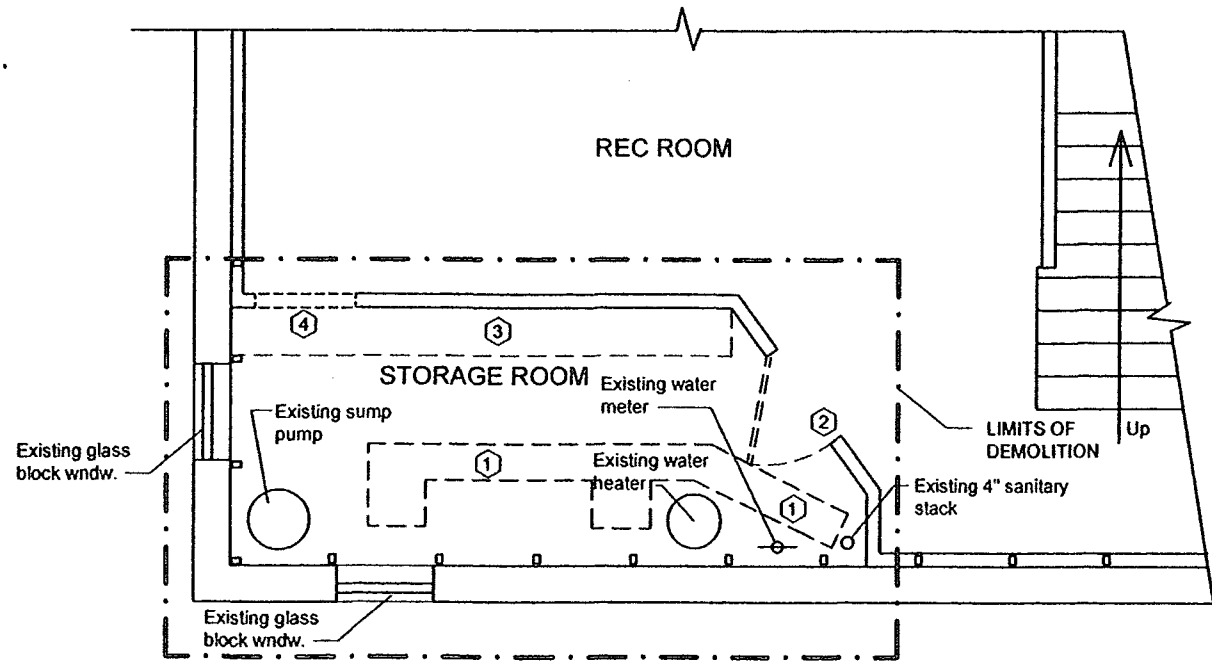
LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

DATE:
March 27, 2017

REVISIONS:
April 21, 2017

SHEET #:

A - 4 of 6



DEMOLITION NOTES:

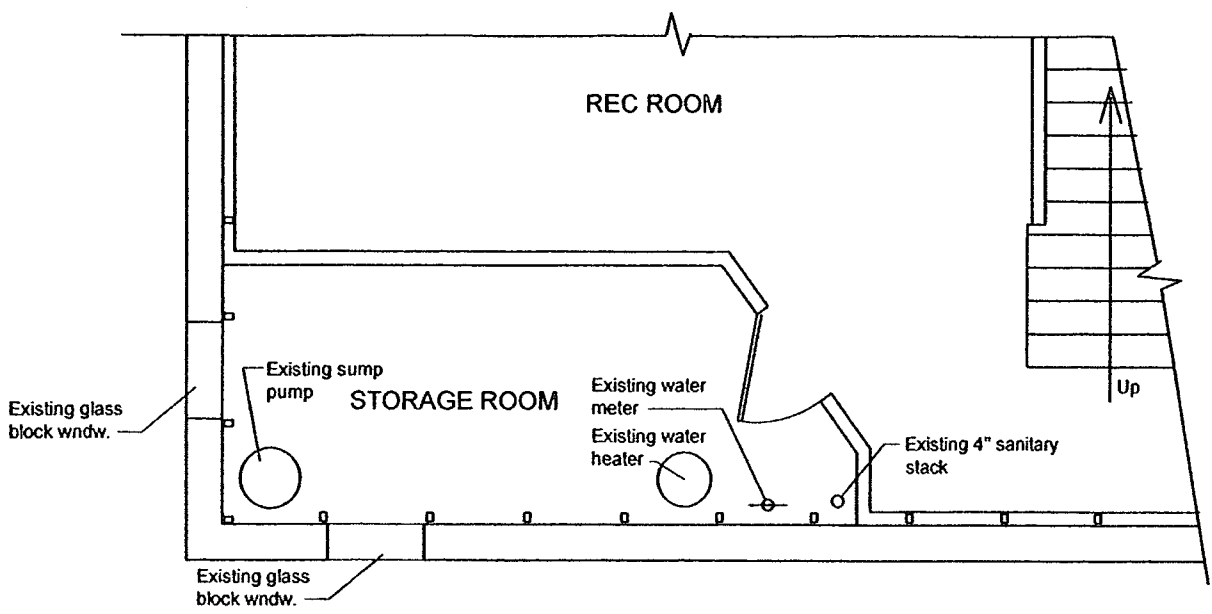
- ① Sawcut & remove existing 4" concrete slab as req'd. to allow for new rough plumbing to be installed
- ② Remove existing wood door & trim - save for reuse
- ③ Remove existing wood storage shelving - save for reuse
- ④ Remove existing studs and drywall to allow for a new 3'-2" x 6'-9 1/2" R.O.

PARTIAL BASEMENT PLAN - Demolition



NOTE: Northeast corner of existing basement

SCALE: 3/16" = 1'-0"

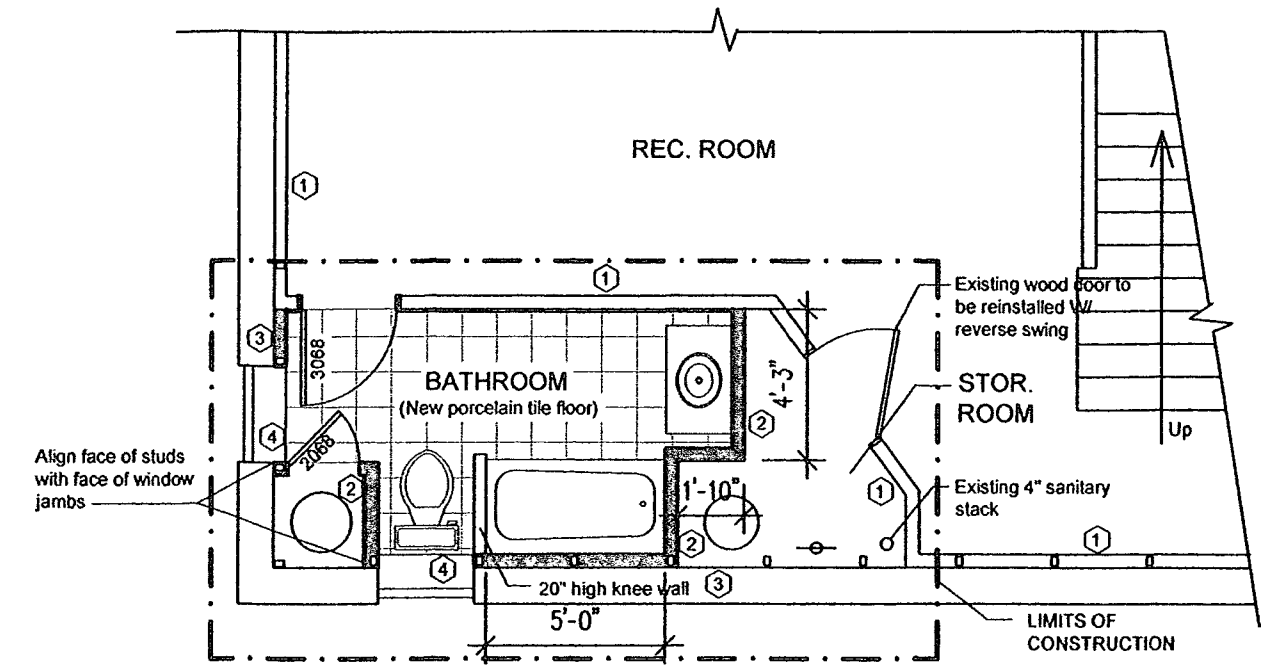


PARTIAL BASEMENT PLAN - Existing



NOTE: Northeast corner of existing basement

SCALE: 3/16" = 1'-0"



CONSTRUCTION NOTES:

- Ceiling to receive 5/8" drywall taped & finished
- 3068 nomenclature is 3'-0" x 6'-8" h door
- All door headers are (2) 2x8's unless noted differently
- All new interior doors to be 6 panel primed doors to match existing
- All new interior casing and base board to match existing
- All new drywall walls and ceilings to have texture to match existing walls
- Provide floor finishes as noted on floor plan
- Prime and paint (2 coats) all new drywall walls and ceilings

WALL TYPES:

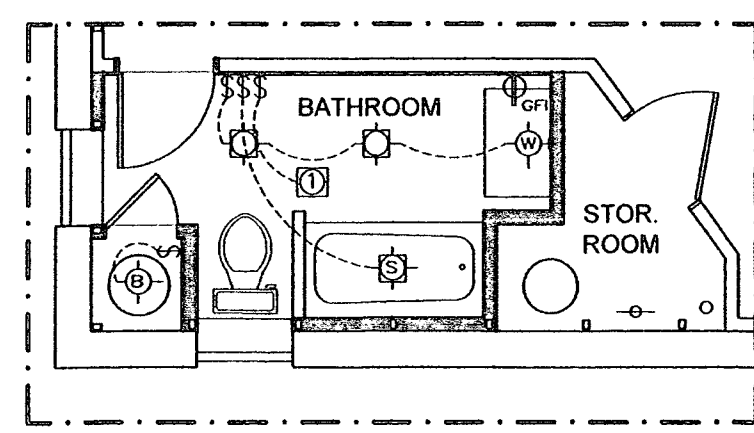
- ① Existing 2x4 wood stud wall full height w/ drywall to remain
- ② New 2x4 wood stud wall full height (7'-3") w/ treated base plate. 1/2" moisture resistant drywall on bathroom side, no drywall on stor. rm. side
- ③ New 2x4 treated wood stud wall full height (7'-3") w/ 1/2" moisture resistant drywall on bathroom side, Provide 3 1/2" rigid insulation and vapor barrier at CMU wall
- ④ Provide 1/2" moisture resistant drywall returns at glass block windows

PARTIAL BASEMENT PLAN - Proposed



NOTE: Northeast corner of existing basement

SCALE: 3/16" = 1'-0"



ELECTRICAL SYMBOLS:

NOTE: Verify location of all fixtures with owner after rough framing is complete

- GFI Duplex outlet w/ ground fault interruptor
- W Wall mounted light sconce
- S Recessed incandescent light fixture w/ lens cover
- B Bare bulb fixture
- 4" Recessed incandescent light fixture
- 1 Exhaust fan

PARTIAL BASEMENT PLAN - Elec.



NOTE: Northeast corner of existing basement

SCALE: 3/16" = 1'-0"

PROJECT:
 Proposed Remodeling
 Of Existing Residence

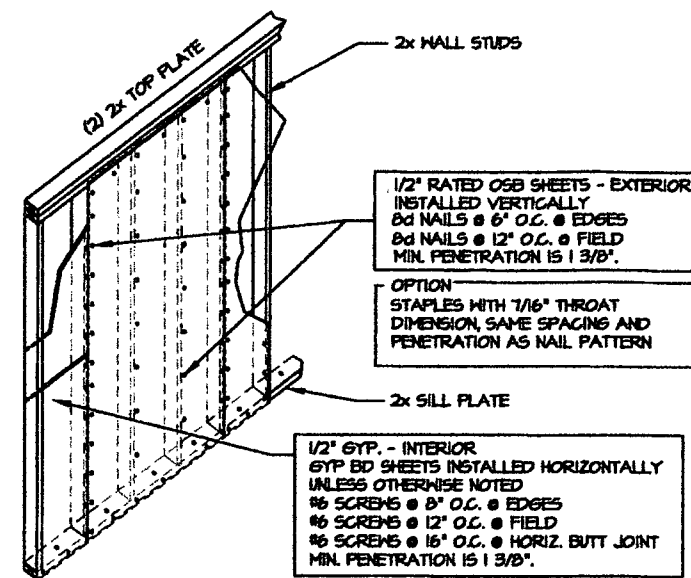
LOCATION:
 415 W. Bergen Dr.
 Fox Point, WI 53217

DATE:
 March 27, 2017

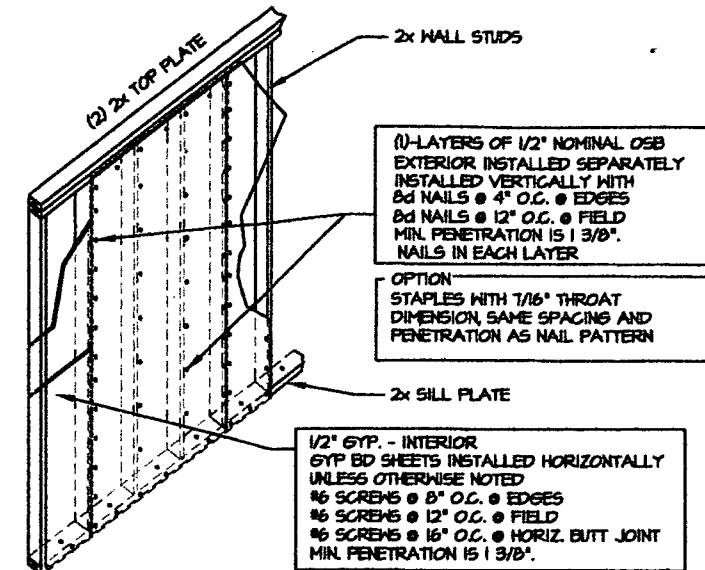
REVISIONS:
 April 21, 2017

SHEET #:

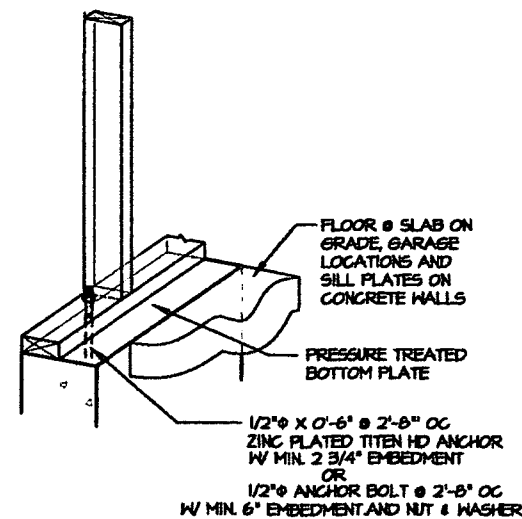
A - 5 of 6



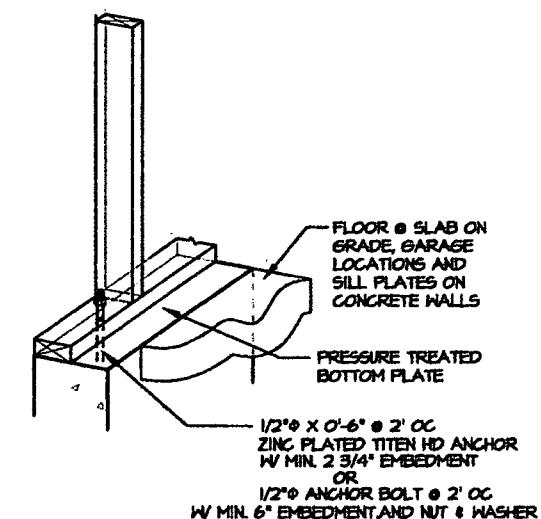
1 EXTERIOR SHEAR WALL A
NOT TO SCALE



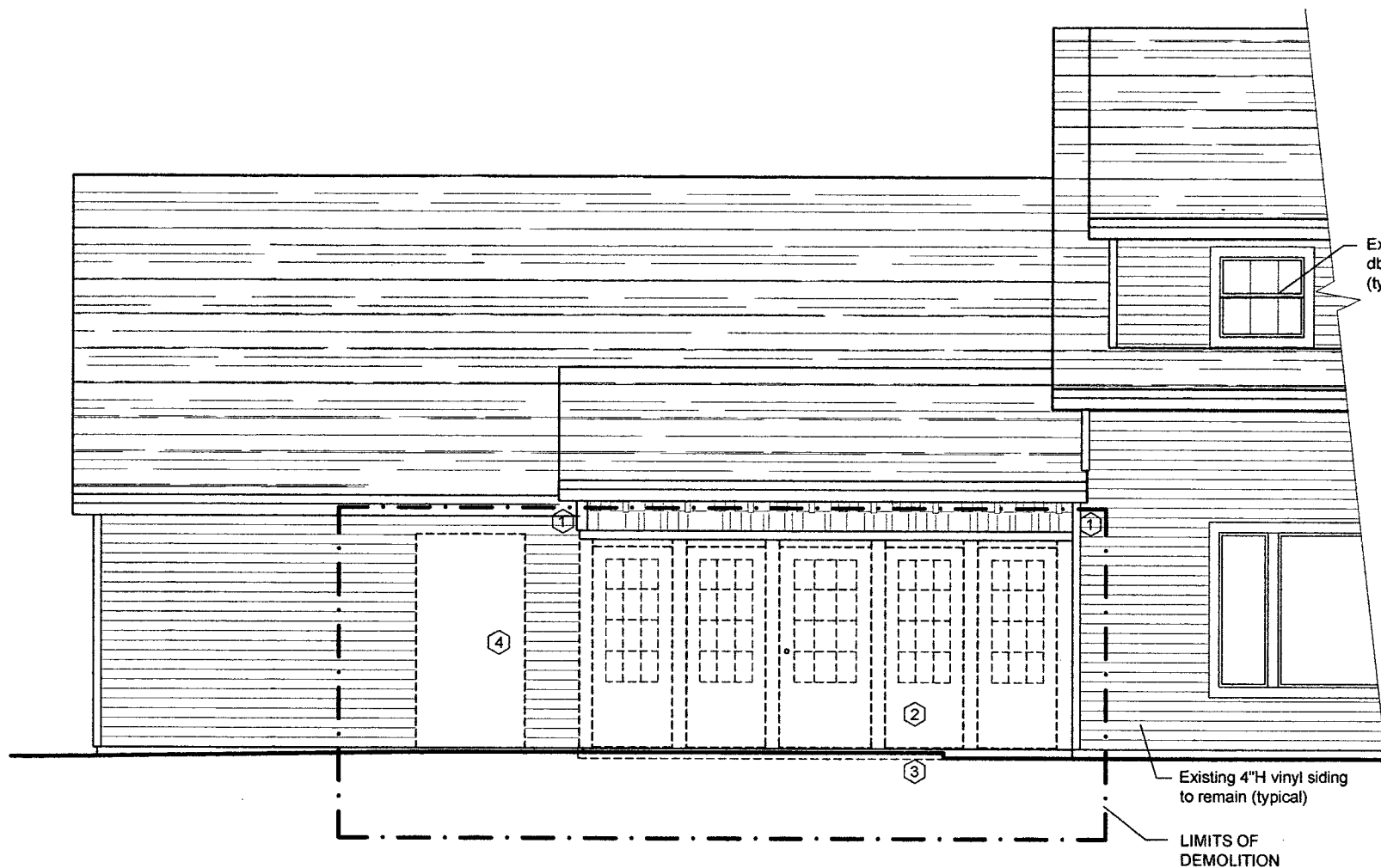
4 EXTERIOR SHEAR WALL B
NOT TO SCALE



3 SHEAR WALL ANCHOR
AT SLAB WALL A
NOT TO SCALE



4 SHEAR WALL ANCHOR
AT SLAB AT WALL B
NOT TO SCALE



GENERAL DEMOLITION NOTES:

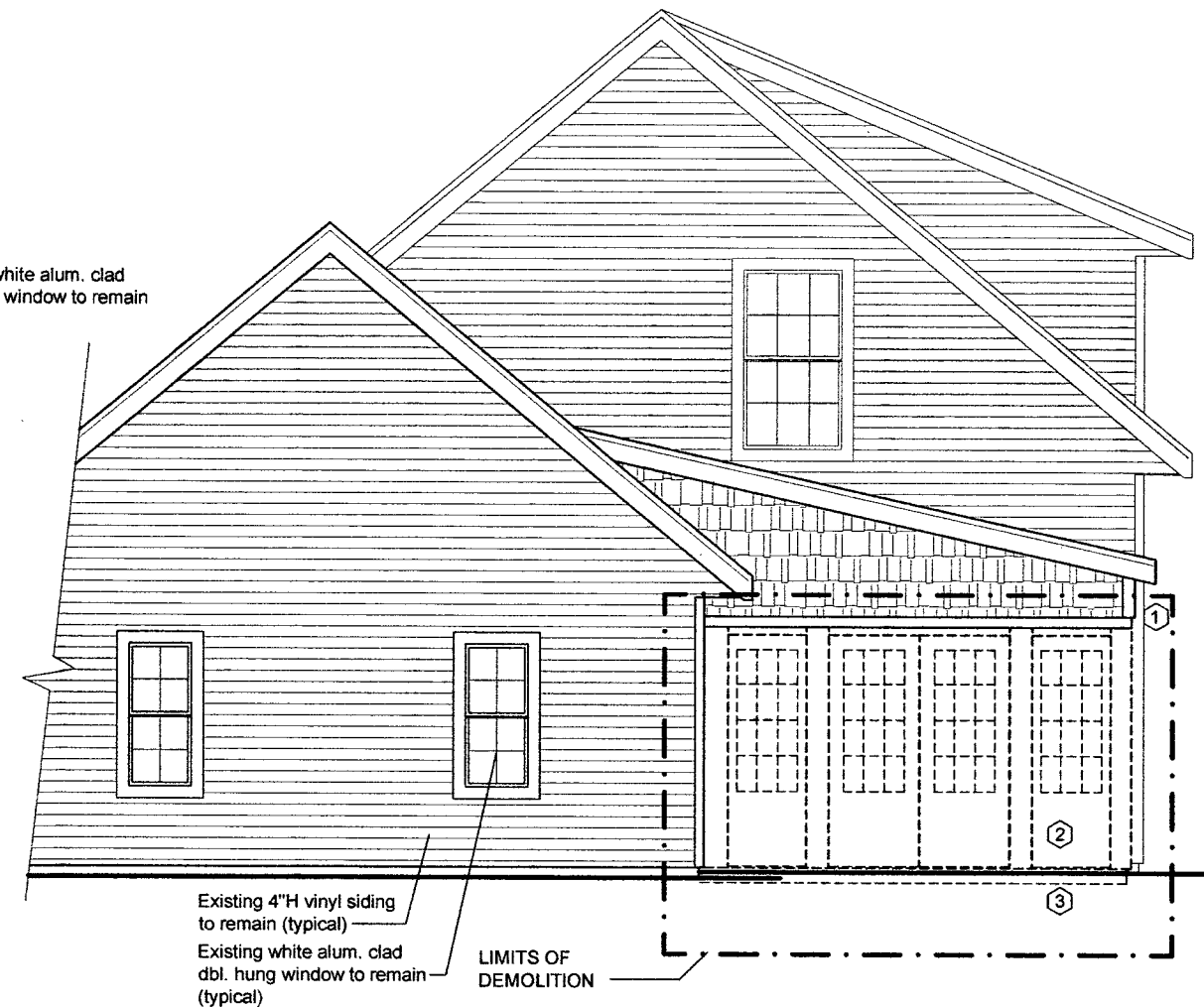
- Client to remove all personal belongings, such as furniture, dishes, and decorations from all rooms impacted by demolition work
- All fixtures shown dashed to be removed. Plumbing and electrical lines capped by appropriate sub contractor
- Any bearing walls shown removed to be temporarily braced until new header is installed

DEMOLITION NOTES:

- Existing roof structure to be temporarily shored up to allow for removal of 6"x6" wood columns
- Remove existing wood doors, windows, trim & 6"x6" columns
- Remove existing 4" thick concrete slab
- Remove existing vinyl siding, sheathing and studs to allow for a new 3'-2" x 6'-9 1/2" R.O.

SOUTH BUILDING ELEVATION - Existing/Demolition

SCALE: 3/16" = 1'-0"



GENERAL DEMOLITION NOTES:

- Client to remove all personal belongings, such as furniture, dishes, and decorations from all rooms impacted by demolition work
- All fixtures shown dashed to be removed. Plumbing and electrical lines capped by appropriate sub contractor
- Any bearing walls shown removed to be temporarily braced until new header is installed

DEMOLITION NOTES:

- Existing roof structure to be temporarily shored up to allow for removal of 6"x6" wood columns
- Remove existing wood doors, windows, trim & 6"x6" columns
- Remove existing 4" thick concrete slab
- Remove existing vinyl siding, sheathing and studs to allow for a new 3'-2" x 6'-9 1/2" R.O.

WEST BUILDING ELEVATION - Existing/Demo.

SCALE: 3/16" = 1'-0"

PROJECT:
Proposed Remodeling
Of Existing Residence

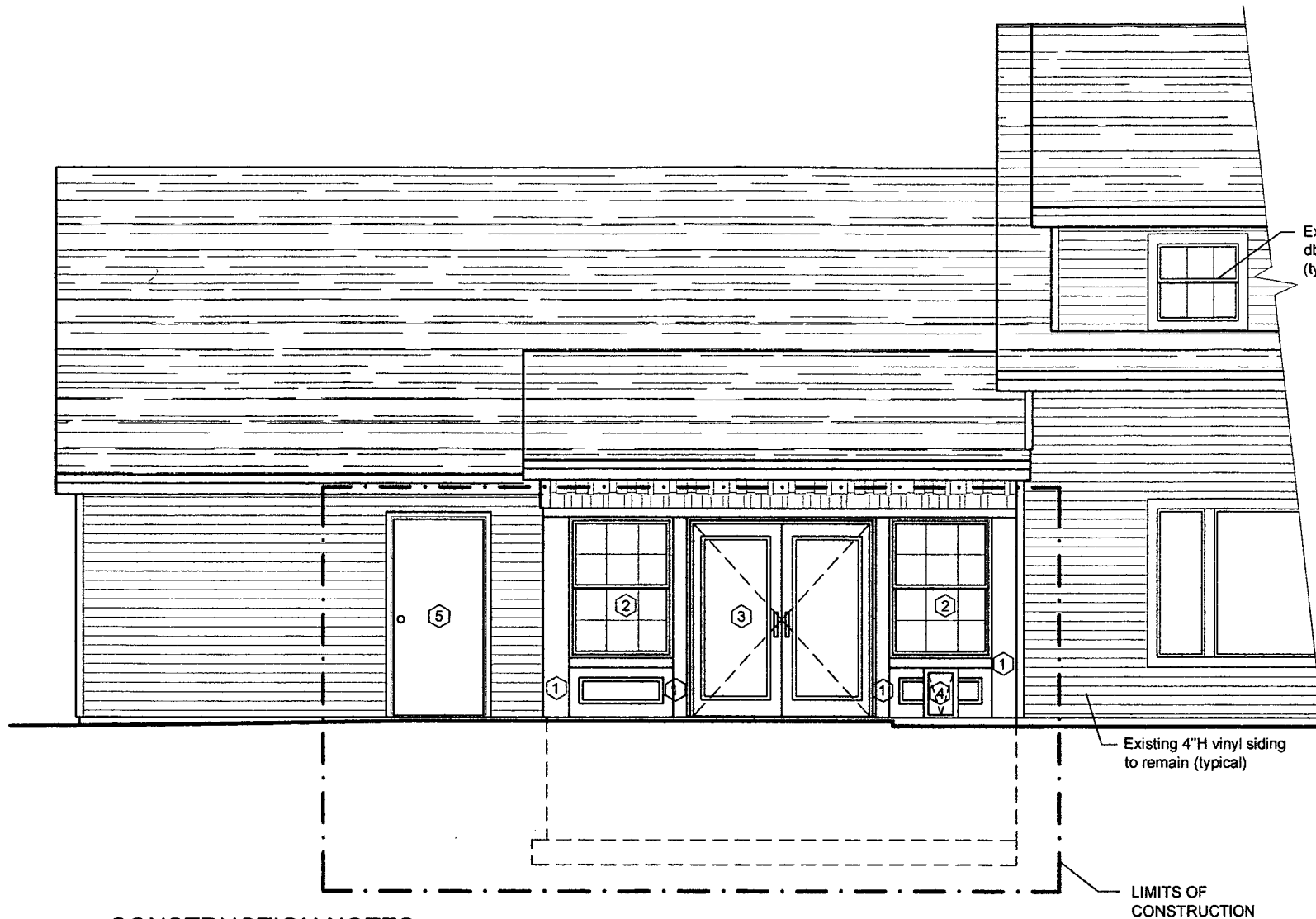
LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

DATE:
March 27 2017

REVISIONS:

SHEET #:

A - 1 of 6

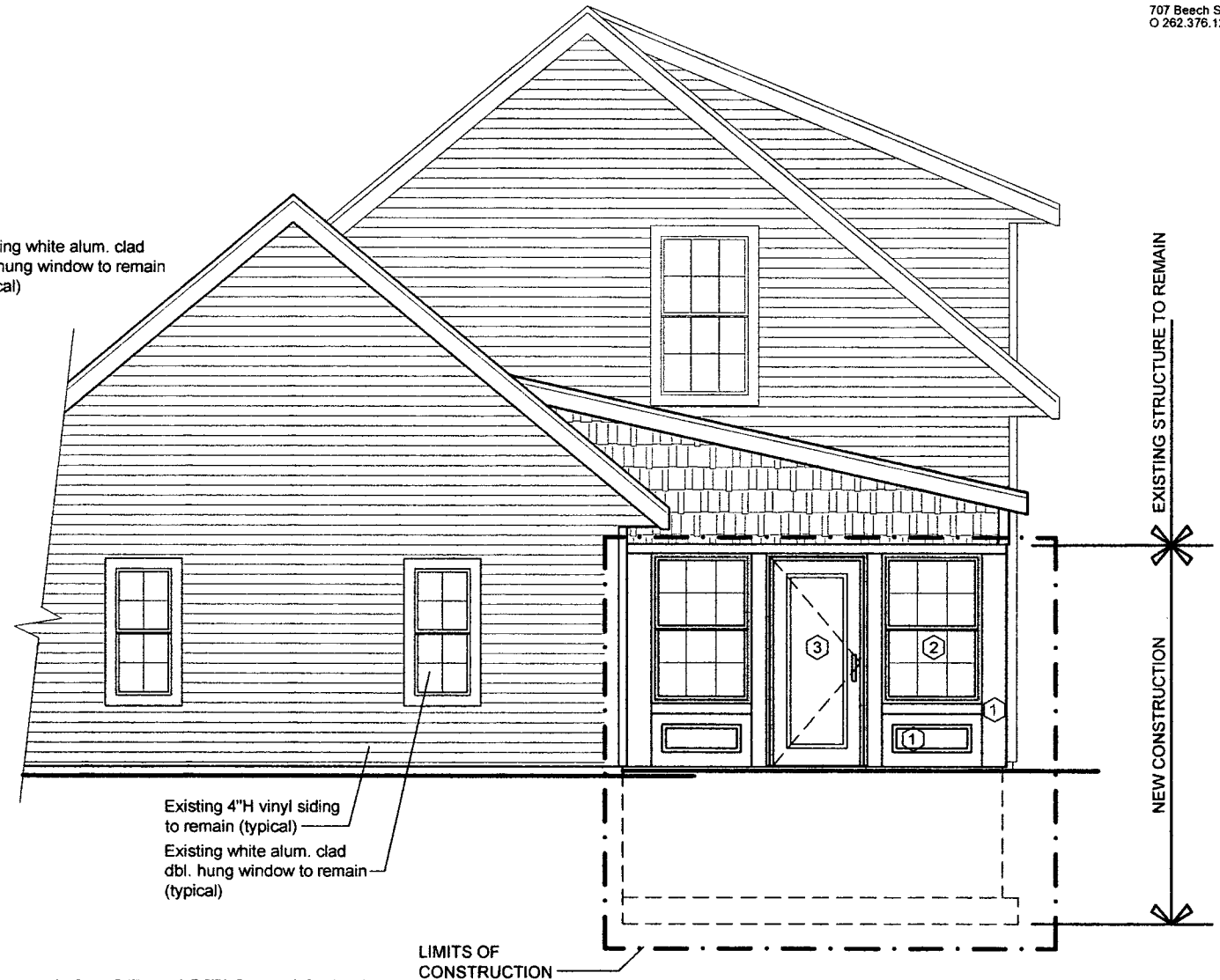


CONSTRUCTION NOTES:

- ① New pre finished "Hardie Trim Board" (or equal)
- ② New double hung aluminum clad wood wndws. - size per floor plan
- ③ New aluminum clad wood door
- ④ New 10" x 16" high dog door (provided by Owner installed by contractor)
- ⑤ New 3'-0"x6'-8" insulated pre finished door and frame W/ brick mold

SOUTH BUILDING ELEVATION - Proposed

SCALE: 3/16" = 1'-0"



CONSTRUCTION NOTES:

- ① New pre finished "Hardie Trim Board" (or equal)
- ② New double hung aluminum clad wood wndws. - size per floor plan
- ③ New aluminum clad wood door
- ④ New 10" x 16" high dog door (provided by Owner installed by contractor)
- ⑤ New 3'-0"x6'-8" insulated pre finished door and frame W/ brick mold

WEST BUILDING ELEVATION - Proposed

SCALE:

PROJECT:
Proposed Remodeling
Of Existing Residence

LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

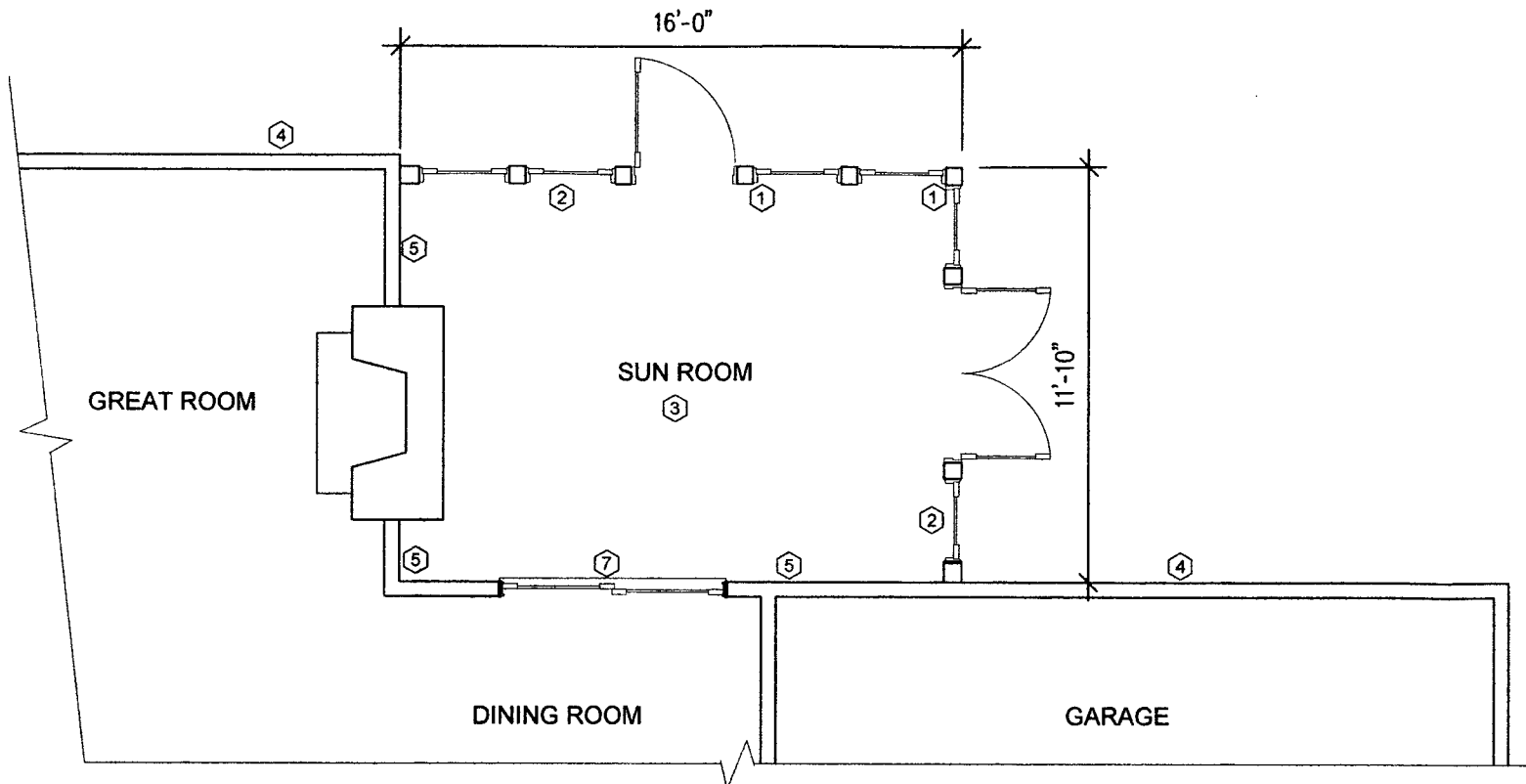
DATE:
March 27, 2017

REVISIONS:

3/16" = 1'-0"

SHEET #:

A - 2 of 6



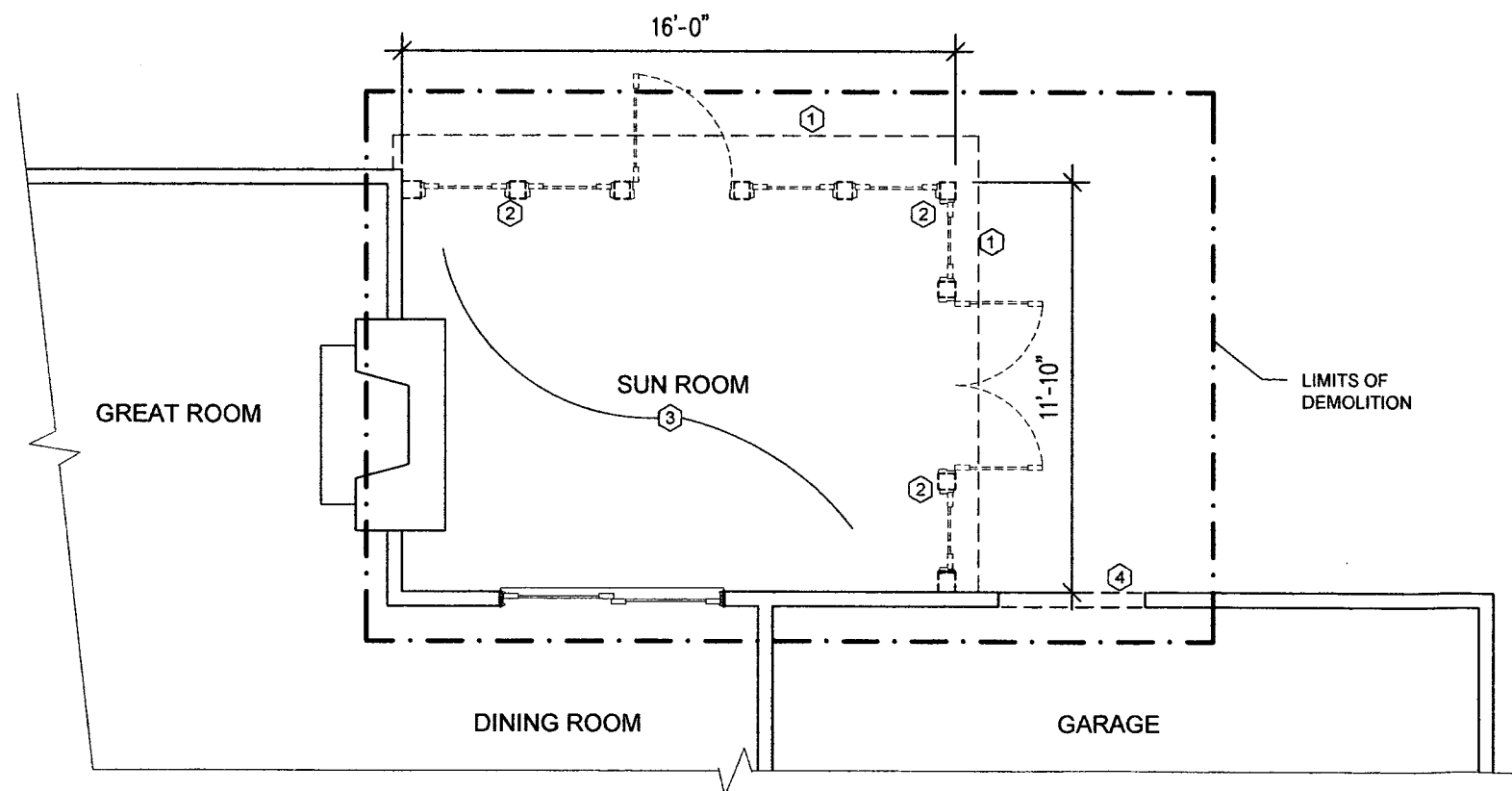
NOTES:

- ① Existing 6"x6" wood columns
- ② Existing wood doors, windows & trim
- ③ Existing 4" thick concrete slab
- ④ Existing 4" vinyl siding
- ⑤ Existing 8" wood siding
- ⑥ Existing stone fireplace
- ⑦ Existing sliding patio door

PARTIAL FIRST FLOOR PLAN - Existing



SCALE: 3/16" = 1'-0"



GENERAL DEMOLITION NOTES:

- Client to remove all personal belongings, such as furniture, dishes, and decorations from all rooms impacted by demolition work
- All fixtures shown dashed to be removed, and plumbing and electrical lines capped by appropriate sub contractor
- Any bearing walls shown removed to be temporarily braced until new header is installed

DEMOLITION NOTES:

- ① Existing roof structure to be temporarily shored up to allow for removal of 6"x6" wood columns
- ② Remove existing wood doors, windows, trim & 6"x6" columns
- ③ Remove existing 4" thick concrete slab
- ④ Remove existing vinyl siding, sheathing and studs to allow for a new 3'-2" W x 6'-9 1/2" H R.O.

PARTIAL FIRST FLOOR PLAN - Demolition



SCALE: 3/16" = 1'-0"

PROJECT:
Proposed Remodeling
Of Existing Residence

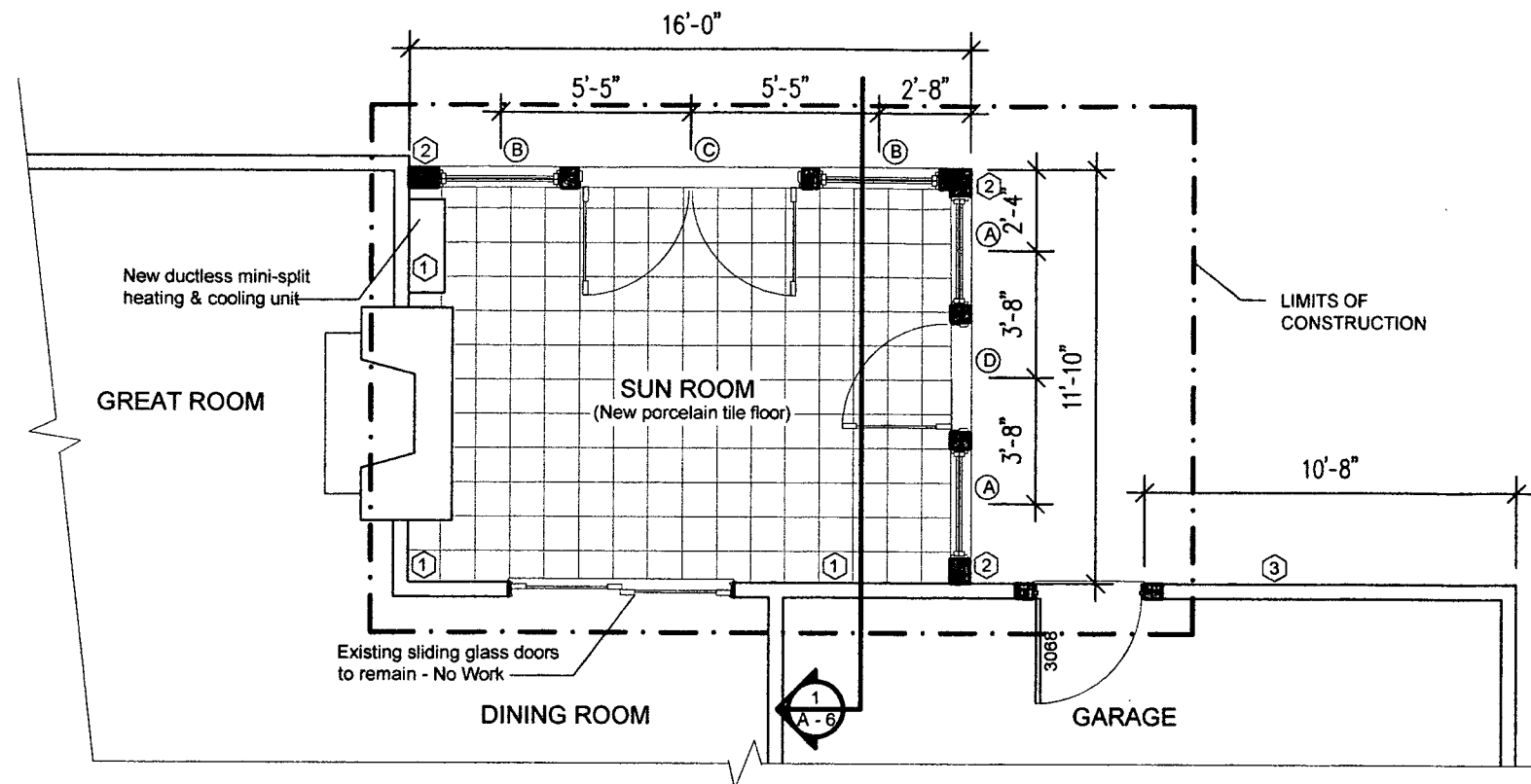
LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

DATE:
March 27, 2017

REVISIONS:

SHEET #:

A - 3 of 6



WINDOW / DOOR SIZES:

- (A) 38 $\frac{1}{8}$ "w x 56 $\frac{3}{4}$ "h Rough Opening
- (B) 42 $\frac{1}{8}$ "w x 56 $\frac{3}{4}$ "h Rough Opening
- (C) 76 $\frac{1}{2}$ "w x 81 $\frac{3}{4}$ "h Rough Opening
- (D) 38 $\frac{1}{8}$ "w x 81 $\frac{3}{4}$ "h Rough Opening

GENERAL CONSTRUCTION NOTES:

- Window sizes noted on plan are "Jeld-Wen" double hung wood windows to be aluminum clad
- 3068 nomenclature is 3'-0" x 6'-8" door
- All door headers are (2) 2x8's unless noted differently
- All new interior doors to be 6 panel primed doors to match existing
- All new interior casing and base board to match existing
- All new drywall walls and ceilings to have texture to match existing walls
- Provide floor finishes as noted on floor plan
- Prime and paint (2 coats) all new drywall walls and ceilings

WALL TYPES:

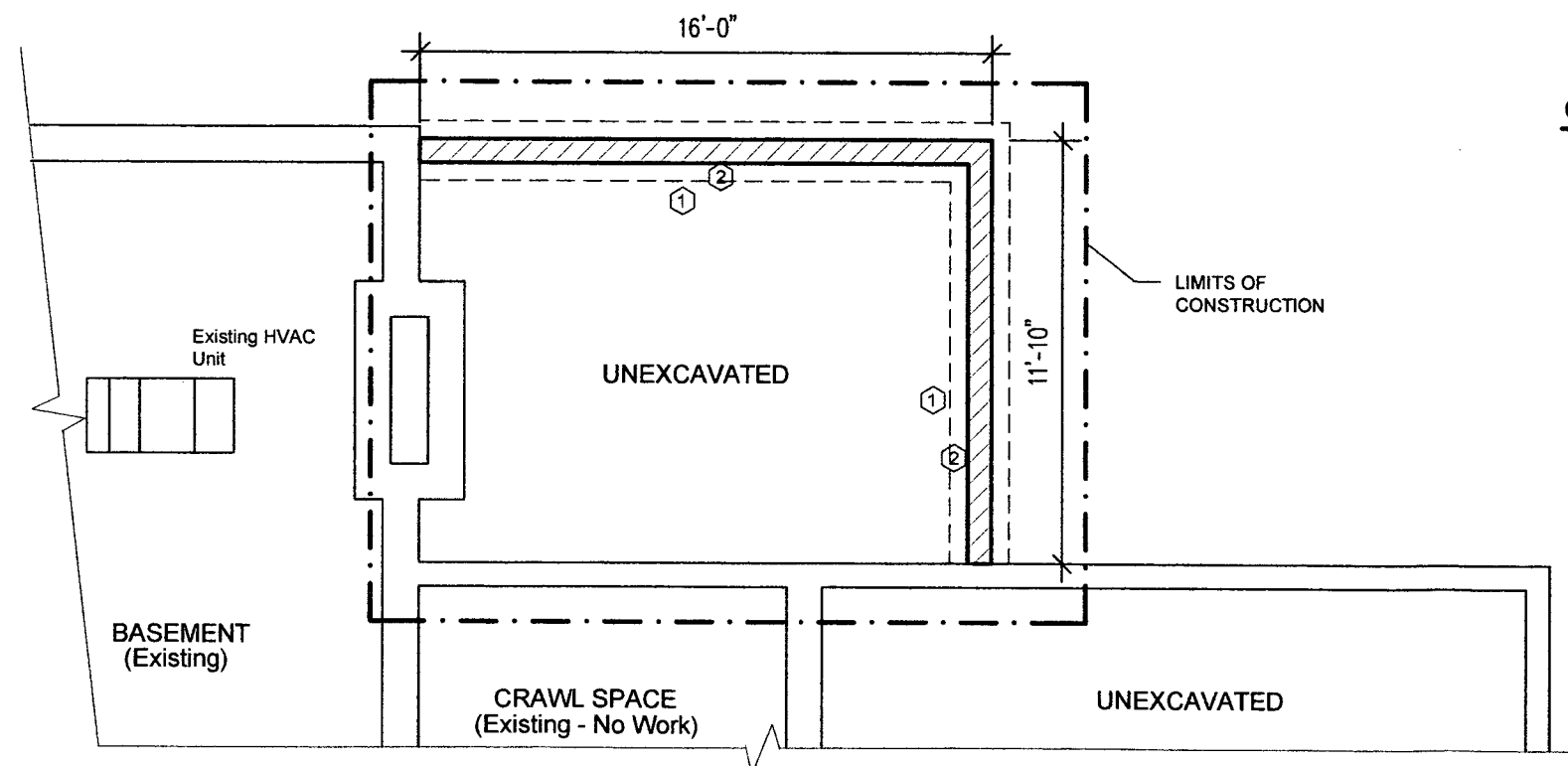
- (1) Existing 2x4 wood stud wall full height w/ wood siding to remain
- (2) New 2x6 wood studs @ 16" o.c. to bottom of existing header w/ treated base plate. Tyvek house wrap, $\frac{7}{16}$ " exterior grade OSB sheathing, R-21 fiberglass batt insulation, vapor barrier, $\frac{1}{2}$ " drywall taped & finished
- (3) Existing 2x4 wood stud wall full height w/ vinyl siding to remain



NORTH

SCALE: 3/16" = 1'-0"

PARTIAL FIRST FLOOR PLAN - Proposed



CONSTRUCTION NOTES:

- (1) New 10"x20" concrete footing w/ (2) #5's Continuous
- (2) New 10" CMU foundation wall w/ horizontal reinforcing @ 16" o.c. & (1) #5 vert. @ 48" o.c.



NORTH

SCALE: 3/16" = 1'-0"

PARTIAL FOUNDATION PLAN - Proposed

PROJECT:
Proposed Remodeling
Of Existing Residence

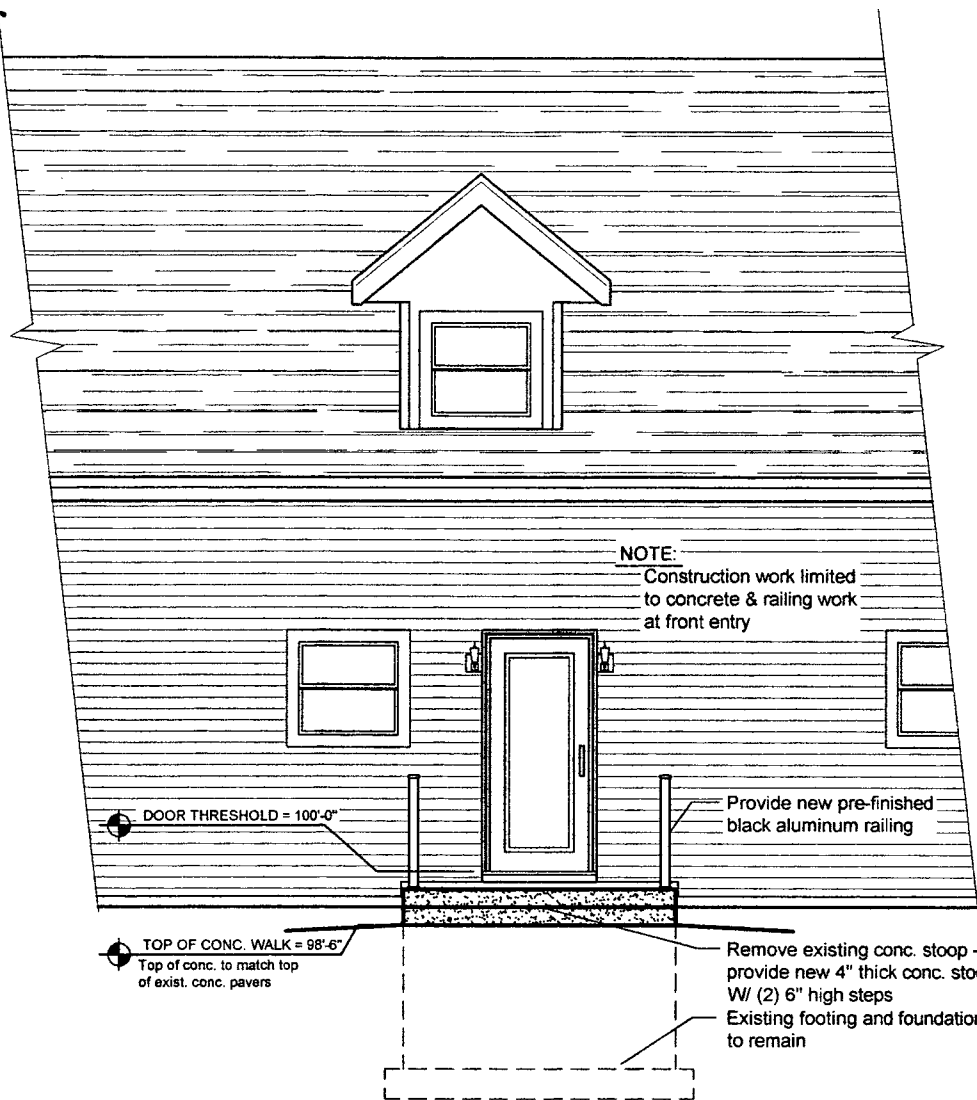
LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

DATE:
March 27, 2017

REVISIONS:

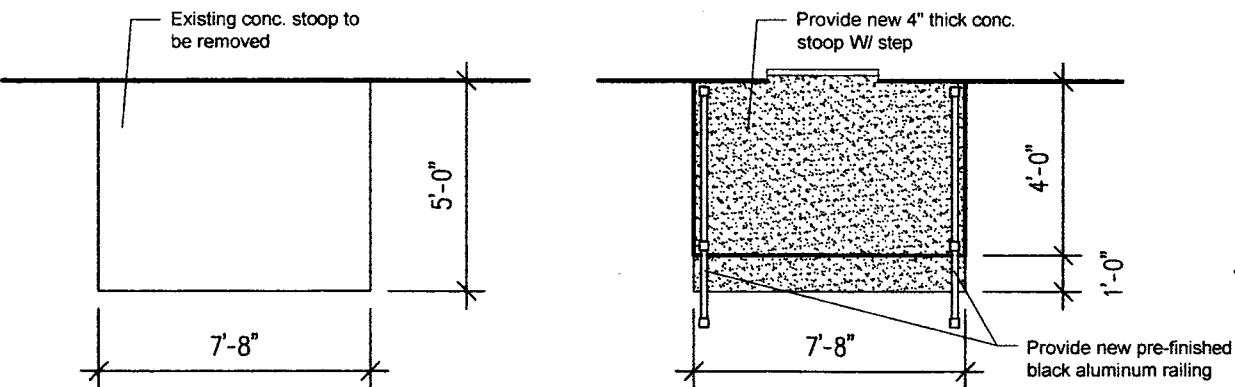
SHEET #:

A - 4 of 6



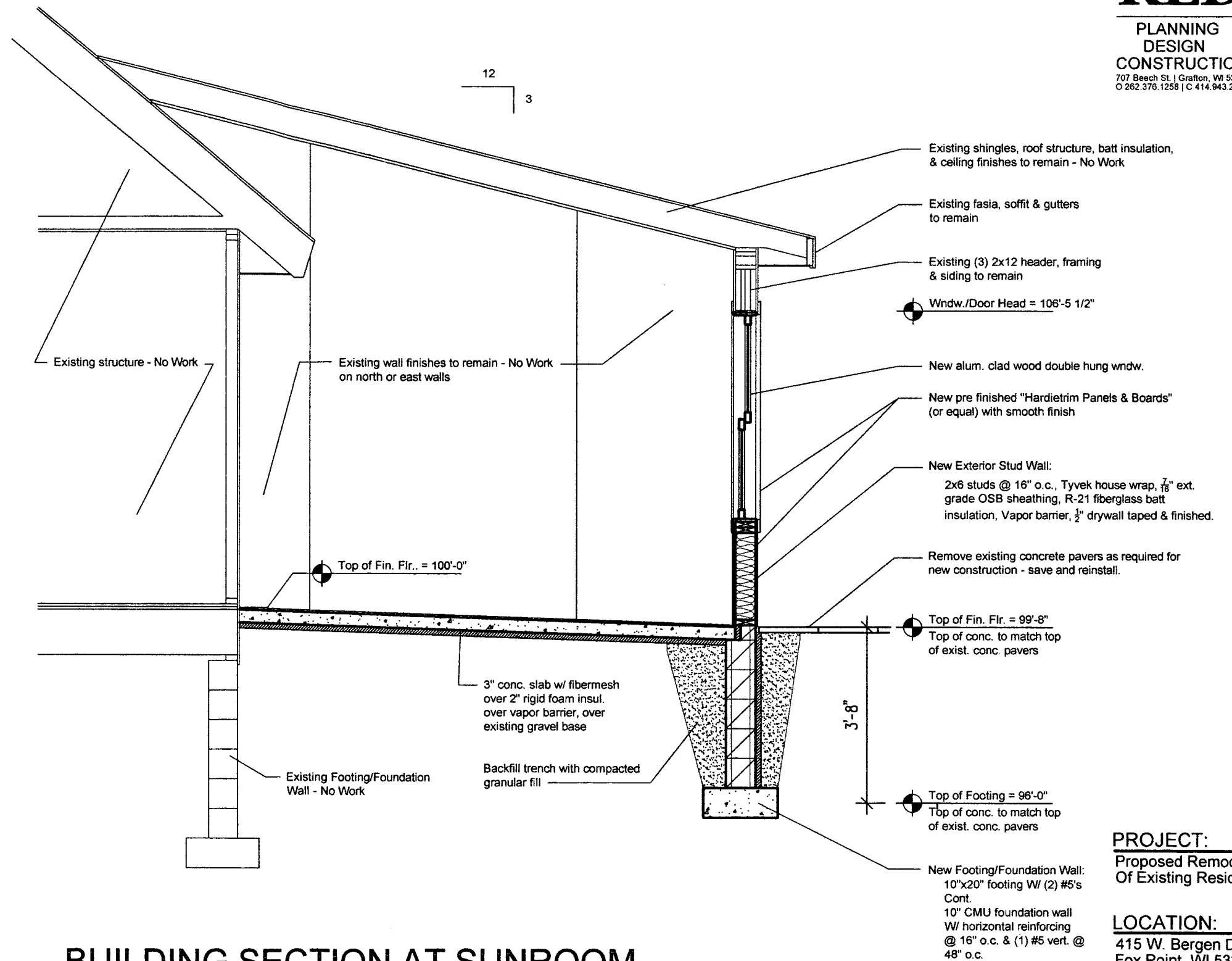
FRONT ENTRY STOOP - Proposed

SCALE: 3/16" = 1'-0"



PLAN AT ENTRY STOOP - Exist. & Prop.

SCALE: 3/16" = 1'-0"



BUILDING SECTION AT SUNROOM

SCALE: 3/8" = 1'-0"

PROJECT:
Proposed Remodeling
Of Existing Residence

LOCATION:
415 W. Bergen Dr.
Fox Point, WI 53217

DATE:
March 27, 2017

REVISIONS:

SHEET #:

A - 6 of 6

Date May 1, 2017Application No. 13827Owner JohnstonPlumber Nordia PlumbingAddress 7651 Roosevelt RdCity, State, Zip. Hartford WI 53027Telephone No. 2-424-5605Email Jon@nordicplumbing.com**Application and Record**

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

Address 415 W Bergen DrCity, State, Zip Fox PointTelephone No. 4-943-2293

TO THE VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT:

The undersigned hereby make application to do the work of plumbing consisting of

laying a _____ inch _____

builder sewer from Main to Lot line

to Building

laying a _____ inch _____

water service from Main to Lot line

to Building

at: 415 W Bergen Dr Fox Point, WI 53217

↑ Address at which work is to be done ↑

PERMITS USED	
Type	Permit No.
Sewer and Plumbing	<u>13780</u>
Water	
Street	
Meter	
Water Usage	

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, Village ordinances and rules and regulations prescribed by the Village Board for Plumbers.

State Master Lic.# 694971 Expir. 3-20 SIGNATURE [Signature] Applicant

FIXTURE WITH DRAIN OR WATER CONNECTIONS			
Description	# of Fixtures	Description	# of Fixtures
Hose Bibs		Dishwashers	
Bath Tubs		Wash Basins	<u>1</u>
Sump Pumps		Water Closets	<u>1</u>
Laundry Trays		Showers	<u>1</u>
Drinking Fountains		Floor Drains	<u>1</u>
Sinks		Food Waste Grinders	
Water Heaters		Sprinkling System	
Wash. Mach. Wastes		Urinals	
Bidets			
Catch Basins			

FEES		
Description	Comment	Amount
Water Usage		\$
Building Sewer		\$
Water Service		\$
Building Drain		\$ <u>50</u>
Fixtures		\$ <u>60</u>
Water Meter		\$
Minimum Charge for Any Permit: \$60.00		\$
TOTAL RECEIPT# <u>1.052818</u>		\$ <u>74</u>
Deposit to cover street repairs		\$

[A current certificate of insurance must be provided when doing work in road right of way (ROW)]

A _____ inch _____ water service pipes laid in _____

Curb box is located _____ feet _____ of _____ feet _____ of _____

_____ inch _____ Water Meter No. _____ Date Installed _____

A _____ inch _____ sanitary sewer Connection was made in _____

_____ feet _____ of manhole _____

A _____ inch _____ storm sewer connection was made in _____

_____ feet _____ of manhole _____

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved _____ Application Approved 5/3/17 _____, 20 _____

As Built _____ Water and Plumbing Inspector



Wisconsin Department of Safety and Professional Services

Credential/Licensing Search

Trade Search Results

[Return to Search](#)

Total Result Count: 3

Credential/License ID	Name	City,State,Zip	Profession	Expiration
694971	<u>STUECK, JONATHAN</u>	HARTFORD WI 53027-9728	Plumbing Apprentice	7/12/2005
694971	<u>STUECK, JONATHAN</u>	HARTFORD WI 53027-9728	Journeyman Plumber	3/31/2011
694971	<u>STUECK, JONATHAN</u>	HARTFORD WI 53027-9728	Master Plumber	3/31/2020

[Return to Search](#)

Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.

Send questions or comments to dsps@wisconsin.gov.

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.052818

May 4, 2017

415 W BERGEN DR

Previous Balance:	.00
LICENSES & PERMITS - PLUMBING PERMIT	74.00
24-44470 PLUMBING PERMIT	

Total:	74.00
--------	-------

CHECK	Check No: 2870	74.00
Payor: NORDIC PLUMBING		

Total Applied:	74.00
----------------	-------

Change Tendered:	.00
------------------	-----

05/04/2017 06:48AM

CONTRACTOR INFORMATION
Date 5-30-17
State Master Electrician License No. 171698
State Electrical Contractor Certification No. 1406977

VILLAGE OF FOX POINT

7200 N. Santa Monica Blvd.
Fox Point, WI 53217
414-351-8900

APPLICATION FOR ELECTRICAL PERMIT

OFFICE USE ONLY
Permit No. 24348
Received 5-31-17
Service
Rough-In
Final

Owner's Name: Johnson	Address at which work is to be done: 415 W. Bergen Dr.
---------------------------------	--

ESTIMATED COST OF JOB

Buildings:

- ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises? - DESCRIBE:

List Name of Installing Contractor

HEATING _____

AIR CONDITIONING _____

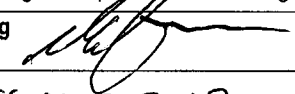
PLUMBING _____

Date of Inspection
Rough _____ Will Call <input type="checkbox"/>
Final _____ Will Call <input type="checkbox"/>
Service Approval Sent _____ <input type="checkbox"/>

REMARKS:

No.	Description	Qty.	Rate of Fees	Amount
1	Light, switch, and convenience outlets	5	.70 ea.	3.50
2	Lighting Fixtures	4	.70 ea.	2.80
3	Fluorescent Fixtures - per tube		.70 ea.	
4	Range, Electric		8.00 ea.	
5	Garbage Grinding and Disposal Unit		8.00 ea.	
6	Dishwasher		8.00 ea.	
7	Clothes Dryer		8.00 ea.	
8	Water Heaters, Electric		8.00 ea.	
9	Gas Burner, Oil Burner, or Stoker		8.00 ea.	
10	Refrigerating, Air Cooling or similar machine - .25 per HP	1	8.00 min.	8
11	Feeders - No. 6 A.W.G. or Larger	1	10.00 ea.	10
12	Temporary Service Permit for: How Long?		30.00 ea.	
13	Services: Service Switches, ea.		05.00 ea.	
	Service 1. 0 through 100 amps.		25.00 ea.	
	Service 2. 101 through 400 amps.		40.00 ea.	
	Service 3. 401 through 600 amps.		40.00 ea.	
	Service 4. 601 through 1000 amps.		60.00 ea.	
	Service 5. Thereafter, each additional 1000 amps.		5.00 ea.	
14	Motors over 1/4 HP		.70 per HP or frac.	
15	Fuel Dispensing Pumps		6.00 ea.	
16	Transformers, Rectifiers, and Generators		2.00 per KW	
17	Space Heating Systems, per circuit	1	4.00 ea.	4
18	Power receptacles - 120 Volts or over 1. Through 30 amps.		3.00 ea.	
19	2. Over 30 amps.		5.00 ea.	
20	Wireways, busways, underfloor raceways, or auxiliary gutters		.50 per ft.	
21	Strip Lighting, Plug-in Strip, Trol-E Duct, or similar system		.50 per ft.	
22	Signs, Electric-.75 ea. Socket, plus 2.00 ea. additional transformer		8.00 min.	
23	Swimming Pool Wiring: A. Inground pools		40.00	
24	B. Above ground pools		40.00	
25	Spas, Hot-Tubs, Hydromassage Bathtubs		6.00	
26	MINIMUM CHARGE FOR ANY ONE PERMIT		60.00	
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00	
28	DOUBLE FEES will be charged for any work started before obtaining permit			
MAKE CHECKS PAYABLE TO: Village of Fox Point MAIL TO: Electrical Inspector RECEIPT # 1052911 TOTAL FEES				60.00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

Contractor JHS Electrical Services, LLC		Signature of Supervising Electrician 	
Address 10000 W. Menomonee Ave		Telephone No. 414-429-2502	
City WAUKESHA	State WI	Zip 53026	Email Address jhs@jhs-electrical.com

This Permit is void if work is not started within 2 months, or if started, no work is done before 2 months.



Wisconsin Department of Safety and Professional Services

Credential/Licensing Search

Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
171698	<u>SPAHR, MICHAEL</u> E	NEW BERLIN WI 53151-8318	Master Electrician	6/30/2021

[Return to Search](#)

Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.

Send questions or comments to dsps@wisconsin.gov.



Wisconsin Department of Safety and Professional Services

Credential/Licensing Search

Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
1406977	<u>IHS ELECTRICAL SERVICES LLC</u>	WAUWATOSA WI 53226	Electrical Contractor	6/30/2020

[Return to Search](#)

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Send questions or comments to dsps@wisconsin.gov.

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.052911

May 31, 2017

415 W BERGEN DR

Previous Balance:	.00
LICENSES & PERMITS - ELECTRICAL PERMIT	60.00
24-44430 ELECTRICAL PERMIT	
<hr/>	
Total:	60.00
<hr/>	
CHECK	60.00
Check No: 1116	
Payor: IHS ELECTRICAL SERVICES, INC.	
Total Applied:	60.00
<hr/>	
Change Tendered:	.00
<hr/>	

05/31/2017 2:40 PM

RECEIPT # 2.000850

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 8381

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner ☐ Type _____ Forced Air, Radiant, Baseboard, Etc.

Fuel: ☐ Gas ☐ Oil ☐ Coal ☐ Elect. ☐ Other _____

Desc. of Heating Plant _____

Vented to _____

Fuel Tank ☐: _____ Size _____ Location _____

Summer Air Conditioner ☒ Size 1 Ton (Ton, H.P.)

Coolant R 410 A

Compressor Coolant: Air ☒; Water ☐;

If Water Cooled:

Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

West side of Garage 37 ft from Lot Line

Incinerator ☐ Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Mr Johnston

Address of Work 415 W Berger DR Fox point

OFFICE USE ONLY	
Application Approved:	Installation Approved:
9/31/17	

Signed _____

Date _____

Contractor Big 10 Heating and air conditioning LLC

Address 1464 woodland DR & Phone _____

City Grafton State WI Zip 53024

State Credential Number 1135115 & Expiration Date 10-21



Wisconsin Department of Safety and Professional Services

Credential/Licensing Search

Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
1135115	<u>BIG 10 HEATING AND AIR CONDITIONING</u>	GRAFTON WI 53024	HVAC Contractor	3/2/2019

[Return to Search](#)

Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.

Send questions or comments to dsps@wisconsin.gov.

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 2.000850

May 31, 2017

415 W BERGEN DR

Previous Balance:	.00
LICENSES & PERMITS - HEATING PERMIT	60.00
24-44450 HEATING PERMIT	
<hr/>	
Total:	60.00
<hr/>	
CHECK	60.00
Check No: 2874	
Payor: BIG 10 HEATING & AIR CONDITIONING L	
Total Applied:	60.00
<hr/>	
Change Tendered:	.00
<hr/>	

05/31/2017 4:15 PM