

#60. F.F.

Receipt # 10446

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

No. 12248

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure REMODEL OF EXISTING SUNROOM / DECK  
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1030 EAST THORN LANE, FOX POINT WI 53217

Lot ..... Block .....

Subdivision .....

District .....

Does contemplated structure violate the Village zoning ordinance? NO

Height of Structure 1 STORY - EXISTING REMODEL (stories or feet)

Width (parallel to highway) N/A (feet) Depth (perpendicular to highway) N/A (feet)

Distance: Street Line to Front Line of Structure EXISTING, TO REMAIN THE SAME (feet)

Distance: Side Lot Line to Structure EXISTING, TO REMAIN THE SAME

Type of Construction: FRAME Exterior finish SIDING  
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade EXISTING - NOT ALTERING GRADE

Number of rooms ..... Baths N/A

Estimated cost Garage ..... EXISTING RESIDENCE  
Building ..... N/A  
Structure ..... COST OF SUNROOM REMODEL AND DECK ADDITION \$5,000.00

Is there a private garage? NO

Does the contemplated garage violate the Village zoning ordinance? NO - EXISTING

Size N/A Number of stalls N/A

Where situated N/A

General construction N/A  
Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? NO

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? N/A RESIDENTIAL REMODEL

Herewith are filed the following duplicate plans 3 in number, which I certify I will conform to in the work hereby applied for.

Remarks: EXISTING SUNROOM REMODEL, DECK ADDITION

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure JOSEPH BAUSTREER Arch. or Contr. HENDERSON GROUP, INC.

Address 1030 E. THORN LANE Address 6510 W. MEQUON RD.

City FOX POINT WI 53217 City MEQUON, WI 53092  
State Zip State Zip

Phone 414-298-8097 (work) Phone 262-242-0999

Size of Structure ..... (sq. ft.) Permit Fee 50<sup>00</sup> herewith tendered

Date Submitted ..... State ID# 3312 Exp. Date 5/21/09

Date Approved 5/21/09 Signed Julie Voeller

Date of Permit ..... Architect, Owner, Builder

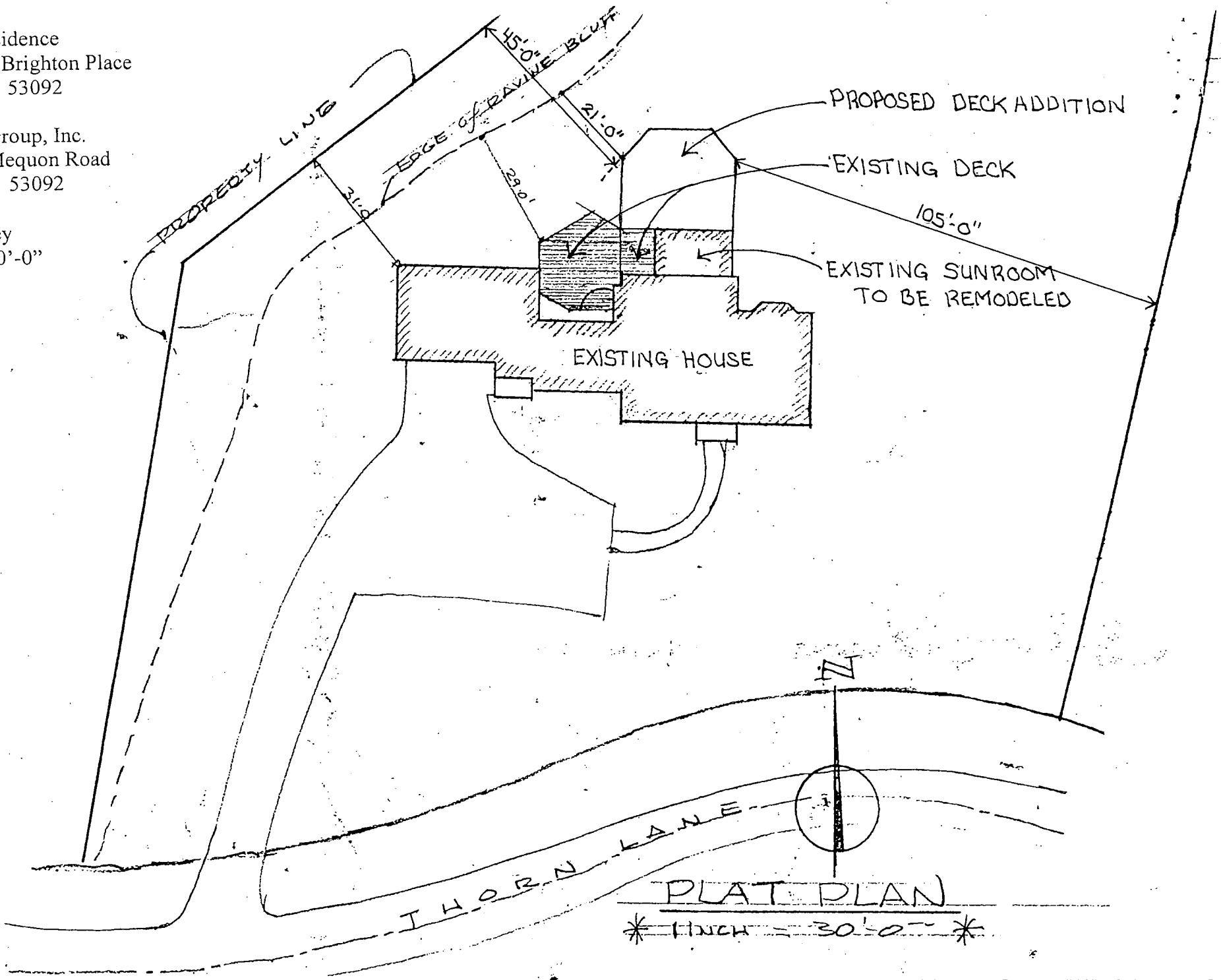
5

10582

Bradford Residence  
11023 North Brighton Place  
Mequon, WI 53092

Henderson Group, Inc.  
6510 West Mequon Road  
Mequon, WI 53092

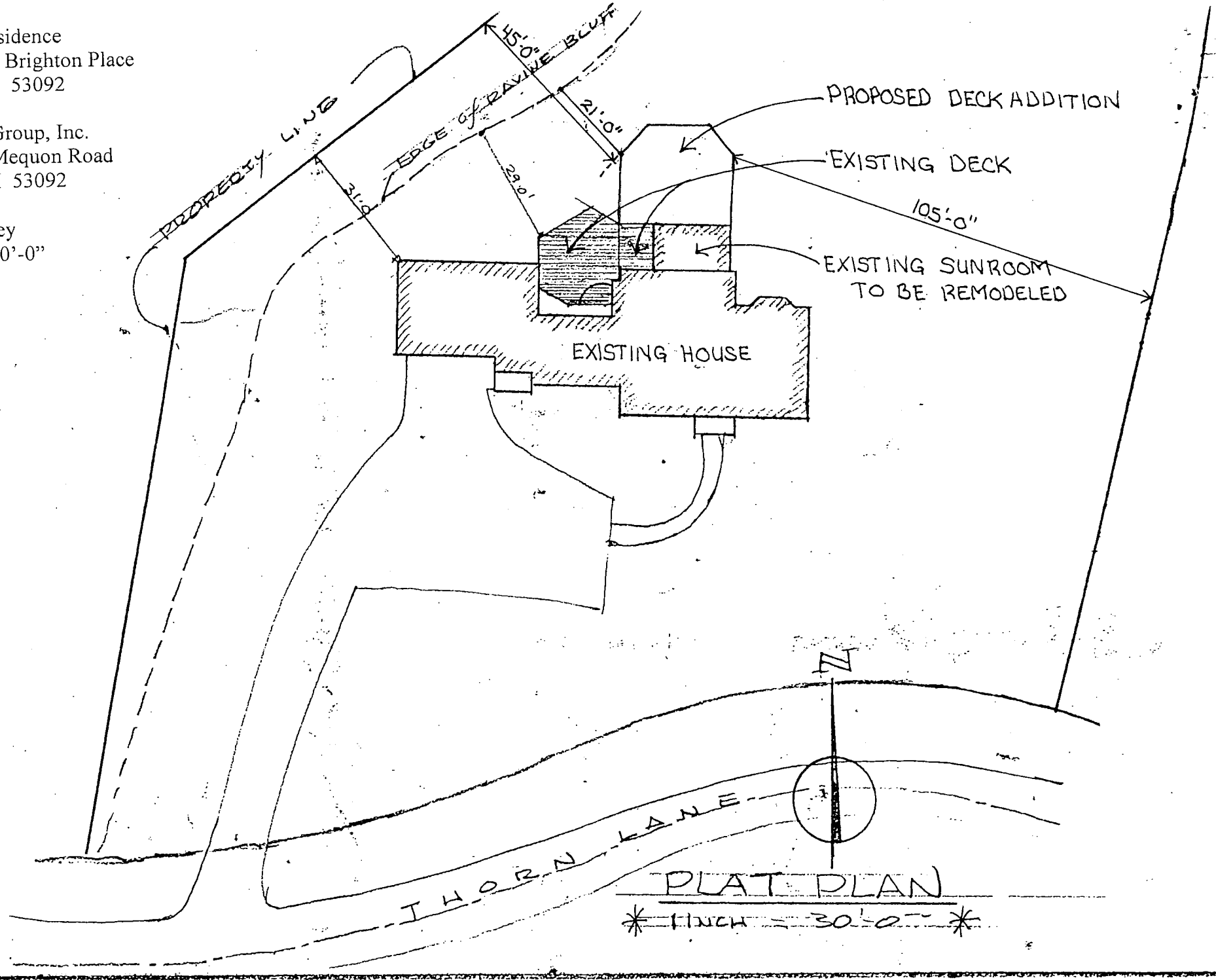
Plat of Survey  
Scale 1" = 30'-0"



Bradford Residence  
11023 North Brighton Place  
Mequon, WI 53092

Henderson Group, Inc.  
6510 West Mequon Road  
Mequon, WI 53092

Plat of Survey  
Scale 1" = 30'-0"



Date Submitted: 7/19/2016

Permit No. 16663

## APPLICATION FOR BUILDING OR RAZING

The undersigned hereby applies for a permit to build or raze, in accordance with the information tabulated hereafter,

Type of Project: Fence Address: 1030 E. THORNE  
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Size of Structure: APPROX 400' (square feet/cubic feet) Height of Structure: 4' (stories or feet)

Distance - Street Line to Front Line of Structure: 68' (feet) Distance - Side Lot Line to Structure: 65' (feet)

Estimated Cost: \$6500

Remarks - Please indicate scope of work: INSTALL FENCE AROUND BACK & SIDE

Herewith are filed the specifications that describe the work in question and as shown on the plans above submitted.

In making the application, the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure: <u>RICHARD COHEN</u>	Architect/Contractor: <u>SUBURBAN FENCE</u>
Address: <u>1030 E THORNE LN</u>	Address: <u>5111 N LYDELL</u>
City: <u>FOX POINT</u> State: <u>WI</u> Zip: <u>53217</u>	City: <u>WAB</u> State: <u>WI</u> Zip: <u>53217</u>
Telephone: <u>847-331-3886</u>	Telephone: <u>414-962-5000</u>
Email Address: <u>RCOHN@HOMECAREASSISTANCE.COM</u>	Email Address: _____

Dwelling Contractor Certification No.: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Dwelling Contractor Qualifier Certification No.: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Permit Fee: \$70.00 Receipt No.: 8.001031

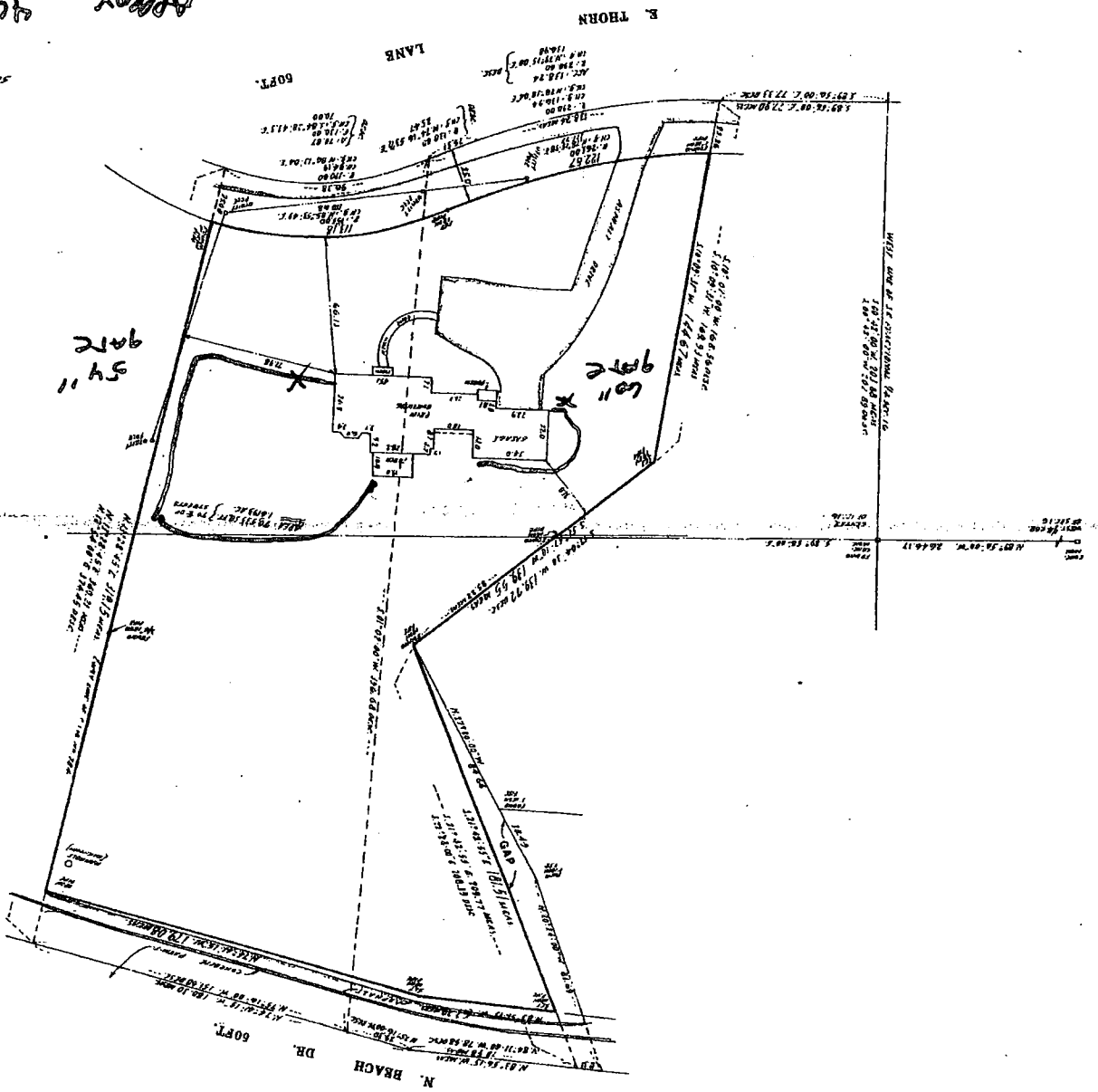
Applicant Signature: [Signature] Date Application Approved: \_\_\_\_\_

IF HOMEOWNER IS APPLYING FOR A BUILDING PERMIT,  
A SIGNED CAUTIONARY STATEMENT FORM MUST BE ATTACHED.

OKAY Subject to compliance with the local ordinance including but not limited to not being justified Reason of the front line of the Home & not being installed on the back of the lot or RAZING. @ 7/25/16

APPROX 400' 4' CEDAR DOG EAR

SCALE 1/4" = 100'



ALL THAT PART OF LOTS 7 AND 8  
 RANGING 22 EAST, IN THE VILLAGE  
 COMMENCED AT A POINT IN  
 RADIUS IS 250.00 FEET AND THE  
 THENCE EASTWARD 25.31 FEET  
 CURVE BEARS NORTH 74.16° 30'  
 RADIUS IS 250.00 FEET AND THE  
 THENCE EASTWARD 25.31 FEET  
 CURVE BEARS NORTH 74.16° 30'  
 PUBLIC ROAD 30.00 FEET IN WIDE  
 A PUBLIC HIGHWAY KNOWN AS  
 TO A POINT, SAID LAST 7 DESCRIBED  
 SOUTH 22° 29' 00" EAST 208.39 FEET  
 (REPRESENTED AS SUCH)  
 CONTAINING 0.9665 ACRES OF L.

THE SURVEY  
 INSTRUMENT  
 BEING IN  
 COMPLIANCE

Date 6-20, 2016 Application No. 13650  
 Plumber Cliff Bergin Assoc.  
 Address 6300 W Douglas Bay  
 City, State, Zip. Mequon WI 53092  
 Telephone No. 262-242-2456  
 Email \_\_\_\_\_

Owner Rick Cohen  
 Address 1030 E Thorne Ln  
 City, State, Zip Fox Point WI 53217  
 Telephone No. 847-331-3886

**Application and Record**  
 Village of Fox Point  
 7200 N. Santa Monica Blvd.  
 Fox Point, WI 53217  
 (414) 351-8900

PERMITS USED	
Type	Permit No.
Sewer and Plumbing	13603
Water	
Street	
Meter	
Water Usage	

TO THE VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT:  
 The undersigned hereby make application to do the work of plumbing consisting of  
 laying a \_\_\_\_\_ inch \_\_\_\_\_ builder sewer from Main to Lot line  
 to Building | laying a \_\_\_\_\_ inch \_\_\_\_\_ water service from Main to Lot line  
 to Building

at: 1030 E Thorne Ln Fox Point, WI 53217  
 ↑ Address at which work is to be done ↑

In the performance of this work the undersigned Plumber hereby agrees to be bound by and submit to all statutes, Village ordinances and rules and regulations prescribed by the Village Board for Plumbers.

State Master Lic.# 1005238 Expir. 3-31-17 SIGNATURE Bu King Applicant

FIXTURE WITH DRAIN OR WATER CONNECTIONS			
Description	# of Fixtures	Description	# of Fixtures
Hose Bibs		Dishwashers	
Bath Tubs		Wash Basins	
Sump Pumps		Water Closets	
Laundry Trays		Showers	
Drinking Fountains		Floor Drains	
Sinks		Food Waste Grinders	
Water Heaters	<u>1</u>	Sprinkling System	
Wash. Mach. Wastes		Urinals	
Bidets			
Catch Basins			

FEES		
Description	Comment	Amount
Water Usage		\$
Building Sewer		\$
Water Service		\$
Building Drain		\$
Fixtures		\$
Water Meter		\$
Minimum Charge for Any Permit: \$60.00		\$
<b>TOTAL</b>		\$ <u>60.00</u>
Deposit to cover street repairs		\$

[A current certificate of insurance must be provided when doing work in road right of way (ROW)]  
Receipt #2.000148

A \_\_\_\_\_ inch \_\_\_\_\_ water service pipes laid in \_\_\_\_\_  
 Curb box is located \_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_  
 \_\_\_\_\_ inch \_\_\_\_\_ Water Meter No. \_\_\_\_\_ Date Installed \_\_\_\_\_

A \_\_\_\_\_ inch \_\_\_\_\_ sanitary sewer Connection was made in \_\_\_\_\_  
 \_\_\_\_\_ feet \_\_\_\_\_ of manhole \_\_\_\_\_

A \_\_\_\_\_ inch \_\_\_\_\_ storm sewer connection was made in \_\_\_\_\_  
 \_\_\_\_\_ feet \_\_\_\_\_ of manhole \_\_\_\_\_

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved \_\_\_\_\_ Application Approved \_\_\_\_\_, 20 \_\_\_\_\_

As Built \_\_\_\_\_  
 \_\_\_\_\_  
 Water and Plumbing Inspector

CONTRACTOR INFORMATION	
Date	6-27-16
State Master Electrician License No.	256232
State Electrical Contractor Certification No.	1118628

VILLAGE OF FOX POINT  
 7200 N. Santa Monica Blvd.  
 Fox Point, WI 53217  
 414-351-8900

OFFICE USE ONLY	
Permit No.	21354
Received	6/28/16
Service	
Rough-In	
Final	

## APPLICATION FOR ELECTRICAL PERMIT

Owner's Name: Rick Cohen	Address at which work is to be done: 1030 E Thero Ln
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### ESTIMATED COST OF JOB

- Buildings:
- Residential
  - Commercial
  - Industrial
  - Institutional
  - New Construction
  - Additional Rooms
  - Remodeling
  - New Occupancy

### Where on Premises? - DESCRIBE:

Adding or moving lights in  
 several rooms. Changing  
 devices in several rooms

List Name of Installing Contractor \_\_\_\_\_

HEATING \_\_\_\_\_

AIR CONDITIONING \_\_\_\_\_

PLUMBING \_\_\_\_\_

No.	Description	Qty.	Rate of Fees	Amount
1	Light switch, and convenience outlets	10	.70 ea.	14.00
2	Lighting Fixtures	10	.70 ea.	7.00
3	Fluorescent Fixtures - per tube		.70 ea.	
4	Range, Electric		8.00 ea.	
5	Garbage Grinding and Disposal Unit		8.00 ea.	
6	Dishwasher		8.00 ea.	
7	Clothes Dryer		8.00 ea.	
8	Water Heaters, Electric		8.00 ea.	
9	Gas Burner, Oil Burner, or Stoker		8.00 ea.	
10	Refrigerating, Air Cooling or similar machine - 25 per HP		8.00 min.	
11	Feeders - No. 8 A.W.G. or Larger		10.00 ea.	
12	Temporary Service Permit for: How Long?		30.00 ea.	
13	Services: Service Switches, ea.		05.00 ea.	
	Service 1. 0 through 100 amps.		25.00 ea.	
	Service 2. 101 through 400 amps.		40.00 ea.	
	Service 3. 401 through 600 amps.		40.00 ea.	
	Service 4. 601 through 1000 amps.		60.00 ea.	
	Service 5. Thereafter, each additional 1000 amps.		5.00 ea.	
14	Motors over 1/2 HP		.70 per HP or frac.	
15	Fuel Dispensing Pumps		6.00 ea.	
16	Transformers, Rectifiers, and Generators		2.00 per KVA	
17	Space Heating Systems, per circuit		4.00 ea.	
18	Power receptacles - 120 Volts or over 1. Through 30 amps.		3.00 ea.	
19	2. Over 30 amps.		5.00 ea.	
20	Wireways, busways, underfloor raceways, or auxiliary gutters		.50 per ft.	
21	Strip Lighting, Plug-in Strip, Trol-E Duct, or similar systems		.50 per ft.	
22	Signs, Electric, .75 ea. Socket, plus 2.00 ea. additional transformer		3.00 min.	
23	Swimming Pool Wiring: A. Inground pools		40.00	
24	B. Above ground pools		40.00	
25	Spas, Hot-Tubs, Hydromassage Bathtubs		6.00	
26	MINIMUM CHARGE FOR ANY ONE PERMIT	1	60.00	60
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00	
28	DOUBLE FEES will be charged for any work started before obtaining permit			
MAKE CHECKS PAYABLE TO: Village of Fox Point				
MAR TO: Electrical Inspector				
Receipt # 2000144				
TOTAL FEES 150				

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

### REMARKS:

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

Contractor Pantlaff Electric LLC			Signature of Supervising Electrician <i>[Signature]</i>	
Address W279.54441 Sagesville Rd			Telephone No. 414-840-7773	
City Waukesha	State WI	Zip 53189	Email Address pantlaffelectric@gmail.com	

Village of Fox Point  
7200 N. Santa Monica Blvd.  
Fox Point, WI 53217  
(414) 351-8900

Date Submitted: \_\_\_\_\_

Permit No. 16601

## APPLICATION FOR BUILDING OR RAZING

The undersigned hereby applies for a permit to build or raze, in accordance with the information tabulated hereafter,

Type of Project: Residence Address: 1030 E MOENE LN  
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Size of Structure: \_\_\_\_\_ (square feet/cubic feet) Height of Structure: \_\_\_\_\_ (stories or feet)

Distance - Street Line to Front Line of Structure: \_\_\_\_\_ (feet) Distance - Side Lot Line to Structure: \_\_\_\_\_ (feet)

Estimated Cost: \$2,000.00

Remarks - Please indicate scope of work: REMOVAL OF WALL TO OPEN UP  
FAMILY ROOM TO SUN ROOM

Herewith are filed the specifications that describe the work in question and as shown on the plans above submitted.

In making the application, the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure: RICHARD L COHEN Architect/Contractor: FRITSCH DESIGN + WEBSTER  
CARPENTRY

Address: 1030 E MOENE LN Address: \_\_\_\_\_

City: Fox Point State: WI Zip: 53217 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: 847.331.3886 Telephone: 262 483 4048 / 414 688 4776

Email Address: R COHEN C HOME CARE ASSISTANCE .COM Email Address: \_\_\_\_\_

Dwelling Contractor Certification No.: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Dwelling Contractor Qualifier Certification No.: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Permit Fee: \$70.00 Receipt No: 8.000990

Applicant Signature: [Signature] Date Application Approved: 6/2/16

**IF HOMEOWNER IS APPLYING FOR A BUILDING PERMIT,  
A SIGNED CAUTIONARY STATEMENT FORM MUST BE ATTACHED.**





VILLAGE OF FOX POINT

MILWAUKEE COUNTY

WISCONSIN

VILLAGE HALL  
7200 N. SANTA MONICA BLVD.  
FOX POINT WI 53217-3505  
414-351-8900  
FAX 414-351-8909

**CAUTIONARY STATEMENT TO OWNERS  
OBTAINING BUILDING PERMITS**

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Richard L Cohen

Homeowner's Name - PRINTED

1030 E THORNE LN

Fox Point Property Address

[Handwritten Signature]

Homeowner's Signature

6/16/16

Date

CAN ROOM HEADERS

$$W_{ROOF} = 50 \left( \frac{1}{2} \right) = 275$$

$$W_{WALL} = 10(10) = 100$$

$$W_{2ND FL} = 50 \left( \frac{1}{2} \right) = 425$$

$$W_T = 800$$

$$L_{SPAN} = 7.33'$$

$$M = \frac{800(7.33)}{2} = 5776 \text{ FT-LB.}$$

CHK (2) 1 3/4" x 9 1/8" WL OK

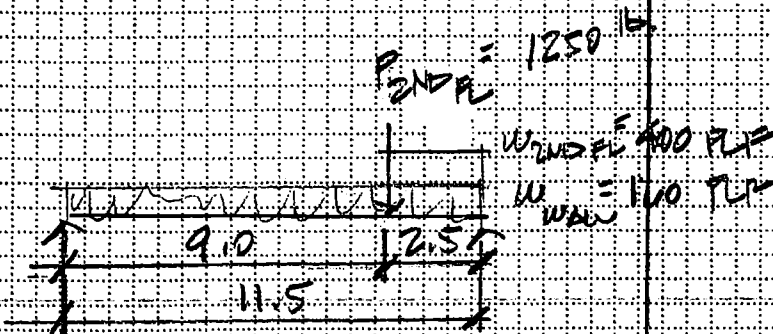
$$f_b = \frac{5776(12)}{50} = 1389 \text{ PSI}$$

$$\Delta = \frac{5 \left( \frac{800 \times 7.33}{2} \right) (12 \times 7.33)^3}{384 (1.4 \times 10^6) (111)}$$

$$= 0.26" = \frac{l}{230} \text{ OK}$$

BY INSPECTION OFFICE HDR IS OK

KITCHEN HDR

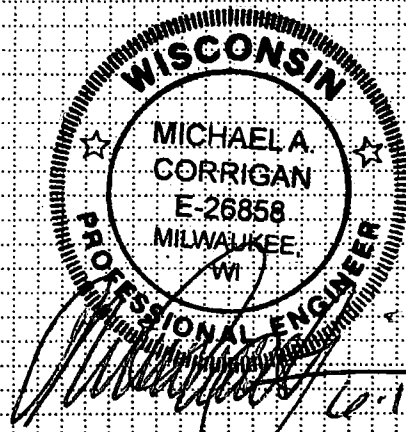


$$M = 5409 \text{ FT-LB.}$$

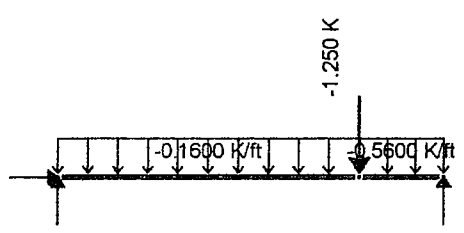
$$f_b = \frac{5409(12)}{92.13} = 709 \text{ PSI}$$

$$\Delta = 0.136" = \frac{l}{1015} \text{ OK}$$

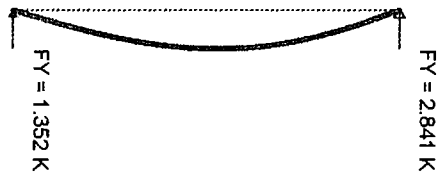
(2) 1 3/4" x 11 1/8" WL BMT OK



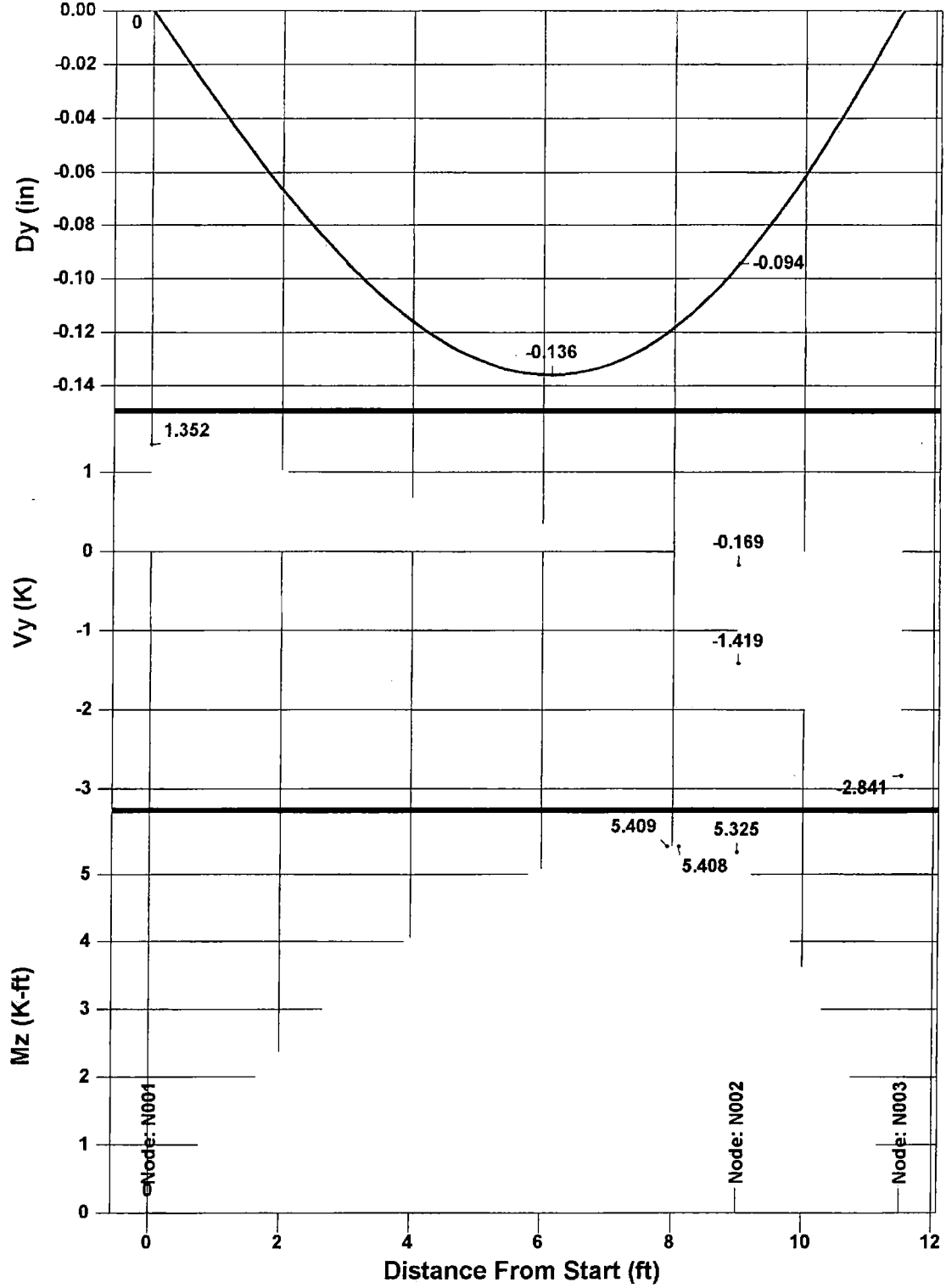
Cohen Header  
MICHAEL A. CORRIGAN P.E., ALA, Michael A. Corrigan  
Jun 15, 2016; 12:00 PM  
Load Case: Total  
IES VisualAnalysis 11.00.0004

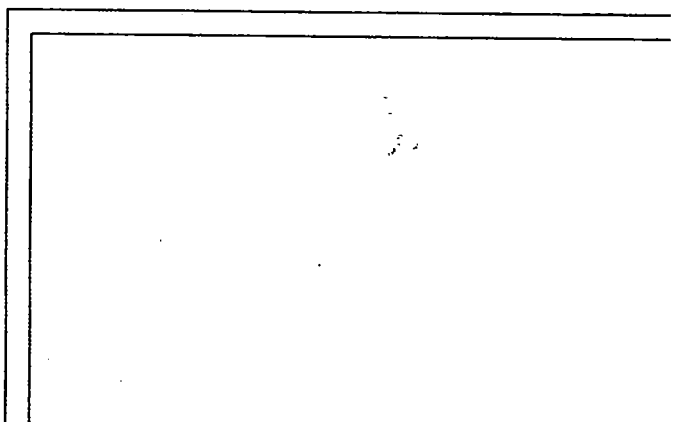
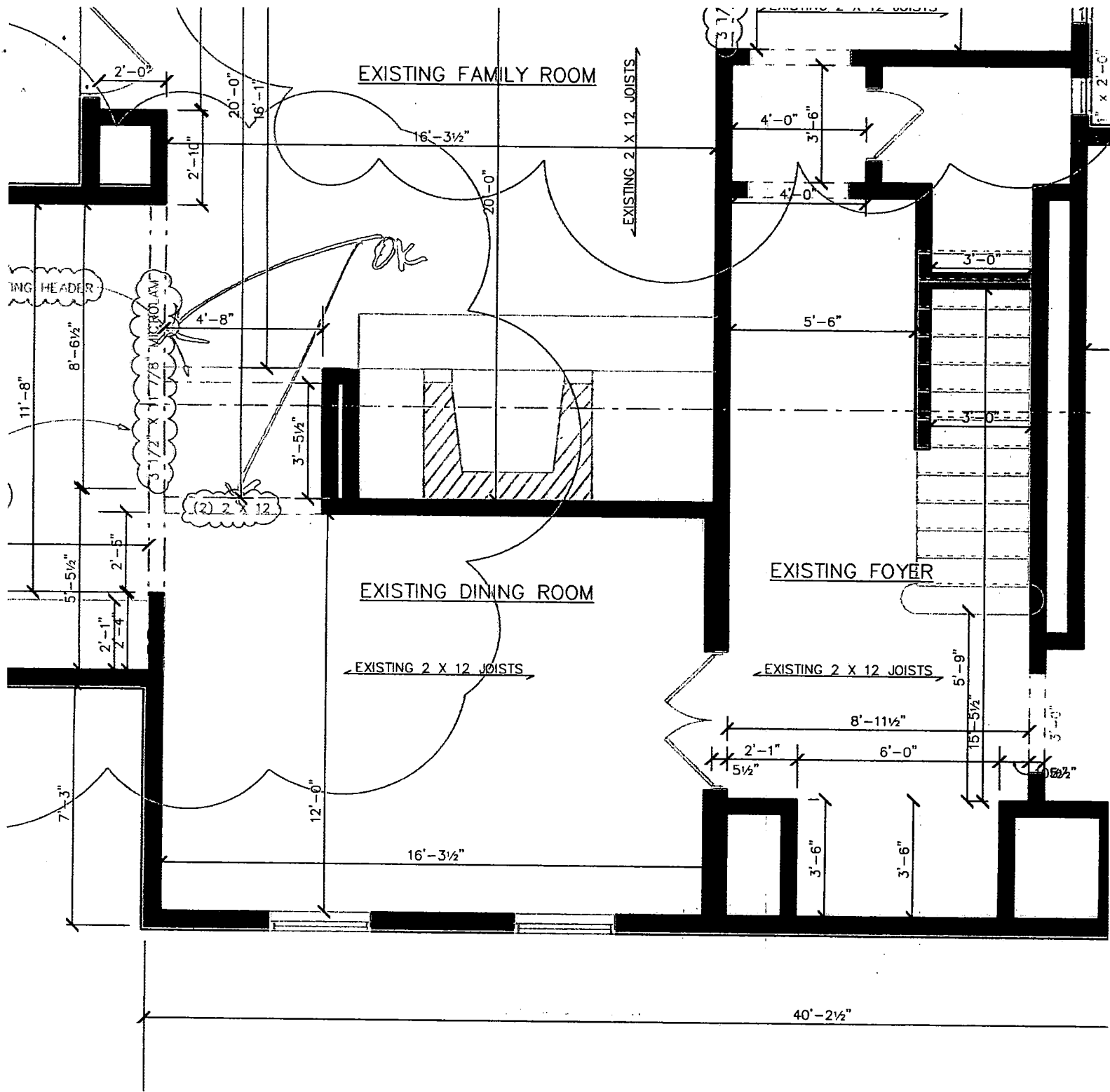


Cohen Header  
MICHAEL A. CORRIGAN P.E., ALA, Michael A. Corrigan  
Jun 15, 2016; 12:00 PM  
Result Case: Total  
IES VisualAnalysis 11.00.0004



Member: BmX001..BmX002      Cohen Header      Michael A. Corrigan  
Load Case: Total      MICHAEL A. CORRIGAN P.E., ALA Jun 15, 2016; 12:00 PM





VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 8.000990

Jun 21, 2016

1030 E THORN LANE

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	70.00
24-44460 BUILDING PERMIT	

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Total:	70.00
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CHECK	Check No: 1614	70.00
Payor: RICHARD COHEN		

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Total Applied:	70.00
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Change Tendered:	.00
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06/21/2016 08:16AM



VILLAGE OF FOX POINT  
MILWAUKEE COUNTY  
WISCONSIN

OKAY TO REFUND -  
5/20/16 SUE

VILLAGE HALL  
7200 N. SANTA MONICA BLVD.  
FOX POINT WI 53217-3505  
414-351-8900  
FAX 414-351-8909

### APPLICATION FOR ESTATE SALE

Business Name Legacies Hd of Fox Pt.

Business Address 7927 N. Port Washington R Phone 352-8114

Phone \_\_\_\_\_ Email Address legacieshd@sbglobal.net

Will an agent be involved in the conduct of the sale?  YES  NO

Name and address of agent Barb Wade Phone \_\_\_\_\_

ADDRESS OF PROPERTY WHERE SALE WILL BE HELD 1030 E. Thoen

Dates AND Times of the sale wed. May 18 10 - 5

\*Address of property or properties where signs will be located 11030 E. Thoen Lake Dr.

I hereby attest that the sale relates to the assets of a resident or property owner, and is for the purpose of liquidating all or a portion of his/her estate.

Susan Kucha  
Applicant Name - PRINTED

[Signature]  
Applicant Signature

5/17/16  
Date

Permit Fee: \$50

The applicant shall post the sum of \$500 or such other bond or proof of insurance against damages to the Village right-of-way or Village property as may occur. Upon completion of the sale, the sum shall be refunded to the applicant less any sum retained for purposes of restoration or repair. Deposits for sales occurring during the October 15<sup>th</sup> - April 15<sup>th</sup> time period will not be refunded until sometime after April 15<sup>th</sup> as repairs will not be made until after April 15<sup>th</sup> because of weather conditions.

There is a minimum of \$75 charge for special pick-ups required to remove any remaining items left after the sale.

**Applicants are also responsible for obtaining a permit for estate sale signs if signage is desired.**

<b>For Village Use Only</b>		1.052180 -	50.00
Date received	<u>5/17/16</u>	Fee Paid <u>\$50.00</u>	Receipt 1.052181 - 500.00
Approved by Village Manager	<u>[Signature]</u>	Signature	Date <u>5/17/16</u>
Date copy sent to Police Department AND Public Works Department	<u>5/17/16</u>		
Permit expiration date	<u>5/19/16</u>		
Date area inspected	<u>5-18-16 OKMT</u>	Date deposit refunded	_____
Amount refunded	<u>\$500.00</u>		





VILLAGE OF FOX POINT

MILWAUKEE COUNTY

WISCONSIN

VILLAGE HALL  
7200 N. SANTA MONICA BLVD.  
FOX POINT WI 53217-3505  
414-351-8900  
FAX 414-351-8909

APPLICATION FOR ESTATE SALE

Business Name Legacies Hld of Fox Pt.

Business Address 7927 N. Port Washington R Phone 352-8114

Phone \_\_\_\_\_ Email Address legacieshld@sbcglobal.net

Will an agent be involved in the conduct of the sale?  YES  NO

Name and address of agent Barb Wade Phone \_\_\_\_\_

ADDRESS OF PROPERTY WHERE SALE WILL BE HELD 1030 E. Thoen

Dates **AND** Times of the sale wed. May 18 10 - 5

\*Address of property or properties where signs will be located 1030 E Thoen Lake Dr.

I hereby attest that the sale relates to the assets of a resident or property owner, and is for the purpose of liquidating all or a portion of his/her estate.

Susan Kucha  
Applicant Name - PRINTED

[Signature]  
Applicant Signature

5/17/16  
Date

Permit Fee: \$50

The applicant shall post the sum of \$500 or such other bond or proof of insurance against damages to the Village right-of-way or Village property as may occur. Upon completion of the sale, the sum shall be refunded to the applicant less any sum retained for purposes of restoration or repair. Deposits for sales occurring during the October 15<sup>th</sup> - April 15<sup>th</sup> time period will not be refunded until sometime after April 15<sup>th</sup> as repairs will not be made until after April 15<sup>th</sup> because of weather conditions.

There is a minimum of \$75 charge for special pick-ups required to remove any remaining items left after the sale.

**\*Applicants are also responsible for obtaining a permit for estate sale signs if signage is desired.\***

<b>For Village Use Only</b>		1.052180 -	50.00
Date received	<u>5/17/16</u>	Fee Paid <u>550.00</u>	Receipt 1.052181 - 500.00
Approved by Village Manager	<u>[Signature]</u>	Signature	Date <u>5/17/16</u>
Date copy sent to Police Department AND Public Works Department	<u>5/17/16</u>		
Permit expiration date	<u>5/19/16</u>		
Date area inspected	_____	Date deposit refunded	_____
Amount refunded	_____		



VILLAGE OF FOX POINT  
 7200 N. SANTA MONICA BLVD.  
 FOX POINT, WI 53217  
 (414) 351-8900

APPLICATION FOR INSPECTION AND  
 ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date May 6, 2015

Building Address 1030 E. Thorn Lane Fox Point, WI

Owner of Building Joe + Karen Balistreri

Owner's Address if different than above \_\_\_\_\_

Owner's Telephone (414) 298-8221

Proposed Occupant's Name (if known) \_\_\_\_\_

Name and Address and/or Email where the Notice of Noncompliance and Certificate of Compliance should be sent:

jbalistreri@reinhardt law.com

**PLEASE NOTE:**

- ◆ A certificate of compliance will not be issued unless repairs or alterations are completed.
- ◆ It is the applicant's responsibility to schedule an inspection with the Village Inspector.

Joseph J. Balistreri  
 Applicant's Name - PRINTED

[Signature]  
 Applicant's Signature

<b>For Office Use Only:</b>	
Application No. <u>6970</u>	Date Received <u>5/13/15</u>
Amount <u>\$100.00</u> -Single Family	Receipt No. <u>#8.000396</u>
Amount <u>\$ 50.00</u> -Apartment	Receipt No. _____
Inspection Made <u>5/14/15</u>	By <u>[Signature]</u>
Date	Inspector

60766  
 1/28



INSPECTION DEPARTMENT  
VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BOULEVARD  
FOX POINT, WISCONSIN 53217

## CERTIFICATE OF COMPLIANCE

January 28, 2016

NO. 6766

Issued to: Joe and Karen Balistreri

Mailing Address: Joe and Karen Balistrer via Email Address

---

This Certificate of Compliance permits a change in the occupancy of the premises at **1030 E. Thorn Lane**, Fox Point, WI, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 756-48 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 756-48 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.

---

Scott Miller  
Building Inspector  
Village of Fox Point

INSPECTION DEPARTMENT  
VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BOULEVARD  
FOX POINT, WI 53217


**December 4, 2015**

Issued to: Joe and Karen Balistreri

Address: 1030 E. Thorn Lane

An inspection of the premises located at 1030 E. Thorn Lane discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- 1) Please provide code compliant carbon monoxide detectors on each floor level of your home including the basement.
- 2) Please provide Ground-Fault Circuit Interrupter (GFCI) protection for bathroom electrical outlets.
- 3) Please properly bond your corrugated stainless-steel tubing (csst) gas piping system as required by code.



Scott Miller  
Building Inspector  
Village of Fox Point

*\* Please be aware that Village Code requires permits for plumbing and electrical work.*

*\*Please be aware that all work done prior to obtaining a permit will require a double fee pursuant to Village Code.*

Plumber Steve's Plumbing  
 Address 8263 Orchard Valley Rd  
 City, State, Zip West Bend WI 53090  
 Tel. No. 262-689-7930

No. 13300

Owner Mike Balistreri  
 Address 1030 E. Thorn LN  
 Date 3/2, 20 15

# Application and Record

Village of Fox Point  
 7200 N. Santa Monica Blvd.  
 Fox Point, WI 53217  
 (414) 351-8900

TO THE VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT:


The undersigned hereby make application to do the work of plumbing consisting of  
 laying a \_\_\_\_\_ inch \_\_\_\_\_ laying a \_\_\_\_\_ inch \_\_\_\_\_  
 builder sewer from Main to Lot line water service from Main to Lot line  
 to Building to Building  
 at

1030 E. Thorn LN. Fox Point, WI  
 Address at which work is to be done

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>13253</u>
Water	
Street	
Meter	
Water Usage	

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, Village ordinances and rules and regulations prescribed by the Village Board for Plumbers.

State Master Lic.# 227090 Expir. \_\_\_\_\_ Building Contractor Reg# \_\_\_\_\_ Expir. \_\_\_\_\_  
 HVAC Contractor Reg# \_\_\_\_\_ Expir. \_\_\_\_\_ Signature  Applicant \_\_\_\_\_

### FIXTURE WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs _____	Dishwashers _____
Bath Tubs _____	Wash Basins _____
Sump Pumps _____	Water Closets <u>1</u>
Laundry Trays _____	Showers <u>1</u>
Drinking Fountains _____	Floor Drains _____
Sinks <u>2</u>	Food Waste Grinders _____
Water Heaters _____	Sprinkling System _____
Wash. Mach. Wastes _____	Urinals _____
Bidets _____	
Catch Basins _____	

### FEES

Water Usage \_\_\_\_\_ \$ \_\_\_\_\_  
 Building Sewer \_\_\_\_\_  
 Water Service \_\_\_\_\_  
 Building Drain \_\_\_\_\_  
 Fixtures 4x \$8 \$32.00  
 Water Meter \_\_\_\_\_  
 Total \$60.00  
 Deposit to cover street repairs Receipt #49334  
 (A current certificate of insurance must be provided when doing work in road right of way (ROW)).

Permit Clerk \_\_\_\_\_

A \_\_\_\_\_ inch \_\_\_\_\_ water service pipes laid in \_\_\_\_\_

Curb box is located \_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_

\_\_\_\_\_ inch \_\_\_\_\_ Water Meter No. \_\_\_\_\_ Date Installed \_\_\_\_\_

A \_\_\_\_\_ inch \_\_\_\_\_ sanitary sewer connection was made in \_\_\_\_\_  
 \_\_\_\_\_ feet \_\_\_\_\_ of manhole \_\_\_\_\_

A \_\_\_\_\_ inch \_\_\_\_\_ storm sewer connection was made in \_\_\_\_\_  
 \_\_\_\_\_ feet \_\_\_\_\_ of manhole \_\_\_\_\_

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved \_\_\_\_\_ Application Approved \_\_\_\_\_, 20 \_\_\_\_\_

As Built \_\_\_\_\_

Water and Plumbing Inspector



# Wisconsin Department of Safety and Professional Services

## Credential/Licensing Search

[Credential/License Search](#)

[DSPS Home](#)

[Credential/License Search](#) [DSPS Home](#)

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### Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
227090	<u>SARAUER, STEVEN</u>	WEST BEND WI 53090	Master Plumber	3/31/2016

[Return to Search](#)

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Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.

Send questions or comments to [dsps@wisconsin.gov](mailto:dsps@wisconsin.gov).

Village of Fox Point  
7200 N. Santa Monica Blvd.  
Fox Point, WI 53217  
(414) 351-8900

Date Submitted 2/11/15

No. 16080

## APPLICATION FOR BUILDING

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Project RENOVATION OF BATHROOM Address 1030 E THORNE LN  
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Underground Storage Tank, Etc.

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_ District \_\_\_\_\_

Does contemplated structure violate the Village zoning ordinance? NO

Height of Structure N/A (stories or feet)

Width (parallel to highway) N/A (feet) Depth (perpendicular to highway) N/A (feet)

Distance: Street Line to Front Line of Structure N/A (feet)

Distance: Side Lot Line to Structure N/A

Type of Construction: N/A Exterior finish N/A  
Frame, Brick-tile, etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade N/A

Number of rooms \_\_\_\_\_ Baths MASTER BATHROOM RENOVEL

Garage NO CHANGE

Estimated cost Building \$24,500

Structure \_\_\_\_\_

Is there a private garage? N/A

Does the contemplated garage violate the Village zoning ordinance? NO

Size N/A Number of Stalls \_\_\_\_\_ Where Situated \_\_\_\_\_

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? NO

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? NO

Herewith are filed the following duplicate plans \_\_\_\_\_ in number, which I certify I will conform to in the work hereby applied for:

Remarks: NO EXTERIOR WORK ; ONLY INTERIOR WORK IS RENOVATION OF EXISTING MASTER BATHROOM

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure JOSEPH BALITREAI Arch. or Contr. HIGHLAND BUILDERS, LLC

Address 1030 E THORNE LN Address 8008 TOWN HALL RD

City FOX POINT State WI Zip 53217 City KELASKA State WI Zip 53040

Phone 414-588-7088 Phone 262 573 3585

Size of Structure 104 sq. ft. RENOVATED (sq. ft.) Permit Fee \$232.00 Receipt # 49296

Dwelling Contractor Certification No. 931248 Expires 04/07/15

Dwelling Contractor Qualifier Certification No. TODD WOLFF 683137 Expires 09/10/15

Building Contractor Certification No. \_\_\_\_\_ Applicant Signature Shu Rk  
Architect, Owner, Builder

Date of Approved 2/11/15 Builder Inspector [Signature] OWNER OF HIGHLAND BUILDERS, LLC



# Wisconsin Department of Safety and Professional Services

## Credential/Licensing Search

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[Credential/License Search](#) [DSPS Home](#)

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### Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
931248	<u>HIGHLAND BUILDERS LLC,</u>	KEWASKUM WI 53040	Dwelling Contractor	4/7/2015

[Return to Search](#)

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Send questions or comments to [dsps@wisconsin.gov](mailto:dsps@wisconsin.gov).





# Wisconsin Department of Safety and Professional Services

## Credential/Licensing Search

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### Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
683137	<u>WOLFF,</u> <u>TODD</u>	KEWASKUM WI 53040	Dwelling Contractor Qualifier	9/10/2015

[Return to Search](#)

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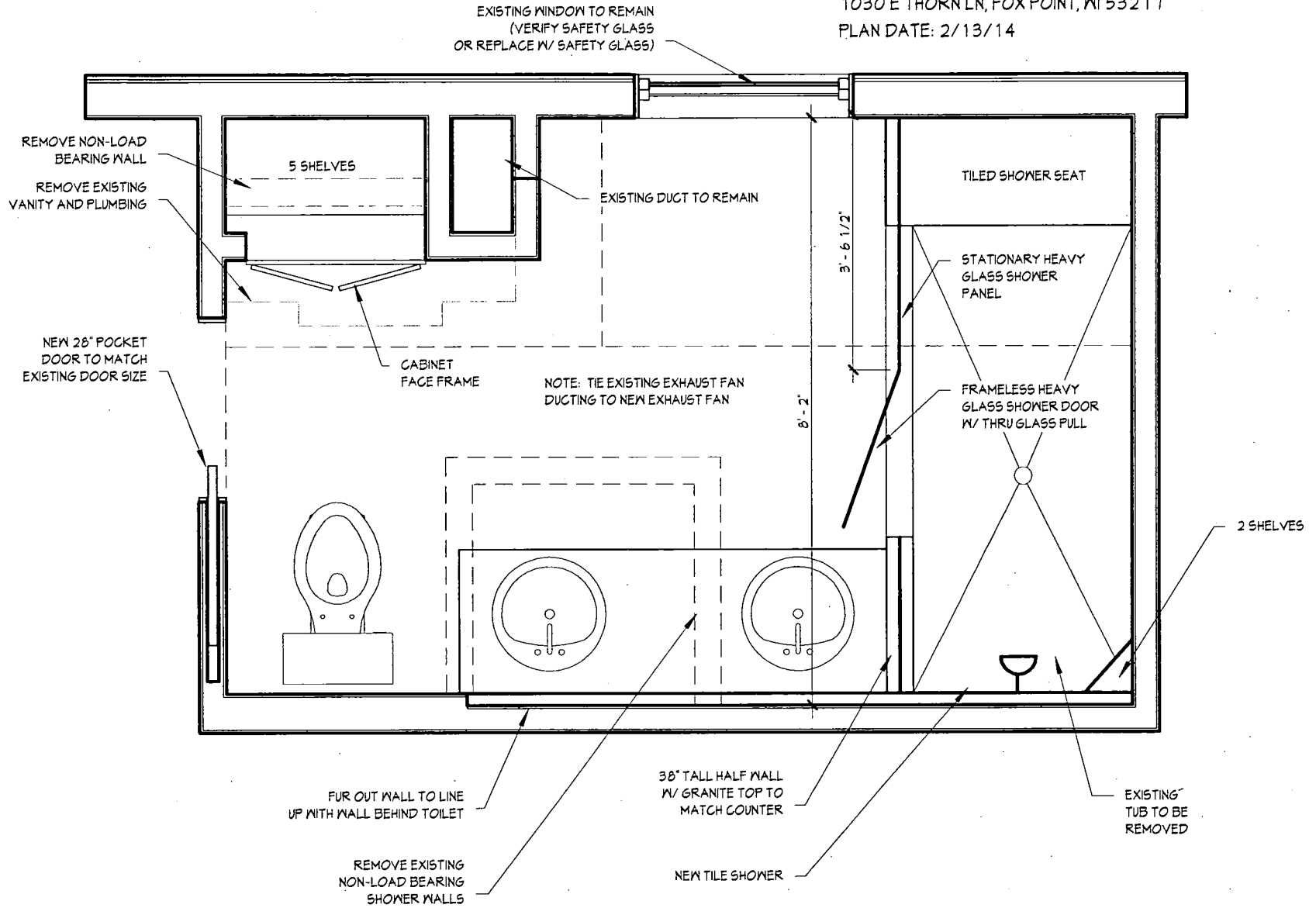
Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.

Send questions or comments to [dsps@wisconsin.gov](mailto:dsps@wisconsin.gov).

# BALISTRERI REMODEL

1030 E THORN LN, FOX POINT, WI 53217

PLAN DATE: 2/13/14



## MASTER BATHROOM FLOOR PLAN

1/2" = 1'-0"

CONTRACTOR USE	
Date	2-16-15
State Master Electrician Lic. No.	1069411
State Elect. Contractor Cert. No.	1136089
Village Elect. Contractor Cert. No.	

### VILLAGE OF FOX POINT

7200 N. Santa Monica Blvd.  
Fox Point 53217  
414-351-8900

OFFICE USE ONLY	
Permit No.	20876
Received	2/19/15
Service	
Rough-In	
Final	

## APPLICATION FOR ELECTRICAL PERMIT

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder	Highland Builders	Owner	Balistreri Residence	Occupant	
Job Address	1030 East Thorne Lane				

#### ESTIMATED COST OF JOB

- Buildings  Residential  
 Commercial  
 Industrial  
 Institutional  
 New Construction  
 Additional Rooms  
 Remodeling  
 New Occupancy

#### Where on Premises?

Describe Upstairs Bathroom

List Name of Installing Contractor \_\_\_\_\_

HEATING \_\_\_\_\_

AIR CONDITIONING \_\_\_\_\_

PLUMBING \_\_\_\_\_

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

#### REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch, and convenience outlets	5	.70 ea		
2	Lighting Fixtures	24	.70 ea		
3	Fluorescent Fixtures - per tube		.70 ea		
4	Range, Electric		8.00 ea		
5	Garbage Grinding and Disposal Unit		8.00 ea		
6	Dishwasher		8.00 ea		
7	Clothes Dryer		8.00 ea		
8	Water Heaters, Electric		8.00 ea		
9	Gas Burner, Oil Burner, or Stoker		8.00 ea		
10	Refrigerating, Air Cooling, or similar machine - .25 per HP		8.00 min		
11	Feeders - No. 6 A.W.G. or Larger		10.00 ea		
12	Temporary Service Permit for: How Long?		30.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		25.00 ea		
	2. 101 through 400 amps.		40.00 ea		
	3. 401 through 600 amps.		40.00 ea		
	4. 601 through 1000 amps.		60.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.70 per HP or frac.		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers, and Generators		2.00 per KW		
17	Space Heating Systems, per circuit		4.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps.		3.00 ea		
19	2. Over 30 amps.		5.00 ea		
20	Wireways, busways, underfloor raceways, or auxiliary gutters		.50 per ft.		
21	Strip Lighting, Plug-In Strip, Trol-E Duct, or similar system		.50 per ft.		
22	Signs, Electric-.75 ea. socket, plus 2.00 ea. add'l transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		40.00		
25	Spas, Hot-Tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT	1	60.00	60.00	
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

TOTAL FEES **60.00**

MAKE CHECKS PAYABLE TO:  
Treasurer, Village of Fox Point  
MAIL TO: Electrical Inspector

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

Contractor	Schweitzer Electric, LLC	Supervising Electrician (Signature)	[Signature]	Date	2-16-15
Address	820 Church Street #4	Telephone	262-299-1090		
City	Allenton	State	WI	Zip Code	53002

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

405826

# VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.  
FOX POINT 53217  
414-351-8900

OFFICE USE ONLY	
Permit No.	19603
Received	11/17/10
Service	
Rough-in	
Final	

## APPLICATION FOR ELECTRICAL PERMIT

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Date 11/15/10  
License No. 26

Owner <u>N/A</u>	Owner <u>Joseph Balistreri</u>	Occupant <u>N/A</u>
Job Address <u>1030 E. Thorn Lane</u>		

### ESTIMATED COST OF JOB

- Buildings  Residential  
 Commercial  
 Industrial  
 Institutional  
 New Construction  
 Additional Rooms  
 Remodeling  
 New Occupancy

Where on Premises?  
Describe Wire furnace in basement

List Name of Installing Contractor  
HEATING Ideal  
AIR CONDITIONING \_\_\_\_\_  
PLUMBING \_\_\_\_\_

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

### REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker	1	5.00 ea		5 00
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxiliary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A: Inground pools		40.00		
24	B: Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 34883  
TOTAL FEES 50.00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:  
Treasurer, Village of Fox Point  
MAIL TO: Electrical Inspector

Contractor <u>Spring City Electric</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Zip Code <u>170100</u>	Date <u>11/15/10</u>
Address <u>1416 Poplar Dr - A</u>	Telephone <u>262-549-9474</u>		
City <u>Waukesha</u>	State <u>WI</u>	Zip Code <u>53188</u>	

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.034883

Nov 17, 2010

1030 E THORN LANE

LICENSES & PERMITS-ELECTRICAL PERMIT	50.00
24-44430 ELECTRICAL PERMIT	

Total:	<u>50.00</u>
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CHECK	Chk No: 3958	50.00
Total Applied:		<u>50.00</u>

Change Tendered:	<u>.00</u>
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11/17/10 12:23pm

Job # 405449

Receipt # 34871

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

No. 7278

# APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner  Type 2 Forced Air  
Forced Air, Radiant, Baseboard, Etc.

Fuel:  Gas  Oil  Coal  Elect.  Other

Desc. of Heating Plant 2 Lennox SUP 96 UH 070 V 368 97% 70,000  
btu Furnaces

Vented to exterior thru pipe

Fuel Tank : \_\_\_\_\_  
Size \_\_\_\_\_ Location \_\_\_\_\_

Summer Air Conditioner  Size \_\_\_\_\_ (Ton, H.P.)

Coolant \_\_\_\_\_

Compressor Coolant: Air ; Water ;

If Water Cooled:  
Source of Water \_\_\_\_\_

Discharged to \_\_\_\_\_

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Incinerator  Manufacturer's Name \_\_\_\_\_

Model No. \_\_\_\_\_ Capacity \_\_\_\_\_ Bushels \_\_\_\_\_

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? \_\_\_\_\_

Remarks \_\_\_\_\_

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Joseph Baalstreri

Address of Work 1030 E. ~~DODD~~ Lane, Fox Point, WI, 53217

OFFICE USE ONLY  
Application Approved: 11/12/10  
Installation Approved: \_\_\_\_\_  
Thom

Anna Petrofsky  
Signed \_\_\_\_\_  
11/12/10  
Date \_\_\_\_\_

Contractor Ideal Plumbing, heating and air conditioning

Address 5635 W. Douglas Rd Phone (414) 358-2505

City Milwaukee State WI Zip 53218

State Credential Number 120321 & Expiration Date 3/3/13

\$60

**Search for Individual or Company by Credential ID here:**Specific Credential ID 

2 record(s) were returned by your search.

- Black=Approved. The credential is currently valid and is not ready for renewal.
- Blue=Renewal Application Sent. A renewal application has been sent to the credential holder. This does not guarantee that the credential is currently valid.
- Red=Expired or Other. The Credential has expired, the application is pending or the record has been locked. The credential holder should contact the credential unit if they wish to reinstate the credential.

ID	Name	City,State,Zip	Credential Type	Expiration
120321	<u>IDEAL PLUMBING HEATING &amp; AIR CONDITIONING,</u>	MILWAUKEE WI 53218	Building Contractor	03/03/13
120321	<u>IDEAL PLUMBING HEATING &amp; AIR CONDITIONING,</u>	MILWAUKEE WI 53218	HVAC Contractor	05/27/13

Receipt No: 1.034871

Nov 16, 2010

1030 E THORN LANE

LICENSES & PERMITS-HEATING PERMIT	60.00
24-44450 HEATING PERMIT	

Total:	<u>60.00</u>
--------	--------------

CHECK	Chk No: 9368	60.00
Total Applied:		<u>60.00</u>

Change Tendered:	<u>.00</u>
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11/16/10 11:23am

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT, WI 53217

414-351-8900



VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 9797

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence

Address 1030 E. Thorne Lane, Fox Point, WI

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Exterior finish

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans NA in number, which I certify I will conform to in the work hereby applied for.

Remarks: Cleaning and Removal of one x 1,000 gallon home Heating Fuel Underground Storage Tank.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or

determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Mr. Richard Byrne Arch. or Contr. Advent Env. Services  
Address 1030 E Thorne Lane Address 10845 N Bunrock Ave 640  
City Fox Point WI 53217-3646 City Mequon WI 53092  
State Zip State Zip  
Phone (414) 352-4962 Phone (414) 238-1998  
Size of Structure \_\_\_\_\_ (sq. ft.) Permit Fee 400 herewith tendered  
Date Submitted 12/12/00  
Date Approved 12/12/00 Signed Kenneth R Kuehn  
Date of Permit \_\_\_\_\_ Kenneth R Kuehn  
Architect, Owner, Builder

Contractor  
Advent Environmental Services

Permit #  
38633

IGN AND RETURN TO ADVENT ENVIRONMENTAL

**Advent  
Environmental  
Services, Inc.**

10845 N. Buntrock Ave. 64W  
Mequon, WI 53092  
Fax 414.238.0528  
414.238.1998  
1.800.880.1998

2220 Melby Road  
Eau Claire, WI 54703-0550  
Fax 715.831.1531  
715.831.1530  
1.800.530.1520

**UNDERGROUND STORAGE  
TANK REMOVAL  
PROPOSAL**

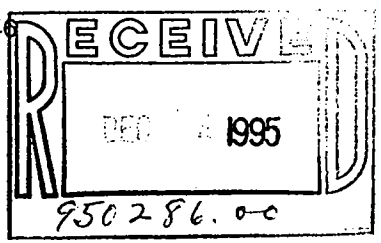
**CLIENT:** Mr. Richard Byrne      **PHONE:** (414) 352-4962

**SITE NAME:** Byrne Property

**SITE LOCATION:** 1030 E. Thorne Lane, Fox Point, WI 53217-3646

**COUNTY:** Milwaukee

**DATE:** November 27, 1995



1590 CD FEE

**OBJECTIVE**

- \* Conduct an underground storage tank (UST) removal to include excavation, disposal, and cleaning of one 1,000-gallon heating fuel UST.
- \* Document all activities per state and federal requirements.

**SCOPE OF SERVICES**

Advent Environmental Services, Inc. will provide the following services:

- \* Contact appropriate authorities to obtain proper permits and to coordinate the locating and marking of underground utilities.
- \* Prepare a site-specific safety plan for the UST removal.
- \* Excavate, clean, and dispose of the UST.
- \* Backfill the excavation with clean sand or crushed gravel.
- \* Complete and file Underground Petroleum Product Tank Inventory Forms (SBD-7437) and Checklist for Underground Storage Tank Closure (SBD-8951) with Wisconsin Department of Industry, Labor and Human Relations (WDILHR).
- \* In the event soil contamination is discovered, Advent will notify the client of his or her options and responsibilities.

**SCHEDULE**

- \* Upon receipt of a signed proposal, Advent will contact the client to arrange a removal date. WDILHR requires a minimum 15-day notification prior to UST removal.

## CONFIRMATION OF REGISTRATION TO PARTICIPATE

Firm Name: Advent Environmental Services, Inc.

Type mailing address in box below:

Registration Number: 00626

Advent Environmental Services, Inc.  
6100 W. Executive Drive, Suite E  
Mequon, WI 53092

Approved by DILHR Safety and Buildings:

CL  
Initials

2/17/93  
Date

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 12723

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1030 E. THORNE LANE

Lot ..... Block .....

Subdivision .....

District .....

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish .....

Frame, Brick-tile, Etc.

Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms ..... Baths.....

Garage .....

Estimated cost Building REMODELING 25,000

Structure 277.50 x 2 =

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size..... Number of stalls.....

Where situated .....

General construction .....

Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? .....

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? .....

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks: 2/21/00
Notice 2/21/00 with on 3/21/00 that a gas reconnector may not permit the 1st floor - requires w 3/7/06 @ 200 hr.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure JOE BALISTRERI Arch. or Contr. WISCONSIN KITCHEN MART

Address 1030 E. THORNE LANE Address 3601 W. WISCONSIN AVE.

City FOX POINT WI 53217 City MILWAUKEE WI 53208

State State Zip Zip

Phone 414-540-6425 Phone 414-342-3300

Size of Structure.....(sq. ft.) Permit Fee \$475.00 herewith tendered

Date Submitted..... State ID# 11163 Exp. Date.....

Date Approved 10/21/05 Signed Chris Bader

Date of Permit.....

Architect, Owner, Builder

Permit # 15314

# WORK ORDER

For

## WISCONSIN KITCHEN MART

Customer's Name \_\_\_\_\_

Job Address \_\_\_\_\_

Customer's Telephone \_\_\_\_\_

Approximate Starting Date \_\_\_\_\_

Description of Your Work \_\_\_\_\_

SCOTT,

PLEASE CALL ME WITH A TOTAL  
& I'LL HAVE THE OFFICE ISSUE THE  
CHECK RIGHT AWAY.

Date \_\_\_\_\_ Salesman Chris

No. 10724 C

Plumber WIS. KITCHEN MART  
Address 3601 W. WIS. AVE  
Tel. No. 414-342-3300

# Application and Record

Village of Fox Point  
7200 N. Santa Monica Blvd.  
Fox Point, WI 53217  
351-8900

Owner JOE BALISTRERI  
Address 1030 E. THORNE LN  
Date 8-23 2005

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a ..... inch ..... laying a ..... inch .....  
builder sewer from Main to Lot line water service from Main to Lot line  
to Building to Building  
at

PERMITS USED	
Kind	No.
Sewer and Plumbing	10678
Water	
Street	
Meter	
Water Usage	

..... Fox Point, Wis.  
Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bound by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. 70500 ..... STATE STRICT ..... Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

### FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters	Sprinkling System
Wash. Mach. Wastes	Urinals
Bidets	
Catch Basins	

### FEES

Water Usage	\$
Building Sewer	
Water Service	
Building Drain	
Fixtures	3
Water Meter	
Total	
Deposit to cover street repairs	

Receipt # 14962  
TOTALS 50.00

A ..... inch ..... water service pipes laid in .....

Curb box is located ..... feet ..... of ..... feet ..... of .....

..... inch ..... Water Meter No. .... Date Installed .....

A ..... inch ..... sanitary sewer connection was made in .....

..... feet ..... of manhole .....

A ..... inch ..... storm sewer connection was made in .....

..... feet ..... of manhole .....

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
				10/1/05	ea		

Installation Approved ..... Application Approved ..... 20 .....

As Built .....

Water and Plumbing Inspector

### REMARKS

### DISCREPANCY RECORD

Receipt No: 1.014962

Sep 13, 2005

1030 E THORN LANE

LICENSES & PERMITS-ELECTRICAL PERMIT	50.00
24-44430 ELECTRICAL PERMIT	
LICENSES & PERMITS-PLUMBING PERMIT	50.00
24-44470 PLUMBING PERMIT	

Total:	<u>100.00</u>
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CHECK	Chk No: 28564	100.00
Total Applied:		<u>100.00</u>

Change Tendered:	<u>.00</u>
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Duplicate Copy

09/13/05 04:20pm

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT, WI 53217

414-351-8900



# VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.  
FOX POINT 53217  
414-351-8900

OFFICE USE ONLY	
Permit No.	179430
Received	9/14/05
Service	
Rough-If	19062
Final	

## APPLICATION FOR ELECTRICAL PERMIT

Date 8-23-05

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. \_\_\_\_\_

Builder <u>WIS. KITCHEN MART</u>	Owner <u>JOE BALISTRERI</u>	Occupant <u>SAME</u>
Job Address <u>1030 E. THORN LN FOX PT. 53217</u> <del>3601 W. WISCONSIA AVE MILWAUKEE WI 53208</del>		

ESTIMATED COST OF JOB <u>5500</u>	No.	Description	Qty.	Rate of Fees	Dollars	Cents
Buildings <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> New Construction <input type="checkbox"/> Additional Rooms <input checked="" type="checkbox"/> Remodeling <input type="checkbox"/> New Occupancy	1	Light, switch and convenience outlets	36	.35 ea	12	60
	2	Lighting Fixtures	9	.30 ea	2	70
	3	Fluorescent Fixtures - per tube		.30 ea		
	4	Range, Electric	1	4.00 ea	4	00
	5	Garbage Grinding and Disposal Unit	1	3.00 ea	3	00
	6	Dishwasher	1	4.00 ea	4	00
	7	Clothes Dryer		4.00 ea		
	8	Water Heaters, Electric		4.00 ea		
	9	Gas Burner, Oil Burner or Stoker		5.00 ea		
	10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
	11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
	12	Temporary Service Permit for: How Long?		10.00 ea		
	13	Services: Service Switches, ea.		5.00 ea		
		Service 1. 0 through 100 amps.		5.00 ea		
		2. 101 through 400 amps.		10.00 ea		
		3. 401 through 600 amps.		10.00 ea		
		4. 601 through 1000 amps.		15.00 ea		
		5. Thereafter, ea. additional 1000 amps.		5.00 ea		
	14	Motors over 1/4 HP		.30 per HP or frac		
	15	Fuel Dispensing Pumps		6.00 ea		
	16	Transformers, Rectifiers and Generators		.30 per KW		
	17	Space Heating Systems, per circuit		3.00 ea		
	18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
	19	2. Over 30 amps		5.00 ea		
	20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
	21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
	22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
	23	Swimming Pool Wiring: A. Inground pools		40.00		
	24	B. Above ground pools		25.00		
	25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
	26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea	50	00
	27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
	28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt #14962  
TOTAL FEES 50.00

**REMARKS:**

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:  
Treasurer, Village of Fox Point  
MAIL TO: Electrical Inspector

Contractor <u>WISCONSIN KITCHEN MART</u>	Supervising Electrician (Signature) 	Date <u>8-23-05</u>
Address <u>3601 W. WISCONSIA AVE</u>	Telephone <u>414-342-3300</u>	
City <u>MILWAUKEE</u>	State <u>WI</u>	Zip Code <u>53208</u>

Receipt No: 1.014962

Sep 13, 2005

1030 E THORN LANE

LICENSES & PERMITS-ELECTRICAL PERMIT	50.00
24-44430 ELECTRICAL PERMIT	
LICENSES & PERMITS-PLUMBING PERMIT	50.00
24-44470 PLUMBING PERMIT	

Total:	<u>100.00</u>
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CHECK	Chk No: 28564	100.00
Total Applied:		<u>100.00</u>

Change Tendered:	<u>.00</u>
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09/13/05 04:20pm

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT, WI 53217

414-351-8900

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.  
FOX POINT 53217  
414-351-8900

OFFICE USE ONLY

Permit No. 17450C  
Received 6/22/04  
Service \_\_\_\_\_  
Rough-in \_\_\_\_\_  
Final \_\_\_\_\_

APPLICATION FOR ELECTRICAL PERMIT

Date 6-22-04  
License No. 37

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder HENDERSON GROUP Owner JOSEPH BALISTRERI Occupant SAME AS OWNER  
Job Address 1030 E THORN LN.

ESTIMATED COST OF JOB	No.	Description	Qty.	Rate of Fees	Dollars	Cents
<u>2,000<sup>00</sup></u>	1	Light, switch and convenience outlets	<u>18</u>	.35 ea	<u>6</u>	<u>30</u>
	2	Lighting Fixtures	<u>10</u>	.30 ea	<u>3</u>	<u>00</u>
	3	Fluorescent Fixtures - per tube		.30 ea		
	4	Range, Electric		4.00 ea		
	5	Garbage Grinding and Disposal Unit		3.00 ea		
	6	Dishwasher		4.00 ea		
	7	Clothes Dryer		4.00 ea		
	8	Water Heaters, Electric		4.00 ea		
	9	Gas Burner, Oil Burner or Stoker		5.00 ea		
	10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
	11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
	12	Temporary Service Permit for: How Long?		10.00 ea		
	13	Services: Service Switches, ea.		5.00 ea		
		Service 1. 0 through 100 amps.		5.00 ea		
		2. 101 through 400 amps.		10.00 ea		
		3. 401 through 600 amps.		10.00 ea		
		4. 601 through 1000 amps.		15.00 ea		
		5. Thereafter, ea. additional 1000 amps.		5.00 ea		
	14	Motors over 1/4 HP		.30 per HP or frac		
	15	Fuel Dispensing Pumps		6.00 ea		
	16	Transformers, Rectifiers and Generators		.30 per KW		
	17	Space Heating Systems, per circuit		3.00 ea		
	18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
	19	2. Over 30 amps		5.00 ea		
	20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
	21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
	22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
	23	Swimming Pool Wiring: A. Inground pools		40.00		
	24	B. Above ground pools		25.00		
	25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
	26	MINIMUM CHARGE FOR ANY ONE PERMIT	<u>1</u>	50.00 ea	<u>50</u>	<u>00</u>
	27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
	28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 10790  
TOTAL FEES 50 00

- Buildings  Residential  
 Commercial  
 Industrial  
 Institutional  
 New Construction  
 Additional Rooms  
 Remodeling  
 New Occupancy

Where on Premises?  
Describe SUNROOM ADDN.

List Name of Installing Contractor  
HEATING \_\_\_\_\_  
AIR CONDITIONING \_\_\_\_\_  
PLUMBING \_\_\_\_\_

**Date of Inspection**  
 Rough \_\_\_\_\_ Will Call   
 Final \_\_\_\_\_ Will Call   
 Service Approval Sent \_\_\_\_\_

REMARKS:

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:  
Treasurer, Village of Fox Point  
MAIL TO: Electrical Inspector

Contractor LAKESIDE ELECTRIC INC. Supervising Electrician (Signature) Frank Hofman Date 6-22-04  
 Address 454 LAKE BLUFF LN. Telephone 262-377-5100  
 City GRAFTON State WI Zip Code 53024

Receipt No: 1.010790

Jun 22, 2004

1030 E THORN LANE

LICENSES & PERMITS-ELECTRICAL PERMIT	50.00
24-44430 ELECTRICAL PERMIT	

Total:	<u>50.00</u>
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CHECK	Chk No: 12634	50.00
Total Applied:		<u>50.00</u>

Change Tendered:	<u>.00</u>
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06/22/04 11:37am

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT, WI 53217

414-351-8900

13205

# 50. Receipt # 10755

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

No. 6273 C

# APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner  Type \_\_\_\_\_  
Forced Air, Radiant, Baseboard, Etc.

Fuel:  Gas  Oil  Coal  Elect.  Other \_\_\_\_\_

Desc. of Heating Plant \_\_\_\_\_

Vented to \_\_\_\_\_

Fuel Tank : \_\_\_\_\_  
Size \_\_\_\_\_ Location \_\_\_\_\_

Summer Air Conditioner  Size \_\_\_\_\_ (Ton, H.P.)

Coolant \_\_\_\_\_

Compressor Coolant: Air ; Water ;

If Water Cooled:  
Source of Water \_\_\_\_\_

Discharged to \_\_\_\_\_

*Sunroom  
finish only  
no equipment*

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

*min \$50<sup>ea</sup>*

Incinerator  Manufacturer's Name \_\_\_\_\_

Model No. \_\_\_\_\_ Capacity \_\_\_\_\_ Bushels

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? \_\_\_\_\_

Remarks \_\_\_\_\_

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Henderson Group

Address of Work 1030 E. Thorn Lane

OFFICE USE ONLY	
Application Approved:	Installation Approved:
<i>[Signature]</i>	

Thomas Teny (os)  
Signed  
6/10/04  
Date

Contractor **INTERSTATE HEATING CO., INC.**  
N53 W24950 South Corporate Circle

Address Sussex, WI 53089 Phone \_\_\_\_\_

City (262) 246-4772 • Fax (262) 246-0296 Zip Code \_\_\_\_\_

Receipt No: 1.010755

Jun 17, 2004

1030 E THORN

LICENSES & PERMITS-HEATING PERMIT	50.00
24-44450 HEATING PERMIT	

Total:	<u>50.00</u>
--------	--------------

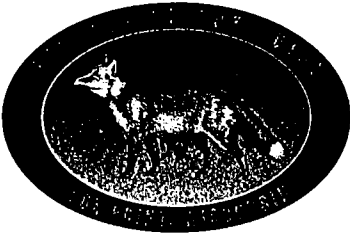
CHECK	Chk No: 19151	50.00
Total Applied:		<u>50.00</u>

Change Tendered:	<u>.00</u>
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06/17/04 09:12am

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT, WI 53217

414-351-8900



VILLAGE OF FOX POINT

MILWAUKEE COUNTY

WISCONSIN

VILLAGE HALL  
7200 N. SANTA MONICA BLVD.  
FOX POINT 53217-3505  
414-351-8900  
FAX 414-351-8909

Resident  
1030 Thorn Lane  
Fox Point, WI 53217

June 11, 2003

Dear Resident:

I am writing to you to ask for your permission for the Village of Fox Point to clean out storm inlets at the back of your property. These inlets are positioned at the bottom of what we refer to as the "Beach Hill Ravine".

The storm inlets are there to allow excess water to run into a storm sewer, which carries the water to Lake Michigan. Currently they are not working properly because they are covered with sediment. This could cause a problem for residents downstream if there are heavy rains.

In order to clean the storm inlets the Village must receive a permit from the DNR. One aspect of the permit is receiving permission from you to enter your property. We will access the storm inlets from Beach Hill.

If you have any questions please feel free to call Lindsay Kaufmann at 351-8900.

Your cooperation with this project is greatly appreciated. We look forward to hearing from you. Thank you.

Sincerely,

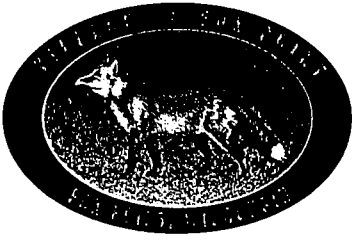
*Susan E. Robertson/cm*

Susan E. Robertson  
Village Manager

I will/will not allow the Village to clean out the storm inlets at the back of my property.

*[Signature]*  
(Signed) 1046 E. Thorn Lane

June 15, 2003  
(Date)



## VILLAGE OF FOX POINT

MILWAUKEE COUNTY  
WISCONSIN

VILLAGE HALL  
7200 N. SANTA MONICA BLVD.  
FOX POINT 53217-3505  
414-351-8900  
FAX 414-351-8909

Resident  
1030 Thorn Lane  
Fox Point, WI 53217

June 11, 2003

Dear Resident:

I am writing to you to ask for your permission for the Village of Fox Point to clean out storm inlets at the back of your property. These inlets are positioned at the bottom of what we refer to as the "Beach Hill Ravine".

The storm inlets are there to allow excess water to run into a storm sewer, which carries the water to Lake Michigan. Currently they are not working properly because they are covered with sediment. This could cause a problem for residents downstream if there are heavy rains.

In order to clean the storm inlets the Village must receive a permit from the DNR. One aspect of the permit is receiving permission from you to enter your property. We will access the storm inlets from Beach Hill.

If you have any questions please feel free to call Lindsay Kaufmann at 351-8900.

Your cooperation with this project is greatly appreciated. We look forward to hearing from you. Thank you.

Sincerely,

Susan E. Robertson  
Village Manager

I will/will not allow the Village to clean out the storm inlets at the back of my property.

\_\_\_\_\_  
(Signed) 10\_\_\_\_ E. Thorn Lane

June \_\_\_\_, 2003  
(Date)



**VILLAGE OF FOX POINT  
PROPERTY MAINTENANCE  
COMPLIANCE NOTICE**

Property Owner Joseph + Karen Balistreni  
Address 10306 Thorn Ln.

Date 5/28/03

The Village's goal is to inspect the exterior of all properties within the Village to ensure compliance with the Village's Property Maintenance Code. An inspection of your property has revealed that your property does not adhere to Village code in the following area(s):

<u>Description</u>	<u>Comments</u>
<input type="checkbox"/> Fences	
<input type="checkbox"/> Decks	
<input type="checkbox"/> Retaining Walls	
<input type="checkbox"/> Accessory Buildings	OK
<input type="checkbox"/> Dwelling Exterior	
<input type="checkbox"/> Litter	
<input type="checkbox"/> Grass	
<input type="checkbox"/> Dead Trees	
<input type="checkbox"/> Exterior Storage	
<input type="checkbox"/> Other	

Pursuant to section 33.7 of the Village code, the Village hereby requests that you bring the above referenced items into code compliance by \_\_\_\_\_. Please be aware that failure to comply with this notice will result in a citation to appear in municipal court.

Please feel free to contact Lindsay Kaufmann should you have any questions concerning this notice.

Sincerely,



Property Maintenance Inspector

Donovan

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.  
FOX POINT 53217  
414-351-8900

OFFICE USE ONLY	
Permit No.	16606C
Received	6/17/02
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 6/13/02  
License No. 42

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder	Owner <u>Joe Balistreni</u>	Occupant
Job Address <u>1030 E. Thorn Lane</u>		

ESTIMATED COST OF JOB

- Buildings  Residential  
 Commercial  
 Industrial  
 Institutional  
 New Construction  
 Additional Rooms  
 Remodeling  
 New Occupancy

Where on Premises?

Describe \_\_\_\_\_

List Name of Installing Contractor

HEATING \_\_\_\_\_

AIR CONDITIONING Donovan Jorgenson

PLUMBING \_\_\_\_\_

Date of Inspection	
Rough _____ Will Call <input type="checkbox"/>	
Final _____ Will Call <input type="checkbox"/>	
Service Approval Sent _____ <input type="checkbox"/>	

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, <u>Air Cooling</u> or similar machine - .25 per HP	<u>2</u>	5.00 min	<u>10</u>	<u>-</u>
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems; per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		40.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 4623

TOTAL FEES 40 -

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:  
Treasurer, Village of Fox Point  
MAIL TO: Electrical Inspector

Contractor <b>Walkowiak Electric Inc.</b> P.O. Box 210423	Supervising Electrician (Signature) <u>Jan Walker</u>	Date <u>6/13/02</u>
Address Milwaukee, WI 53221 (414) 294-4000	Telephone	
City Milwaukee, WI	State WI	Zip Code
Fax: (414) 744-2803		

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.004623

Jun 17, 2002

1030 E THORN LANE

LICENSES & PERMITS-ELECTRICAL PERMIT	40.00
10-44430 ELECTRICAL PERMIT	

Total:	<u>40.00</u>
--------	--------------

CHECK	Chk No: 2346	40.00
Total Applied:		<u>40.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

06/17/02 09:54am

# APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner  Type \_\_\_\_\_ Forced Air, Radiant, Baseboard, Etc.

Fuel:  Gas  Oil  Coal  Elect.  Other \_\_\_\_\_

Desc. of Heating Plant \_\_\_\_\_

Vented to \_\_\_\_\_

Fuel Tank : \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Summer Air Conditioner  Size 2 1/2 TON (Ton, H.P.)

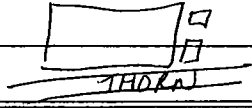
Coolant LENNOX HS29-030 AC 2 1/2 TON

Compressor Coolant: Air ; Water ;

If Water Cooled:  
Source of Water \_\_\_\_\_

Discharged to \_\_\_\_\_

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.



Incinerator  Manufacturer's Name \_\_\_\_\_

Model No. \_\_\_\_\_ Capacity \_\_\_\_\_ Bushels \_\_\_\_\_

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? \_\_\_\_\_

Remarks \_\_\_\_\_

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner BALISTRERI, JOE

\$20.00

Address of Work 1030 E. THORN LANE

**OFFICE USE ONLY**  
Application Approved: [Signature]  
Installation Approved: \_\_\_\_\_

[Signature] Signed  
6/7/02 Date

Contractor DONOVAN & JORGENSEN INC.  
Heating & Cooling

Address 16935 Greenfield Ave. Phone \_\_\_\_\_

City New Berlin, Wisc. 53151 State \_\_\_\_\_ Zip Code \_\_\_\_\_

Phone 784-6440

Receipt No: 1.004644

Jun 19, 2002

1030 E THORN

LICENSES & PERMITS-HEATING PERMIT	40.00
10-44450 HEATING PERMIT	

Total:	<u>40.00</u>
--------	--------------

CHECK	Chk No: 039286, 0392	40.00
Total Applied:		<u>40.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

06/19/02 01:15pm

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT, WI 53217

414-351-8900

#160 F.F. Receipt # 32064

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

No. 11076

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE  
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1030 EAST THORN LANE

Lot ..... Block .....

Subdivision .....

District .....

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish .....  
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms ..... Baths.....

Garage 2.....

X Estimated cost Building \$ 55,000  
Structure.....

Is there a private garage? Yes.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size..... Number of stalls.....

Where situated .....

General construction .....  
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? .....

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? .....

Herewith are filed the following duplicate plans..... in number, which I certify I will conform to in the work hereby applied for.

X Remarks: RAISING ROOF OVER GARAGE TO CREATE A PLAYROOM

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

X Owner of Structure M/M J. BALISTRERI Arch or Contr. EDM. A. SUCHORSKI

Address 1030 E THORN LANE Address 5118 N. NAVAJO RD

City FOX POINT WI 53217 City FOX POINT WI 53217  
State Zip State Zip

Phone ? Phone 352-2115

Size of Structure.....(sq. ft.) Permit Fee \$315.00 herewith tendered Receipt # 34547

Date Submitted.....  
Date Approved.....  
Date of Permit.....

X Signed [Signature]  
Architect, Owner, Builder

Customer Service Center  
 Safety and Buildings Division  
 201 W Washington Ave, 4th floor  
 PO Box 7082  
 Madison WI 53707-7082  
 Phone: (608) 261-8500  
 TDD: (608) 264-8777  
 Fax: (608) 267-0592

MARK A BRICK  
 B & E GENERAL CONTRACTORS INC  
 9049 NORTH LAKE DR  
 MILWAUKEE WI 53217

## This is your Certification, License, or Registration Card.

Id:	
2683	
B & E GENERAL CONTRACTORS INC	
Certification, License, or Registration Name	Expires
Dwelling Contractor Financial Responsibility Certification	04/18/01
Wisconsin Department of Commerce	
Signature:	

### Cut around the card to remove it. Sign the card.

The card should be signed by the applicant. If desired, you may apply a protective plastic laminate (available at some stores) to the card. Present the card to whomever requests proof of issuance.

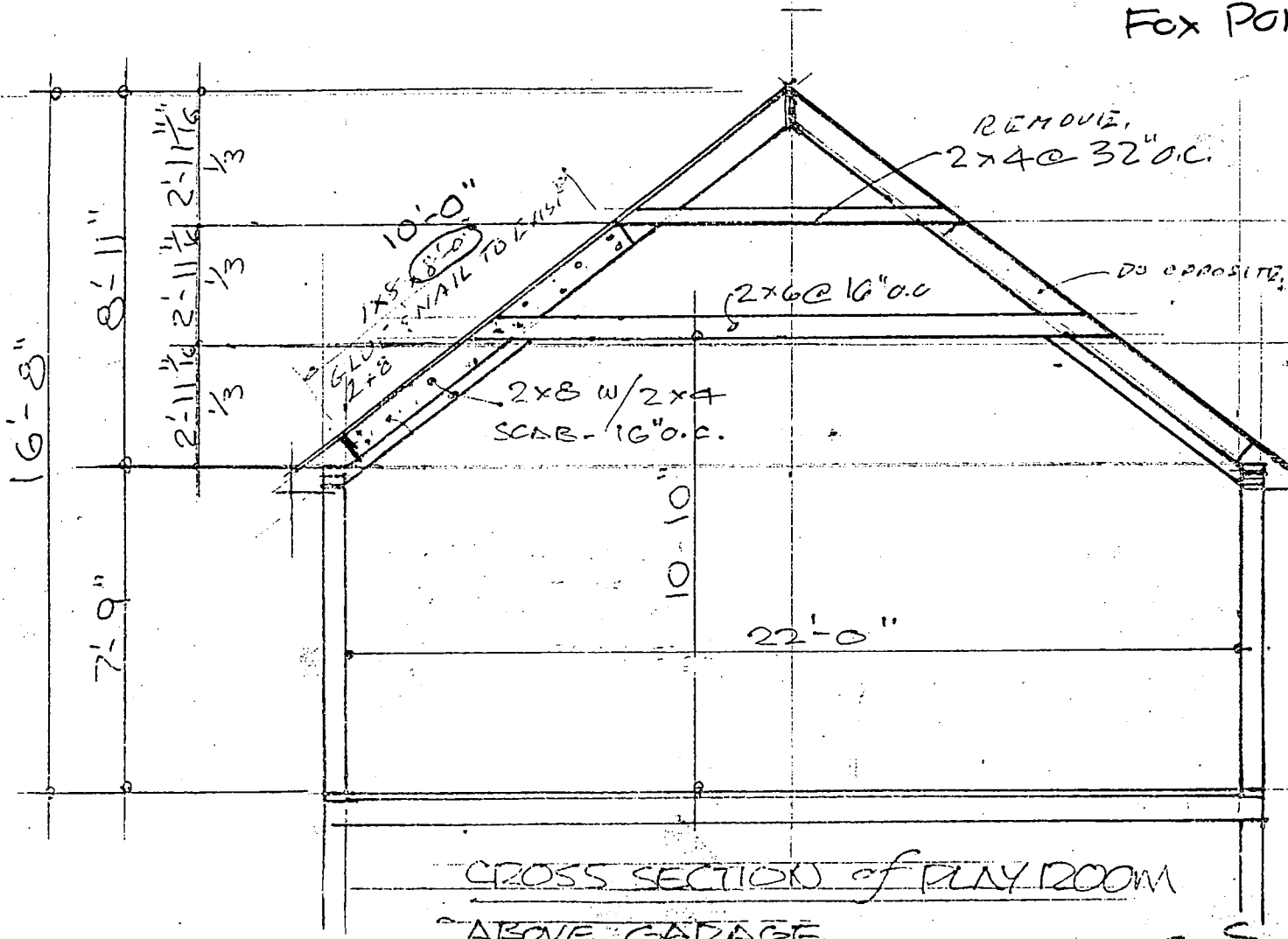
This card should indicate other Department of Commerce certifications, licenses, or registrations currently held. Destroy all previous cards that have a certification, license, or registration category which also appears on this card. Please review categories specified on the card. If errors or discrepancies are found, please contact the Customer Service Center (CSC), 608-261-8500. Be prepared to give the CSC representative the Id number printed on the card. The CSC should also be notified of changes in addresses as they occur. Notification to the CSC of address changes is the responsibility of the certification, license, or registration holder.

A renewal notice will be sent to the last address on file with the CSC at least 30 days before the expiration date of each certification, license, or registration indicated on the card. Renewals are contingent upon compliance with the requirements specified in Comm 5, Wisconsin Administrative Code.

The Department of Commerce is an equal opportunity service provider and employer. If you need assistance to access services or need material in an alternate format, please contact the department at 608-266-3151 or TDD 608-264-8777.

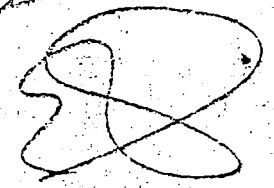
SBD-10183 (R.10/98)

RE: BALISTERI RES  
1030 E THORN LN  
FOX POINT



CROSS SECTION of PLAY ROOM  
ABOVE GARAGE

BALISTERIE S  
9-19-2000





Hello Chuck,

Please find the attached calculations for the Suchorski Roof Modification.

The results of the engineering study are as follows:

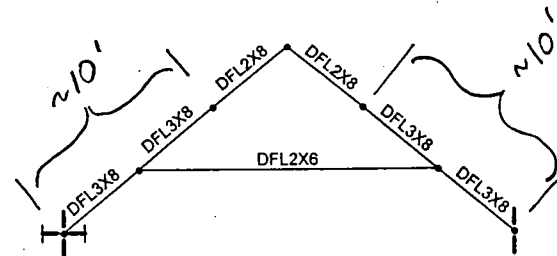
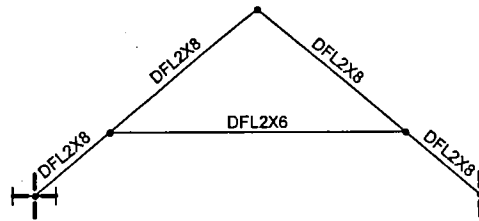
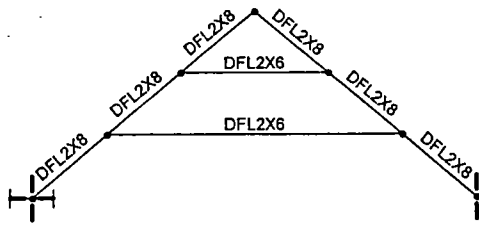
- 1) The rafters are over stressed due to the cantilever extension created by moving the joists up. These can be reinforced by gluing and nailing 1x8 pine boards to the sides of the existing rafters. The glue should be applied to both the rafter and the board with a brush. The 1x8 should be nailed tight to the existing rafter so as to provide clamping action.
- 2) The 2x6 collars stiffen the roof joist's, but also double the force on the lower joist/rafter connection. If these are not removed the lower connections are overstressed by a factor of 2. The lower connection is 200% overstressed on the trusses that have 2x6 collar stiffeners. It is therefore recommended that the collars be removed instead of doubling the capacity of the existing lower connection.
- 3) The joist/rafter connections are just adequate assuming that the existing (6) - 75mm-Clevis-Fastener are equivalent to a 10 penny nails and the 2x6 collars have been removed.
- 4) If possible it would be a good idea to increase the connection capacity by adding up to 2 screws. These should be started on the side of the 1x8 reinforcement and be long enough to fully penetrate the horizontal joist.

Mark  
10/03/00

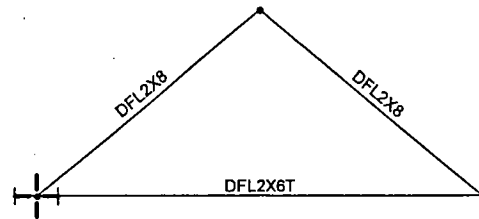


Charles H.  
10/12/00

The seal is circular with the text "PROFESSIONAL ENGINEER" around the perimeter and "STATE OF NEW YORK" at the bottom. The center of the seal contains the name "Charles H." and the date "10/12/00".



Reinforced.



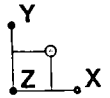
Klug & Smith

Darwin

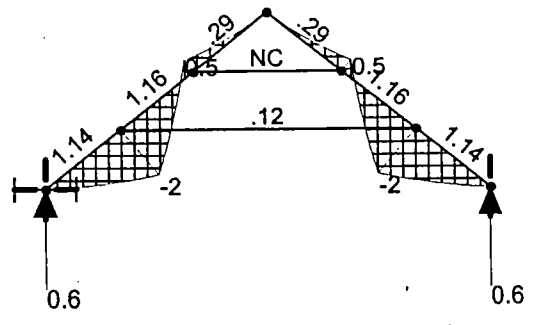
October 3, 2000

3:04 PM

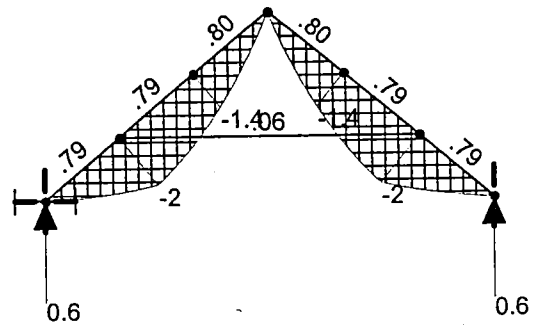
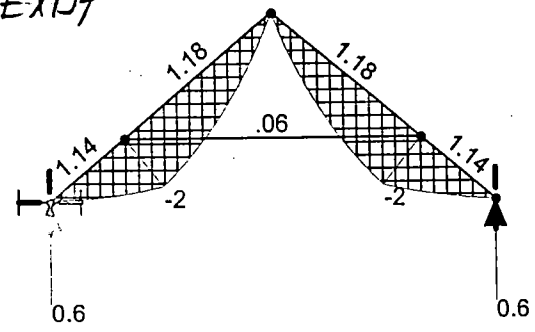
Roof Truss.r3d



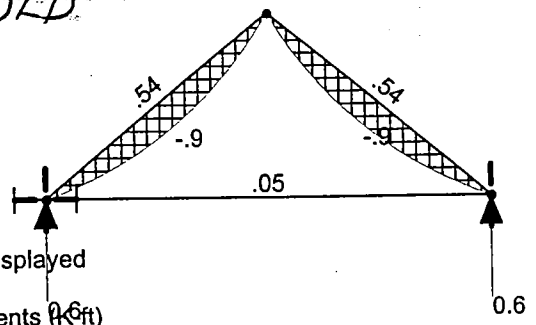
EXIST + COLLAR



EXIST



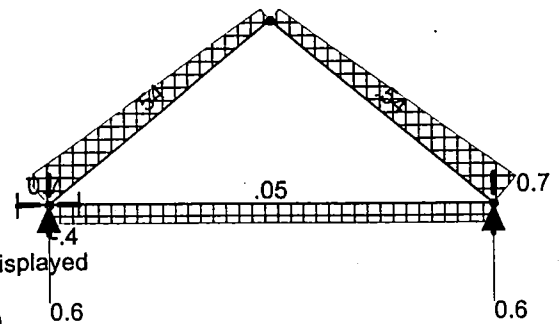
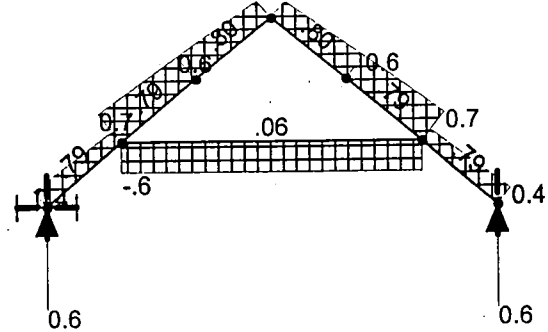
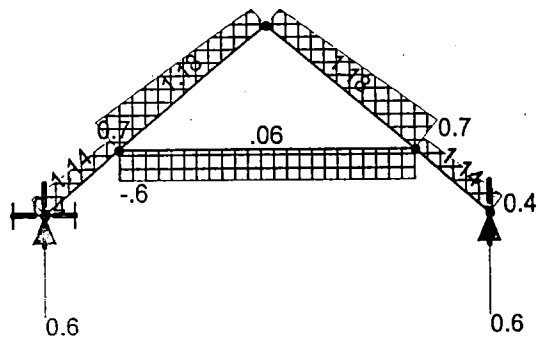
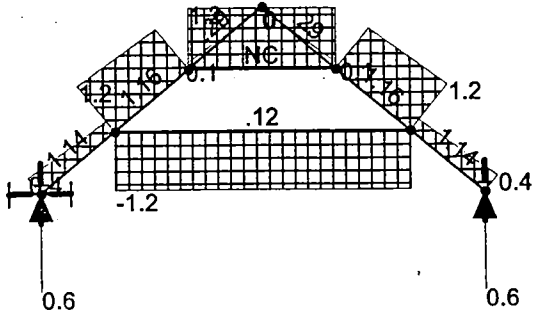
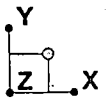
OLD



Reinforced  
Unity check

Member Code Checks Displayed  
Solution: LC 1, DL+SL  
Member z Bending Moments (K-ft)  
Reaction units are K and K-ft

Klug & Smith		October 3, 2000
Darwin		2:57 PM
		Roof Truss.r3d



*Reinforced  
No change, As expected  
in axial  
force.*

Member Code Checks Displayed  
Solution: LC 1, DL+SL  
Member Axial Forces (K)  
Reaction units are K and K-ft

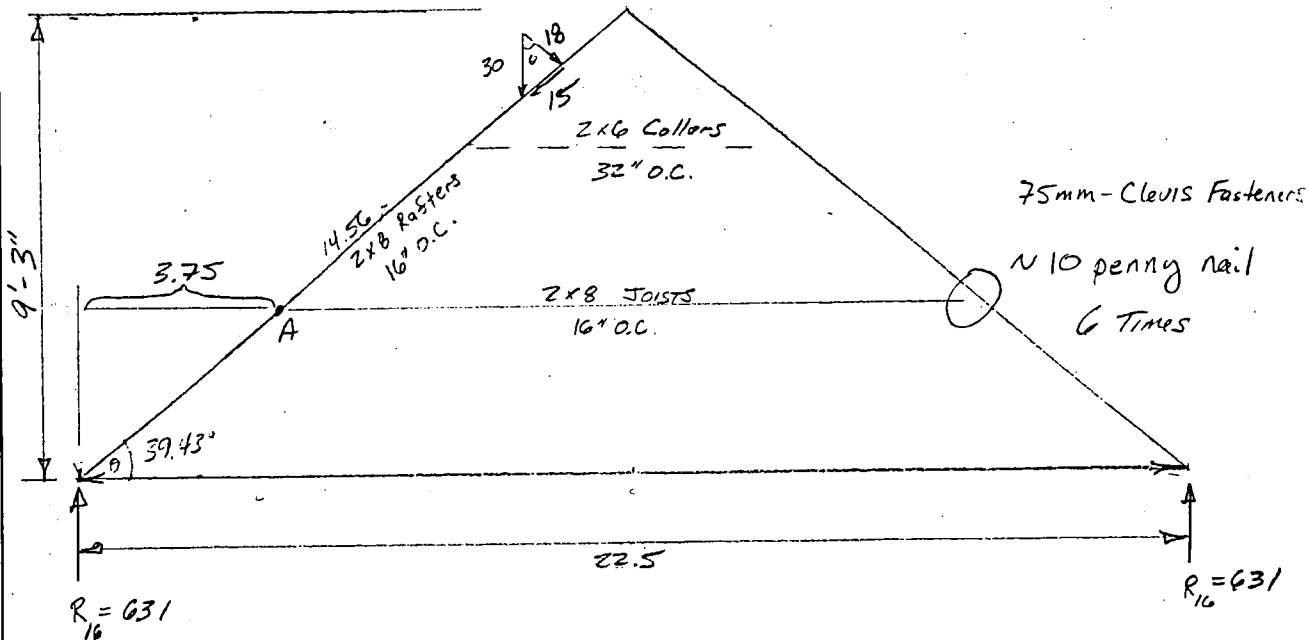
Klug & Smith		October 3, 2000
Darwin		3:02 PM
		Roof Truss.r3d

# KLUG & SMITH CO.

SUBJECT SUCHORSKI ROOF MODIFICATIONS BY MSV DATE \_\_\_\_\_ SHT. NO. \_\_\_\_\_

CHKD. BY \_\_\_\_\_ DATE \_\_\_\_\_ JOB NO. \_\_\_\_\_

ROOF DL	Shingles = 2	ROOF LL	Snow = 30 psf
	plywood = 1.5		
	Framing = 3.0		
	Insulation = 0.5		
	Misc = $\frac{2.0}{9.0}$		



$$\left(\frac{11.25}{14.56}\right)^2 \times 30 = 18 \text{ psf/ft in.}$$

$$\left(\frac{9.25}{14.56}\right) \left(\frac{11.25}{14.56}\right) 30 = 15 \text{ psf/ft along.}$$

OR

$$30 \times 11.25 + 9 \times 14.56 = 473 \text{ \#}$$

$$R = \left[ (18 \times 14.6)^2 + (15 \times 14.6)^2 \right]^{1/2} + 9 \times 14.6 = 473 \text{ \#} \quad ; \quad R_{16} = 473 \times \frac{16}{12} = \underline{\underline{631 \text{ \#}}}$$

$$M_A = 631 \times 3.75 - \left[ \left(27 \times \frac{16}{12}\right) \frac{14.6}{3} \times \frac{1}{2} \times \frac{14.6}{3} \right] = 1939 \text{ \#}$$

$$F_A = 631 \times \frac{9.25}{14.56} = 401 \text{ \#}$$

Properties

2x8

$$A = 10.88$$

$$S_x = 13.42$$

# KLUG & SMITH CO.

SUBJECT SUCHORSKI ROOF MOD. BY ASU DATE \_\_\_\_\_ SHT. NO. \_\_\_\_\_

CHKD. BY \_\_\_\_\_ DATE \_\_\_\_\_ JOB NO. \_\_\_\_\_

DFL No. 1  $F_b = 1000 \text{ psi}$

$$F_b' = F_b (C_D)^{1.15} (C_M) (C_t) (C_L)^{1.2} (C_F) (C_r)^{1.15} = 1.587 F_b$$

$$F_b' = 1000(1.587) = 1587 \text{ psi}$$

$$S_b = \frac{M}{S} = \frac{1939 \times 12}{13.44} = 1731 \text{ psi} > 1587 \text{ N.G.}$$

$$\frac{1731}{1587} = 1.091 \sim 1.14 \text{ w/ Comp Comp.}$$

Conclusion: ① TRUSS IS CURRENTLY OVERSTRESSED AND SHOULD BE REINFORCED TO MEET CODE.

## SOLUTION

Add 1" board  
leins.

$$F_b' = 1587 \times \frac{1.5 + 0.75}{1.5} = 1587 [1.5] = 2380 > 1731 \text{ psi} \checkmark$$

1" x 8" DFL  
~ 10' long, Apply Wood Glue to both surfaces  
Screw or nail tight

KLUG & SMITH CO.

SUBJECT SUCHORSKI roof mbrs BY MSV DATE \_\_\_\_\_ SHT. NO. \_\_\_\_\_  
Connections CHKD. BY \_\_\_\_\_ DATE \_\_\_\_\_ JOB NO. \_\_\_\_\_

10 penny nail  $\Rightarrow D = 0.128$ ,  $Z = 93$  lbs, DFL

$$12(0.128) = 1.54 \left[ \frac{75 \text{ mm}}{25.4 \text{ mm/in}} - 1/2 \right] = 1.453 = \phi$$

$$C_d = \frac{1.453}{1.54} = 0.944$$

$$C_D = 1.15$$

$$Z' = Z \times C_D \times C_d = 93 \times 1.15 \times 0.944 = 101 \#$$

$$P_{all} = C \times 101 \# = 606 \# > 0.6K \text{ reqd. } \sqrt{0.05}$$

606#  $\neq$  1.2K reqd @ Collard Trusses. ? N.G.

**TABLE 4A — BASE DESIGN VALUES FOR VISUALLY GRADED DIMENSION LUMBER**  
 (All species except Southern Pine — see Table 4B)

(Tabulated design values are for normal load duration and dry service conditions.  
 See NDS 2.3 for a comprehensive description of design value adjustment factors.)

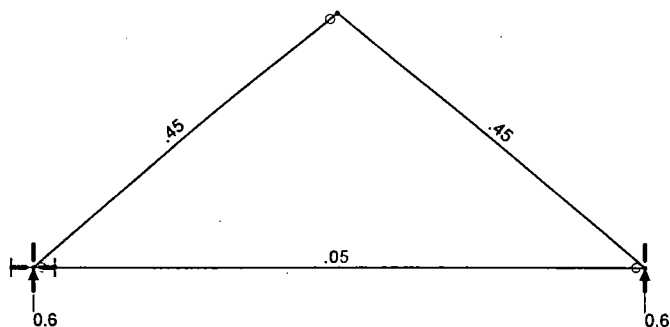
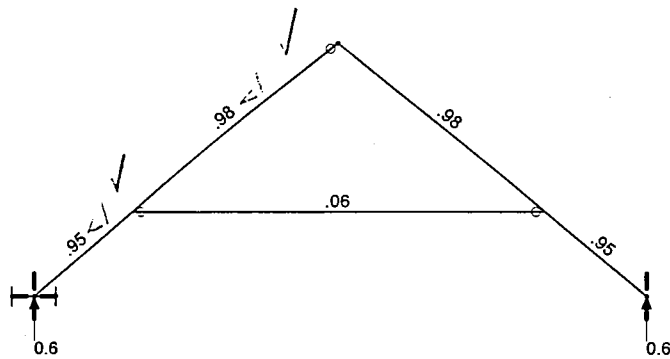
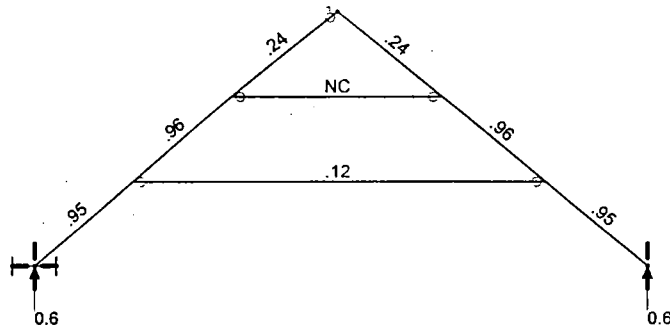
**USE WITH TABLE 4A ADJUSTMENT FACTORS**

Species and commercial grade	Size classification	Design values in pounds per square inch (psi)						Grading Rules Agency
		Bending $F_b$	Tension parallel to grain $F_t$	Shear parallel to grain $F_v$	Compression perpendicular to grain $F_{c\perp}$	Compression parallel to grain $F_c$	Modulus of Elasticity $E$	
<b>DOUGLAS FIR-LARCH</b>								
Select Structural	2"-4"thick	1450	1000	95	625	1700	1,900,000	WCLIB WWPA
No.1 & Btr		1150	775	95	625	1500	1,800,000	
No.1	2"& wider	1000	675	95	625	1450	1,700,000	
No.2		875	575	95	625	1300	1,600,000	
No.3		500	325	95	625	750	1,400,000	
Stud		575	350	95	625	825	1,400,000	
<b>DOUGLAS FIR-LARCH (NORTH)</b>								
Select Structural	2"-4"thick	1300	800	95	625	1900	1,900,000	NLGA
No.1/No.2	2"& wider	825	500	95	625	1350	1,600,000	
No.3		475	300	95	625	775	1,400,000	
Stud		575	375	95	625	850	1,400,000	
<b>DOUGLAS FIR-SOUTH</b>								
Select Structural	2"-4"thick	1300	875	90	520	1550	1,400,000	WWPA
No.1		900	600	90	520	1400	1,300,000	
No.2	2"& wider	825	525	90	520	1300	1,200,000	
No.3		475	300	90	520	750	1,100,000	
No.3		550	425	90	520	825	1,100,000	
Stud		550	425	90	520	825	1,100,000	
<b>EASTERN HEMLOCK-TAMARACK</b>								
Select Structural	2"-4"thick	1250	575	85	555	1200	1,200,000	NELMA NSLB
No.1		775	350	85	555	1000	1,100,000	
No.2	2"& wider	575	275	85	555	825	1,100,000	
No.3		350	150	85	555	475	900,000	
No.3		550	400	85	555	525	900,000	
Stud		550	400	85	555	525	900,000	
<b>EASTERN SOFTWOODS</b>								
Select Structural	2"-4"thick	1250	575	70	335	1200	1,200,000	NELMA NSLB
No.1		775	350	70	335	1000	1,100,000	
No.2	2"& wider	575	275	70	335	825	1,100,000	
No.3		350	150	70	335	475	900,000	
No.3		550	400	70	335	525	900,000	
Stud		550	400	70	335	525	900,000	
<b>EASTERN WHITE PINE</b>								
Select Structural	2"-4"thick	1250	575	70	350	1200	1,200,000	NELMA NSLB
No.1		775	350	70	350	1000	1,100,000	
No.2	2"& wider	575	275	70	350	825	1,100,000	
No.3		350	150	70	350	475	900,000	
No.3		550	400	70	350	525	900,000	
Stud		550	400	70	350	525	900,000	
<b>HEM-FIR</b>								
Select Structural	2"-4"thick	1400	900	75	405	1500	1,600,000	WCLIB WWPA
No.1 & Btr		1050	700	75	405	1350	1,500,000	
No.1	2"& wider	950	600	75	405	1300	1,500,000	
No.2		850	500	75	405	1250	1,300,000	
No.3		500	300	75	405	725	1,200,000	
No.3		875	600	75	405	800	1,200,000	





DOUGLAS FIR LARCH, No.1  
W)  $E_L$  INCREASED TO 1200 PSI



Member Code Checks Displayed  
Solution: LC 1, DL+SL  
Reaction units are K and K-ft

Klug & Smith

Darwin

September 14, 2000

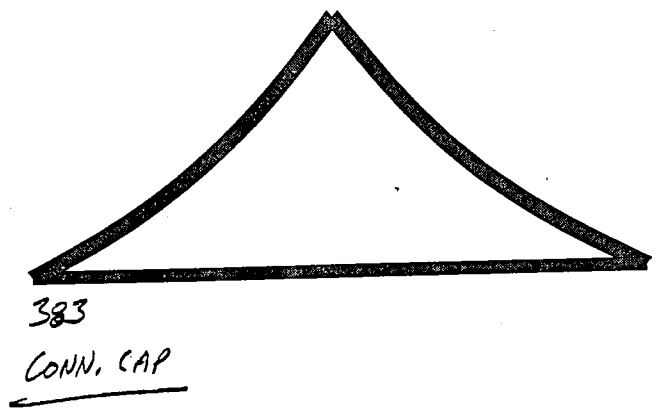
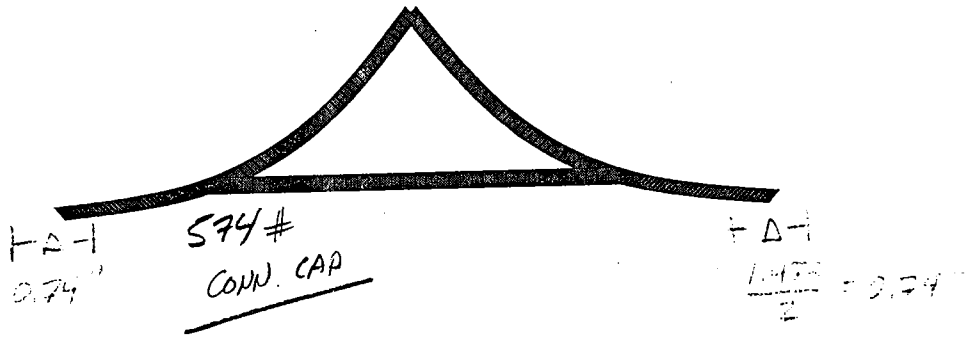
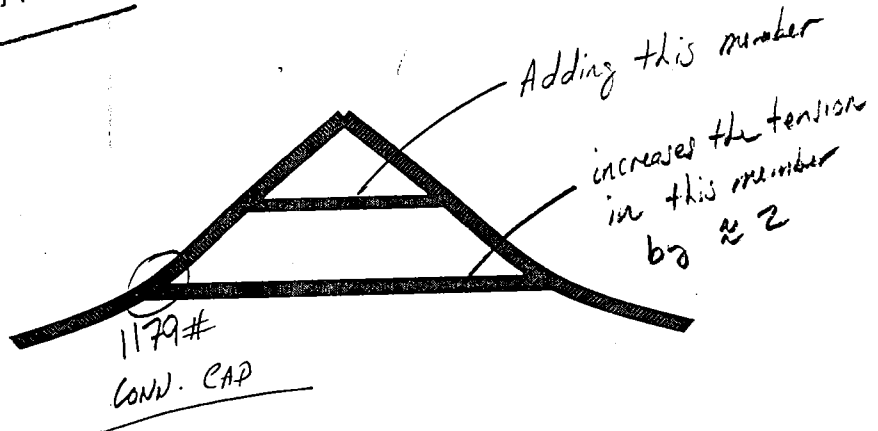
4:29 AM

Roof Truss.r3d

10



ASSUMED  
CONN. CAPACITIES



Solution: LC 1, DL+SL

Klug & Smith

Darwin

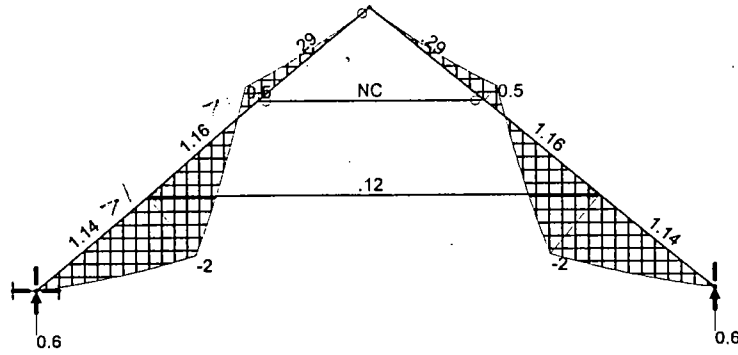
September 14, 2000

4:09 AM

Roof Truss.r3d

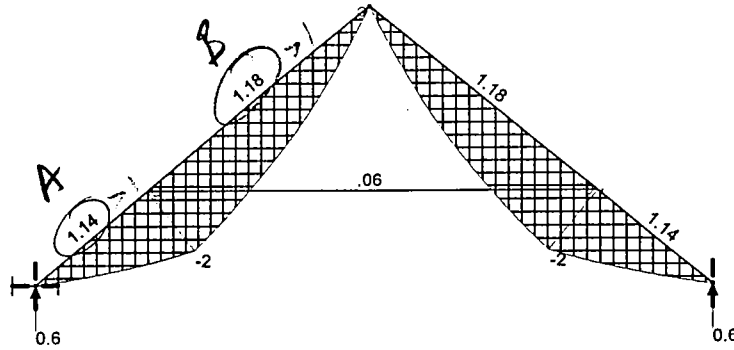
**Joint Displacements, LC 1 : DL+SL**

Joint Label	X Translation (In)	Y Translation (In)	Z Translation (In)	X Rotation (radians)	Y Rotation (radians)	Z Rotation (radians)
N6	0.000	0.000	0.000	0.000	0.000	-0.008
N7	0.004	-0.012	0.000	0.000	0.000	-0.008
N8	0.007	0.000	0.000	0.000	0.000	0.008
N4	0.000	0.000	0.000	0.000	0.000	-0.023
N5	0.739	-0.901	0.000	0.000	0.000	-0.008
N6A	1.478	0.000	0.000	0.000	0.000	0.023
N7A	0.000	0.000	0.000	0.000	0.000	-0.015
N8A	0.441	-0.541	0.000	0.000	0.000	0
N9	0.882	0.000	0.000	0.000	0.000	0.015
N16	0.742	-0.892	0.000	0.000	0.000	0.014
N17	0.736	-0.892	0.000	0.000	0.000	-0.014
N18	0.447	-0.528	0.000	0.000	0.000	0.006
N19	0.437	-0.546	0.000	0.000	0.000	-0.001
N20	0.435	-0.528	0.000	0.000	0.000	-0.006
N21	0.445	-0.546	0.000	0.000	0.000	0.001



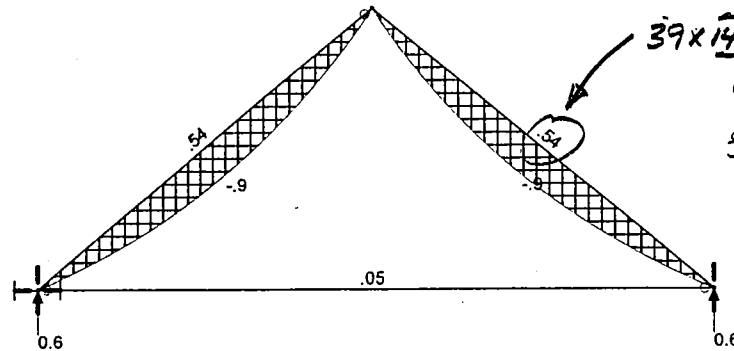
NEW DESIGN

OVER STRESSED



OLD DESIGN

ORG. DESIGN RATIONAL



$$39 \times \frac{14.56^2}{8} = 1033 \text{ k}$$

$$S_b = \frac{1033 \times 12}{13.44} = 923$$

$$923 < 1000 \checkmark$$

Member Code Checks Displayed  
 Loads: LC 7,  
 Solution: LC 1, DL+SL  
 Member z Bending Moments (K-ft)  
 Reaction units are K and K-ft

Klug & Smith

Darwin

September 14, 2000

3:20 AM

Roof Truss.r3d

Member: **M6**

Shape: **DFLARNO1\_2X8**

Length: **4.865 Ft**

I Nbde: **N4**

J Node: **N17**

LC 1: **DL+SL**

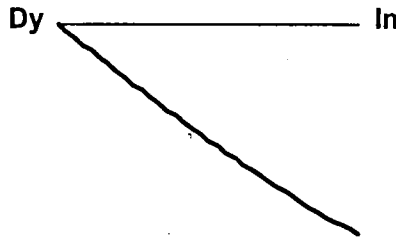
Max Code Check: **1.139**

*A COMP*

Max: **0.402** at 0 Ft



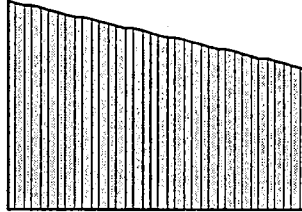
A **K**  
Min: **0.268** at 4.865 Ft



Dy **In**  
Min: **-1.157** at 4.865 Ft

Dz **In**

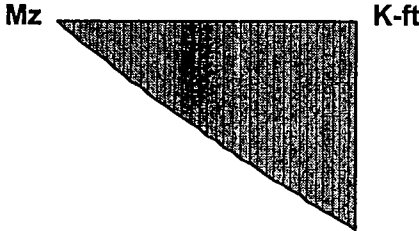
Max: **0.486** at 0 Ft



Vy **K**  
Min: **0.325** at 4.865 Ft

Vz **K**

T **K-ft**



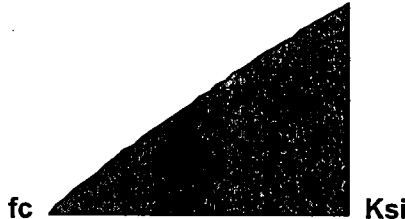
Mz **K-ft**  
Min: **-1.973** at 4.865 Ft

My **K-ft**

Max: **0.037** at 0 Ft

fa **Ksi**  
Min: **0.025** at 4.865 Ft

Max: **1.802** at 4.865 Ft



fc **Ksi**

ft **Ksi**

Min: **-1.802** at 4.865 Ft

**NDS (1991) Code Check**

Max Code Check **1.139** *A*  
Location **4.865 Ft**  
Equation **3.9-3**

Max Shear Check **0.491 (y)**  
Location **0 Ft**  
Max Defl Ratio **L/847**

CD **1.15** RB **0** CH **1** CL **1**  
Cr **1.15** ~~Cfu 1.16~~ Cf **1** CP **0.947**

	(Ksi)	Cm	Ct	CF
Fc'	1.716	1	1	1.05
Ft'	0.932	1	1	1.2
Fb1'	1.587	1	1	1.2
Fb2'	1.587	1	1	1.2
Fv'	0.109	1	1	
E'	1700	1	1	

Lb **0 Ft** Z-Z **4.865 Ft**  
le/d **0** **8.053**  
Sway **No** **No**  
Le-Bending **0 Ft**

Member: **M6**

Shape: **DFLARNO1\_2X8**

Length: **4.865 Ft**

I Node: **N4**

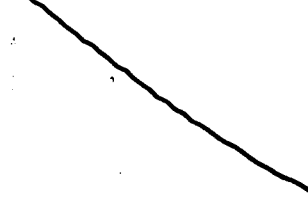
J Node: **N17**

LC 1: **DL+SL**

Max Code Check: **0.854**

*B Com*

Dy \_\_\_\_\_ In



Min: **-0.867 at 4.865 Ft**

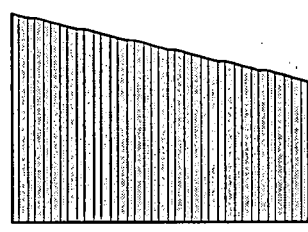
Dz \_\_\_\_\_ In

Max: **0.302 at 0 Ft**



A \_\_\_\_\_ K  
Min: **0.201 at 4.865 Ft**

Max: **0.365 at 0 Ft**



Vy \_\_\_\_\_ K  
Min: **0.244 at 4.865 Ft**

Vz \_\_\_\_\_ K

T \_\_\_\_\_ K-ft

Mz \_\_\_\_\_ K-ft



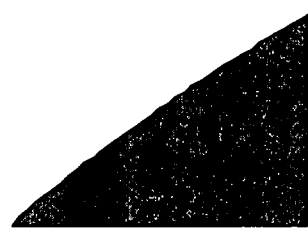
Min: **-1.48 at 4.865 Ft**

My \_\_\_\_\_ K-ft

Max: **0.028 at 0 Ft**

fa \_\_\_\_\_ Ksi  
Min: **0.018 at 4.865 Ft**

Max: **1.352 at 4.865 Ft**



fc \_\_\_\_\_ Ksi

ft \_\_\_\_\_ Ksi

Min: **-1.352 at 4.865 Ft**

**NDS (1991) Code Check**

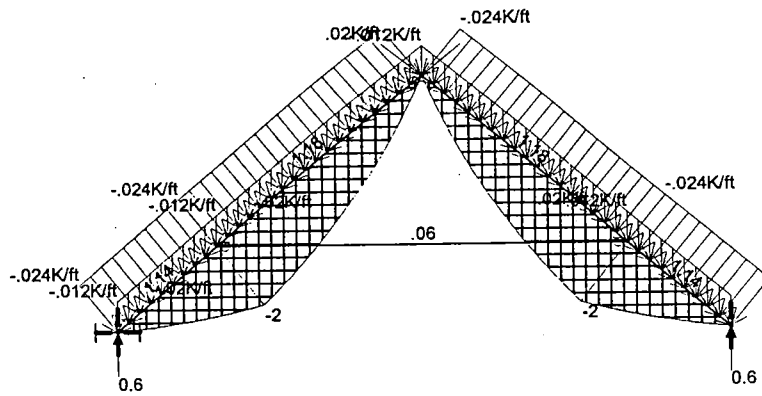
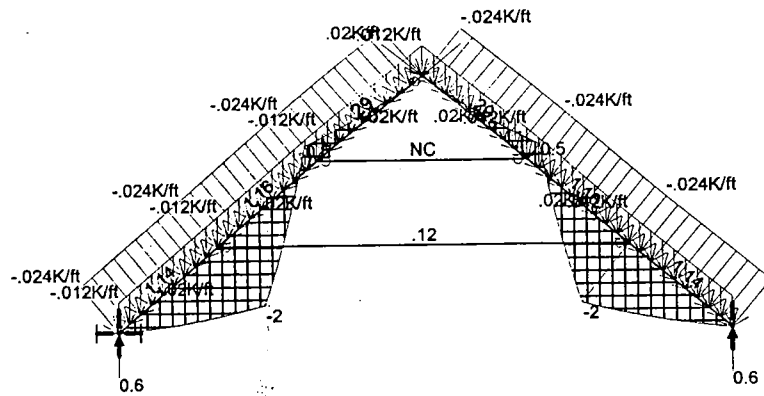
Max Code Check **0.854**  
Location **4.865 Ft**  
Equation **3.9-3**

Max Shear Check **0.369 (y)**  
Location **0 Ft**  
Max Defl Ratio **L/1129**

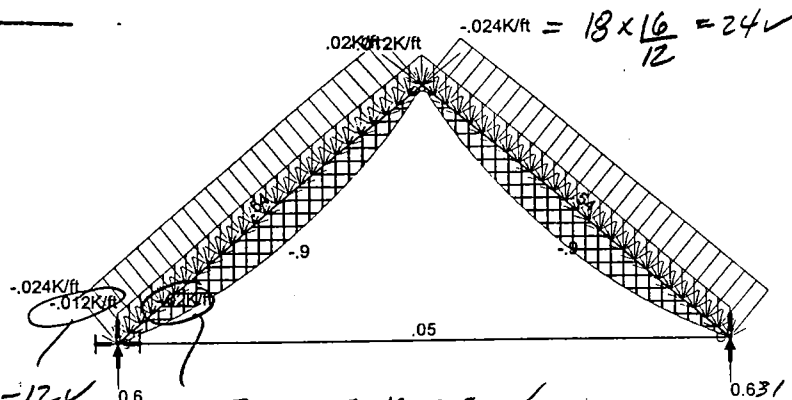
CD **1.15** RB **0** CH **1** CL **1**  
Cr **1.15** Cfu **1.15** Cf **1** CP **0.947**

	(Ksi)	Cm	Ct	CF
Fc'	1.716	1	1	1.05
Ft'	0.932	1	1	1.2
Fb1'	1.587	1	1	1.2
Fb2'	1.587	1	1	1.2
Fv'	0.109	1	1	
E'	1700	1	1	

Lb **0 Ft** Z-Z **4.865 Ft**  
le/d **0** **8.053**  
Sway **No** **No**  
Le-Bending **0 Ft**



CHECK LOADS



Member Code Checks Displayed  
 Loads: LC 1, DL+SL  
 Solution: LC 1, DL+SL  
 Member z Bending Moments (K-ft)  
 Reaction units are K and K-ft

Klug & Smith

Darwin

September 14, 2000

3:29 AM

Roof Truss.r3d

**Reactions, LC 1 : DL+SL**

Joint Label	X Force (K)	Y Force (K)	Z Force (K)	X Moment (K-ft)	Y Moment (K-ft)	Z Moment (K-ft)
N6	0.000	0.631	0.000	NC	0.000	0.000
N8	0.000	0.631	0.000	0.000	0.000	0.000
N4	0.000	0.631	0.000	NC	0.000	0.000
N6A	0.000	0.631	0.000	0.000	0.000	0.000
N7A	0.000	0.631	0.000	NC	0.000	0.000
N9	0.000	0.631	0.000	0.000	0.000	0.000
Reaction Totals :	0.000	3.787	0.000			

Center of Gravity Coords (X,Y,Z) (Ft) :

11.25	24.65	0.000
-------	-------	-------



Member: **M8**

Shape: **DFLARNO1\_2X6**

Length: **22.5 Ft**

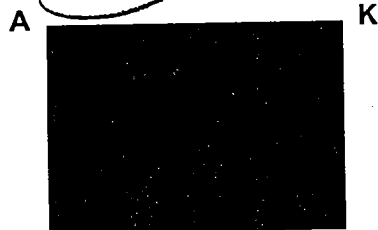
I Node: **N6**

J Node: **N8**

LC 1: **DL+SL**

Max Code Check: **0.046**

Max: **-0.383 at 0 Ft**



Dy \_\_\_\_\_ In

Dz \_\_\_\_\_ In

Vy \_\_\_\_\_ K

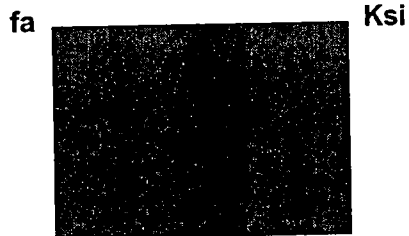
Vz \_\_\_\_\_ K

T \_\_\_\_\_ K-ft

Mz \_\_\_\_\_ K-ft

My \_\_\_\_\_ K-ft

Max: **-0.046 at 0 Ft**



fc \_\_\_\_\_ Ksi

ft \_\_\_\_\_ Ksi

### NDS (1991) Code Check

Max Code Check **0.046**

Location **0 Ft**

Equation **3.9-1**

Max Shear Check **0.000 (z)**

Location **0 Ft**

Max Defl Ratio **L/10000**

CD **1.15**

RB **25.69**

CH **1**

CL **0.682**

Cr **1**

Cfu **1.15**

Cf **1**

CP **0.008**

	(Ksi)	Cm	Ct	CF
Fc'	0.016	1	1	1.1
Ft'	1.009	1	1	1.3
Fb1'	1.019	1	1	1.3
Fb2'	1.719	1	1	1.3
Fv'	0.109	1	1	
E'	1700	1	1	

	Y-Y	Z-Z
Lb	22.5 Ft	22.5 Ft
le/d	180	49.091
Sway	No	No

Le-Bending **22.5 Ft**

Member: **M16**

Shape: **DFLARNO1\_2X8**

Length: **15 Ft**

I Node: **N17**

J Node: **N16**

LC 1: **DL+SL**

Max Code Check: **0.057**

*B ten*

Max: **-0.892 at 15 Ft**

Dy \_\_\_\_\_ In

Dz \_\_\_\_\_ In

Min: **-0.892 at 0 Ft**

Max: **-0.574 at 0 Ft**

A



K

Vy \_\_\_\_\_ K

Vz \_\_\_\_\_ K

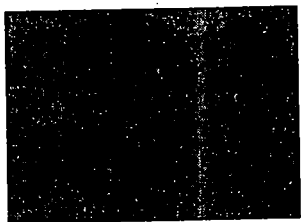
T \_\_\_\_\_ K-ft

Mz \_\_\_\_\_ K-ft

My \_\_\_\_\_ K-ft

Max: **-0.053 at 0 Ft**

fa



Ksi

fc \_\_\_\_\_ Ksi

ft \_\_\_\_\_ Ksi

### NDS (1991) Code Check

Max Code Check **0.057**

Location **0 Ft**

Equation **3.9-1**

Max Shear Check **0.000 (z)**

Location **0 Ft**

Max Defl Ratio **L/10000**

CD **1.15** RB **24.083** CH **1**

CL **0.718**

Cr **1.15** Cfu **1.15** Cf **1**

CP **0.019**

	(Ksi)	Cm	Ct	CF
Fc'	0.035	1	1	1.05
Ft'	0.932	1	1	1.2
Fb1'	1.139	1	1	1.2
Fb2'	1.587	1	1	1.2
Fv'	0.109	1	1	
E'	1700	1	1	

Lb **15 Ft** Y-Y **15 Ft** Z-Z  
 le/d **120** **24.828**  
 Sway **No** **No**  
 Le-Bending **15 Ft**

Member: **M22**

Shape: **DFLARNO1\_2X8**

Length: **15 Ft**

I Node: **N20**

J Node: **N18**

LC 1: **DL+SL**

Max Code Check: **0.116**

*C ten*

Max: **-0.528 at 15 Ft**

Dy \_\_\_\_\_ In

Dz \_\_\_\_\_ In

Min: **-0.528 at 0 Ft**

Max: **-1.179 at 0 Ft**



K

Vy \_\_\_\_\_ K

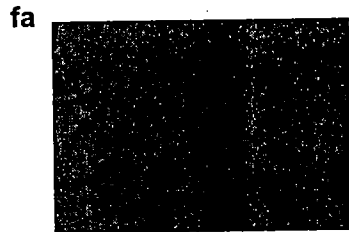
Vz \_\_\_\_\_ K

T \_\_\_\_\_ K-ft

Mz \_\_\_\_\_ K-ft

My \_\_\_\_\_ K-ft

Max: **-0.108 at 0 Ft**



Ksi

fc \_\_\_\_\_ Ksi

ft \_\_\_\_\_ Ksi

### NDS (1991) Code Check

Max Code Check **0.116**

Location **0 Ft**

Equation **3.9-1**

Max Shear Check **0.000 (z)**

Location **0 Ft**

Max Defl Ratio **L/10000**

CD **1.15** RB **24.083** CH **1**

CL **0.718**

Cr **1.15** Cfu **1.15** Cf **1**

CP **0.019**

	(Ksi)	Cm	Ct	CF
Fc'	0.035	1	1	1.05
Ft'	0.932	1	1	1.2
Fb1'	1.139	1	1	1.2
Fb2'	1.587	1	1	1.2
Fv'	0.109	1	1	
E'	1700	1	1	

Lb **15 Ft** Z-Z **15 Ft**  
 le/d **120** **24.828**  
 Sway **No** **No**  
 Le-Bending **15 Ft**

Member: **M23**

Shape: **DFLARNO2\_2X6**

Length: **7.5 Ft**

I Node: **N21**

J Node: **N19**

LC 1: **DL+SL**

Max Code Check: **No Calc**

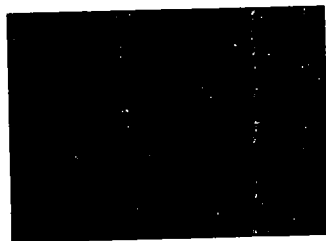
**D** *Comp*  
Max: **1.211** at 0 Ft

Max: **-0.546** at 7.5 Ft

Dy \_\_\_\_\_ In

Dz \_\_\_\_\_ In

Min: **-0.546** at 0 Ft



A \_\_\_\_\_ K

Vy \_\_\_\_\_ K

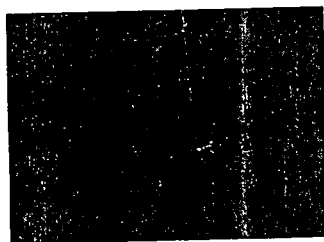
Vz \_\_\_\_\_ K

T \_\_\_\_\_ K-ft

Mz \_\_\_\_\_ K-ft

My \_\_\_\_\_ K-ft

Max: **0.147** at 0 Ft



fa \_\_\_\_\_ Ksi

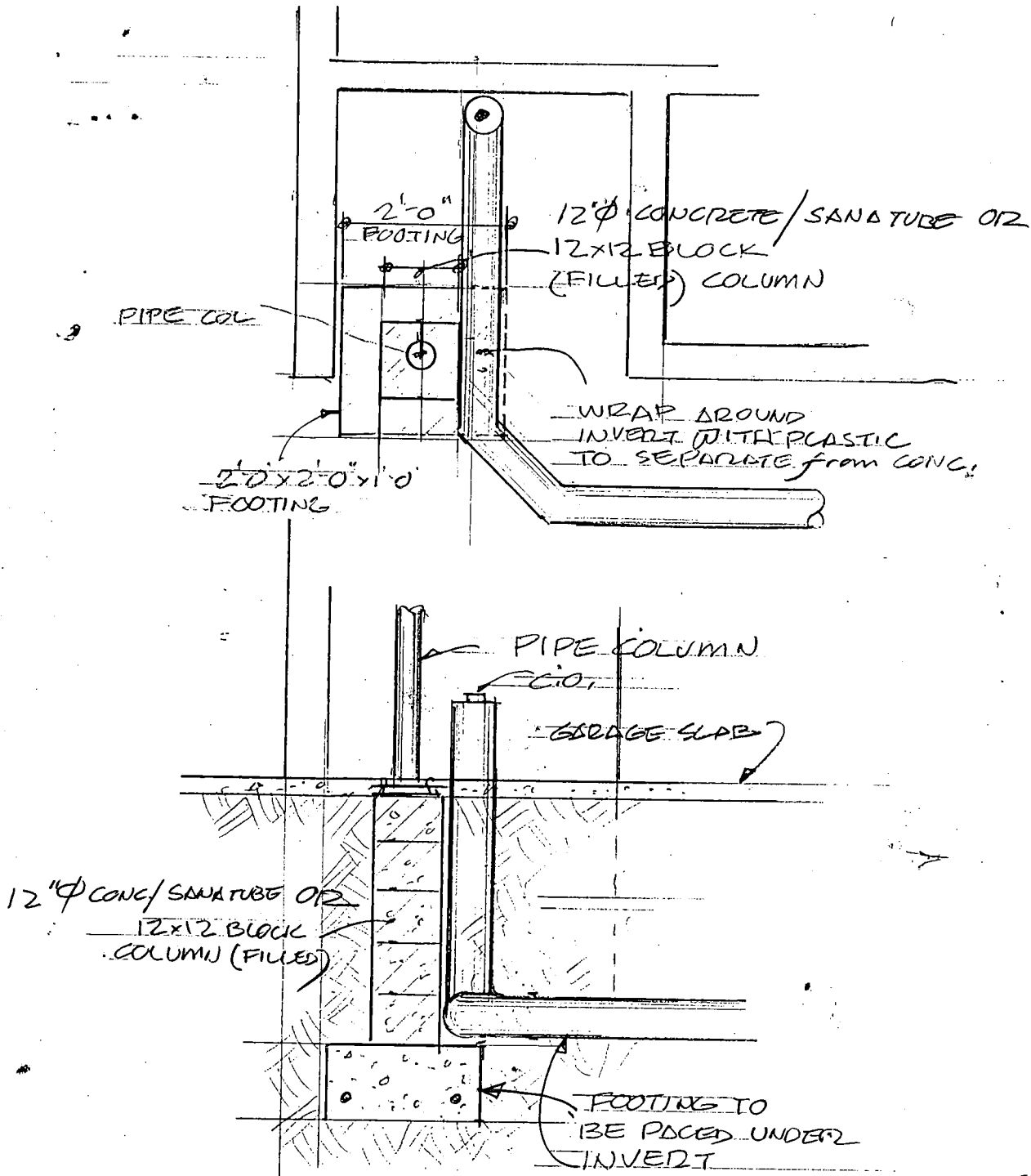
fc \_\_\_\_\_ Ksi

ft \_\_\_\_\_ Ksi

**NDS (1991) Code Check**

- l/d is greater than 50. -

Max Defl Ratio L/10000



PLAN/SECTION of POSITIONING  
SUPPORT for STEEL PIPE COLUMN  
1/2" SCALE

COPIES DELIVERED  
TO: OWNER  
BSE  
on 7/17

MRS. J BALISTRERI  
FOX POINT

Edward A. Suchonki  
ARCHITECT  
8118 North Agucjo Road  
Fox Point, Wisconsin 53817  
7-17-2000 JOB 207

**JOE DE BELAK PLUMBING COMPANY, INC.**

MP-5253

N90 WI4465 COMMERCE DRIVE  
MENOMONEE FALLS, WI 53051  
(262) 251-2630 FAX (262) 251-0801

SCOTT MILLER -

RE: BALISTRERI RESID.  
1030 E. THORN LANE  
FOX POINT

FURNACE INFO PER  
YOUR REQUEST



VILLAGE OF FOX POINT

January 23, 2001  
WISCONSIN

VILLAGE HALL  
7206 N. SANTA MONICA BLVD  
FOX POINT WI 53217-3505  
414-351-8300  
FAX 414-351-8506

\_\_\_\_ Lane  
WI 53217

Dear Mr. Balistreri:

I made a final inspection at your property on January 23, 2001. The inspection revealed the following code violations. They are:

*Frank*

1) NEC 384-16(g)

Plug-in type main lug assemblies that are being back-fed must be fastened with a device that requires other than a pull to release the device from the panel. I observed that your basement subpanel is being back-fed by a main lug assembly that isn't being fasten to the bus with a retaining clip.

*Frank*

2) NEC 110-3(b)

The cover of the basement "load center" must be fastened to its enclosure with six (6) screws.

*Frank*

3) FPC 30P.65(4)

Provide a code compliant smoke detector for the second story bedroom.

*us  
Patch  
notes*

4) FPC 30.43(7)

Properly close the opening in the garage firewall.  
*and fire rated door*

*D. DeJax*

5) FPC 30.43(8)

The forced-air furnace which is located in the room adjacent to the garage must be contained in a fire-rated enclosure. Also, please have your installer provide documentation showing that the furnace which is attached to the ceiling of your garage is code compliant.

For the forgoing reasons, I am hereby requesting that you bring the above items into code compliance. Please contact me to schedule a reinspection after the appropriate repairs have been completed.

Please feel free to contact me should you have any questions concerning this letter.

Sincerely,

Scott Miller  
Inspector

cc Village Manager  
Village Attorney  
B & E General Contractors  
File

# BALISTRETTI

## WHY HEAT YOUR GARAGE?

## GARAGE HEATER

- You can reduce car engine wear & tear caused by cold starts.
- Store paint and other chemicals safely without threat of freezing.
- Your outdoor pets and plants can survive winter storms while you maintain a clean/orderly home.
- Keep your children and infants warm while transferring from home to car.
- Avoid having to let your car idle to let it warm up:
  - Reduces fuel usage
  - Reduces risk of Carbon Monoxide build-up in garage and home
- Maintain your garage either at a comfortable working/living temperature or just above freezing – YOUR CHOICE.
- Other things you can do in a heated garage all winter:
  - Practice golf or other sports
  - Let your kids play
  - Exercise
  - Polish your car or work on the engine
  - Woodworking or other “shop” work
  - Play musical instruments (or other “loud” activities)

## CHOOSE FROM TWO DIFFERENT MODELS

### Model SFT

Separated Combustion Unit Heater – Air for combustion is drawn from outside, not from the heated indoor space. Recommended for hobbyists who paint or create dust (auto painting, furniture refinishing, wood working, etc.)

Available in 45,000; 60,000 and 75,000 BTU inputs.

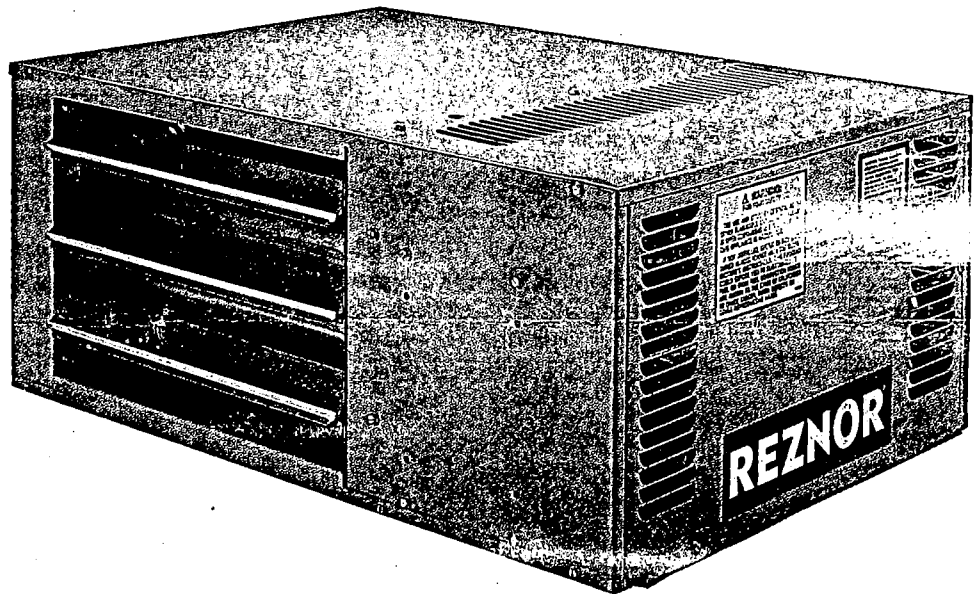
### Model FT (Pictured below)

Can be flipped for convenient installation & placement

Available in 30,000; 45,000 and 60,000 BTU inputs.

### Both Models offer

- Low Profile – Compact design reduces overhead obstruction allowing for more headroom than conventional unit heaters.
- Spark Ignitor – When the thermostat calls for heat, the ignitor sparks as the gas flow starts. This avoids the need for a standing pilot which could be blown out when a garage door is open.
- Power Vented – A small blower is used to force exhaust gases through the flue. This makes the heater more fuel efficient. It also offers you the choice of venting the flue horizontally through an outside wall if the traditional vertical flue pipe through the roof is not practical (i.e. if there is living space above garage).
- Separate Wall Thermostat - Allows you to control the garage temperature independent of your home.



- Aluminized steel heat exchangers – Designed to provide long life. Heat exchangers are backed by a 10 year non-prorated limited warranty (parts only, see limited warranty form for complete details).
- Integrated circuit board with LED diagnostic indicator light assures safe, reliable operation.

### RESIDENTIAL GARAGE HEATERS!

Keep your garage warm and comfortable through the coldest winter months.

Both units are approved for installation in residential garages by ANSI (U.S.) and CSA (Canada).

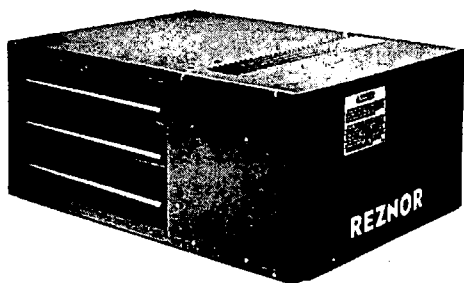
For use with Natural Gas or Propane.

NOTE



# REZNOR MODEL FT

## GAS-FIRED, POWER-VENTED FAN-TYPE UNIT HEATER WITH A TUBULAR HEAT EXCHANGER



ANSI Z83.8



CAN/CGA 2.6

Sizes 30, 45, and 60 are certified to IAS Requirement 10-96 for RESIDENTIAL INSTALLATION. All sizes are approved for commercial/industrial installation.

### DESCRIPTION

The FT Series gas-fired, fan-type, power-vented unit heaters are available in sizes ranging from 30,000 to 300,000 BTUH gas input for use with either natural or propane gas. The Model FT line of heaters is design-certified by the American Gas Association and approved by the Canadian Gas Association. Each unit displays either an A.G.A or a C.G.A. label.

Standard functional features include a tubular aluminumized steel heat exchanger and a removable aluminumized steel burner rack. The burner rack is an assembly of inshot burners designed to provide controlled flame stability without lifting or flashback. Standard controls include a single-stage gas valve, direct spark ignition with 100% shutoff, a fan motor, a power venter motor and wheel assembly, a combustion air pressure switch, and a safety limit switch. Operation is controlled by an integrated circuit board that includes an LED diagnostic indicator light. The circuit board monitors heater operation and indicates normal operation as well as identifying any abnormalities in the control operations.

Supply voltage electrical connections and 24-volt control connections are made at the circuit board.

The heater is designed for suspension from four 3/8"-16 threaded hanger connections. The cabinet includes a full fan guard.

The manufacturer provides a 5-year limited warranty against defective operating components and a 10-year limited warranty on the heat exchanger.

### STANDARD FEATURES

- Orifices for natural gas
- Tubular aluminumized steel heat exchanger
- Aluminumized steel burner rack with inshot burners
- Direct ignition with 100% lockout
- Single-stage combination gas valve
- 115/1/60 supply voltage
- 115 volt fan motor with internal overload protection
- High temperature limit control
- Pressure switch to verify vent flow
- Flame rollout safety switch - Sizes 30-60
- Factory-installed power venter
- Integrated circuit board with LED diagnostic indicator light
- 24-volt control voltage transformer
- Individually adjustable horizontal louvers
- Full safety fan guard
- Powder coat and galvalume steel finish
- 4-point 3/8"-16 threaded hangers
- Left or right hand control capability

### OPTIONAL FEATURES - Factory Installed

- Orifices for propane gas
- Orifices for high altitude (2001-9000 ft)

### ACCESSORIES - Field Installed

- Vent cap
- Thermostat
- Gas conversion kit

### Required Clearances (inches)

Sizes	30-75	100-200	250-300
Top	1	6	6
Flue Connector	6	6	6
Access Panel	18	24	24
Non-Access Side	1	8	8
Bottom	1	1	1
Rear	18	18	24

**WARNING: Gas-fired appliances are not designed for use in hazardous atmospheres containing flammable vapors or combustible dust, or atmospheres containing chlorinated or halogenated hydrocarbons.**

**Installations in public garages or airplane hangars are permitted when in accordance with ANSI Z223.1 and NFPA 54 Codes or CAN1-B149 Codes and enforcing authorities.**

**BALISTRERI**

**FURNACE**

**TABLE 23.04-B  
CLEARANCES, INCHES, WITH SPECIFIED FORMS OF PROTECTION\***

Type of Protection Applied to the combustible material unless otherwise specified and covering all surfaces within the distance specified as the required clearance with no protection. Thicknesses are minimum.	Where required clearance with no projection is:											
	36 inches			18 inches			12 inches			6 inches		
	Above	Sides & Rear	Vent Conne- ctor	Above	Sides & Rear	Vent Conne- ctor	Above	Sides & Rear	Vent Conne- ctor	Above	Sides & Rear	Vent Conne- ctor
(a) 1/4-in. insulating millboard** spaced out 1G***	30	18	30	15	9	12	9	6	6	3	2	3
(b) 28 gage sheet metal on 1/4; insulating millboard**	24	18	24	12	9	12	9	6	4	3	2	2
(c) 28 gage sheet metal spaced out 1G***	18	12	18	9	6	9	6	4	4	2	2	2
(d) 28 gage sheet metal on 1G insulating millboard** spaced out 1G***	18	12	18	9	6	9	6	4	4	2	2	2
(e) 1/4; insulated millboard** on 1G mineral wool bats reinforced with wire mesh or equivalent	18	12	18	6	6	6	4	4	4	2	2	2
(f) 22 gage sheet metal on 1G mineral wool bats reinforced with wire or equivalent	18	12	12	4	3	3	2	2	2	2	2	2
(g) 1/4; insulated millboard**	36	36	36	18	18	18	12	12	9	4	4	4

\*All clearances shall be measured from the outer surface of the equipment to the combustible material disregarding any intervening protection applied to the combustible material.

\*\*A factory fabricated board formed with noncombustible materials, normally fibers, and having a thermal conductivity in the range of 1 Btu inch per square foot per °F. or less.

\*\*\*Spacers shall be of noncombustible material.

(1) **FURNACES.** The input and output capacity of furnaces shall be listed on the nameplate. All nameplates shall show evidence that the equipment has been listed by a recognized testing laboratory.

(a) **Fuel supply.** Furnaces shall be fired with the fuel for which they have been approved, except as provided in par. (d). Fuels shall be supplied to the furnace in the volume and at the pressure required on the label.

(b) **Unvented furnaces and space heaters.** The use of unvented furnaces and space heaters fueled by natural gas, kerosene, alcohol or other fuel shall be prohibited due to concerns about oxygen depletion; contamination from carbon monoxide, carbon dioxide, nitrogen dioxide, formaldehyde and other combustion related contaminants; and water vapor buildups.

(c) **Vented wall furnaces.** Vented wall furnaces shall not be equipped with duct extensions beyond the vertical and horizontal limits of the enclosure unless listed. Vented wall furnaces shall be located to prevent the restriction of air circulation by doors, projections, or other openings. Vented wall furnaces shall be provided with combustion air.

(d) **Conversion burners.** Conversion burners shall be listed by a recognized testing laboratory. The existing equipment shall be reconditioned and defective parts replaced before a conversion burner is installed. Conversion burners shall be installed in accordance with the installation instructions.

(e) **Location.** No space or water heating appliance shall be placed in a bedroom, bathroom, closet or garage unless listed for such installation. Appliances installed in garages shall have burners and burner ignition devices located at least 18 inches above the floor and be protected or located so that the furnace is not subject to physical damage from a moving vehicle.

(2) **HEAT PUMP APPLIANCES.** (a) **Size.** Heat pump appliances shall be sized to provide control of the wet and dry bulb temperatures during cooling and maximum performance during heating. The heating balance point shall be considered to determine the outdoor temperature at which the heat pump must operate 100% of the time to offset the dwelling heat loss.

(b) **Auxiliary heaters.** Provisions for auxiliary heat to supplement the heat pump at outdoor temperatures below the balance point shall be provided. Auxiliary heaters shall be sized so that the heat pump auxiliary will offset the dwelling heat loss down to the heating design temperature.

(3) **BOILERS.** Boilers shall comply with chs. Comm 41-42, Boiler and Pressure Vessels, ss. Comm 41.10 and 41.42 through 41.45.

Note: The department will accept equipment listed by the American Society of Mechanical Engineers, Underwriters' Laboratories, and the American Gas Association.

History: Cf. Register, November, 1979, No. 287, eff. 6-1-80; r. and rec. (1) (b) and am. (4) (b), Register, February, 1985, No. 350, eff. 3-1-85; correction in (3) made under s. 13.93 (2m) (b) 7., Stat., Register, February, 1985, No. 350; am. (intro.) and Table 23.04-A, r. (4), renum. Figures to LHR 23.045, Register, January, 1988, No. 397, eff. 2-1-89; correction in (3) made under s. 13.93 (2m) (b) 7., Stat., Register, January, 1989, No. 397; am. (intro.) and (1) (e), r. and rec. Table 23.04-B, Register, March, 1992, No. 435, eff. 4-1-92.

**Comm 23.045 Solid-fuel-burning appliances.**

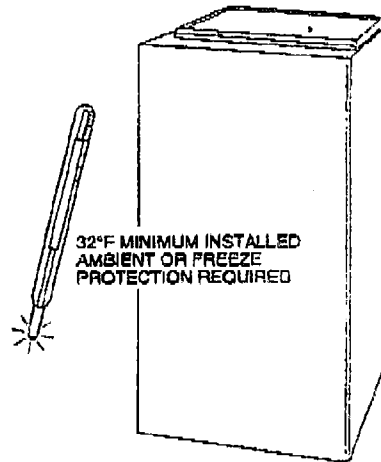
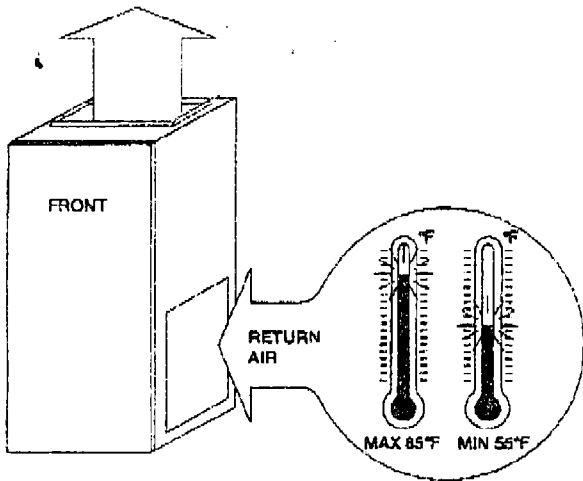
(1) **GENERAL.** Solid-fuel-burning appliances shall be installed as specified in this section unless the manufacturer or listing specifies the use of protection or clearances other than those specified in this section. All solid-fuel-burning appliances shall be tested and listed by an accepted testing agency.

Note: Factory-built fireplaces shall comply with s. Comm 21.32.

(2) **LOCATION OF APPLIANCES.** (a) **Servicing.** Every appliance shall be located to permit access to the appliance. Sufficient clearance shall be maintained around the equipment to permit cleaning of surfaces; the replacement of air filters, blowers, motors, controls and chimney connectors; the lubrication and servicing of moving parts; and the adjustment and servicing of stokers and appliance components.

(b) **Combustion air.** Solid-fuel-burning appliances shall not be installed in spaces where the volume of the room (measured in cubic feet) is less than 1/10th of the maximum input BTU rating of all the appliances located in the room, unless combustion air is provided by one of the following methods:

1. Air from inside the dwelling. The openings shall be provided to the equipment enclosure. One opening shall be located



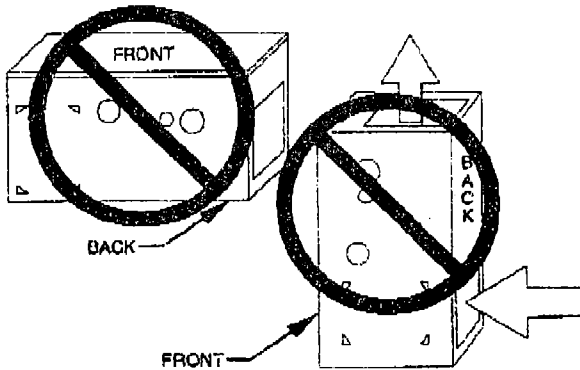
A83058

**NOTE:** These furnaces are designed for a minimum continuous return-air temperature of 60°F or intermittent operation down to 55°F such as when used with a night setback thermostat. Return-air temperature must not exceed a maximum of 85°F. Failure to follow these return-air temperature limits may affect reliability of heat exchangers, motors, and controls.

A83042

**CAUTION:** If these furnaces are installed in an unconditioned space where ambient temperatures may be 32°F or lower, freeze protection measures must be taken.

Provide ample space for servicing and cleaning. Always comply with minimum fire protection clearances shown on unit's clearances to combustibles label. (See Fig. 3.) Locate furnace where available electric power and gas supplies meet specifications on furnace rating plate.



A93046

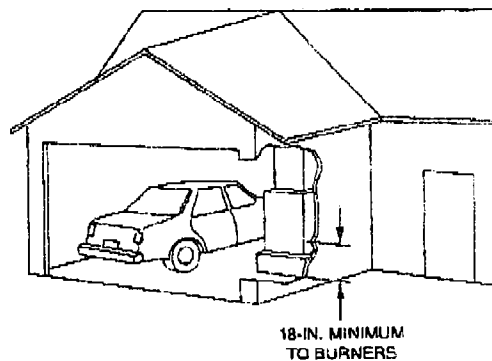
**WARNING:** Do not install furnace on its back. Safety control operation will be adversely affected. Never connect return-air ducts to back of furnace. Failure to follow this warning could result in fire, personal injury, or death.

**CAUTION:** If these furnaces are used during construction when adhesives, sealers, and/or new carpets are being installed, make sure all combustion and circulating air requirements are followed. If operation of furnace is required during construction, use clean outside air for combustion and ventilation. Compounds of chlorine and fluorine, when burned with combustion air, form acids which will cause corrosion of heat exchangers. Some of these compounds are found in paneling, dry wall adhesives, paints, thinners, masonry cleaning materials, and many other solvents commonly used in construction process. Excessive exposure to contaminated combustion air will result in safety and performance related problems.

**II. FURNACE LOCATION RELATIVE TO COOLING EQUIPMENT**

The cooling coil must be installed parallel with or on downstream side of furnace to avoid condensation in heat exchanger. When installed parallel with a furnace, dampers or other means used to control flow of air must prevent chilled air from entering furnace. If dampers are manually operated, they must be equipped with a means to prevent operation of either unit unless damper is in full-heat or full-cool position.

**III. HAZARDOUS LOCATIONS**



A93044

**WARNING:** When furnace is installed in a residential garage, it must be installed so that burners and ignition sources are located a minimum of 18 in. above floor. The furnace must be located or protected to avoid physical damage by vehicles. When furnace is installed in a public garage, airplane hangar, or other building having a hazardous atmosphere, unit must be installed in accordance with requirements of National Fire Protection Association, Inc.

This forced air furnace is equipped for use with natural gas at altitudes 0 - 10,000 ft (0 - 3,050m), except 140 size Furnaces are only approved for altitudes 0 - 7,000 ft (0 - 2,135m).  
 An accessory kit, supplied by the manufacturer, shall be used to convert to propane gas use or may be required for some natural gas applications.

This furnace is for indoor installation in a building constructed on site. This furnace may be installed in a manufactured (mobile) home when stated on rating plate and using factory authorized kit.

This furnace may be installed on combustible flooring in alcove or closet at minimum clearance from combustible material.

This appliance requires a special venting system. Refer to the installation instructions for parts list and method of installation. This furnace is for use with schedule 40 PVC, PVC-DWV, or ABS-DWV pipe, and must not be vented in common with other gas-fired appliances. Construction through which vent/air intake pipes may be installed is maximum 24 inches (600 mm), minimum 3/4 inches (19 mm) thickness (including roofing materials).

**MINIMUM INCHES CLEARANCE TO COMBUSTIBLE CONSTRUCTION**

**ALL POSITIONS:**

\* Minimum front clearance for service 30 inches (762mm).

†† 140 size furnaces require 1 inch back clearance to combustible materials.

**DOWNFLOW POSITIONS:**

† For installation on combustible floors only when installed on special base No. KGASB0201ALL, Coil Assembly, Part No. CD5 or CK5, or Coil Casing, Part No. KCAKC.

**HORIZONTAL POSITIONS:**

§ Clearance shown is for air inlet and air outlet end.

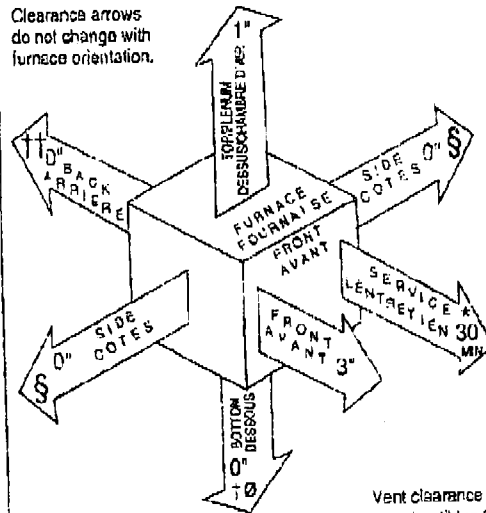
Line contact is permissible only between lines formed by intersections of top and two sides of furnace jacket, and building joists, studs, or framing.

∅ 120 and 140 size Furnaces require 1 inch bottom clearance to combustible materials.

323857-101 REV. C (LIT)

This furnace is approved for UPFLOW, DOWNFLOW and HORIZONTAL installations.

Clearance arrows do not change with furnace orientation.



Clearance in inches

Vent clearance to combustibles 0"

457932

**CONTROLS—THERMOSTATS AND ZONING**

THERMOSTAT—NON PROGRAMMABLE	For Use with 1-Speed Air Conditioner—TSTATBHNAC01-A For Use with 2-Speed Air Conditioner—TSTATBHN2SC1-A For Use with 2-Speed Heat Pump—TSTATBHN2SD1-A
THERMOSTAT—PROGRAMMABLE	For Use with 1-Speed Air Conditioner—TSTATBHPAC01-A For Use with 2-Speed Air Conditioner—TSTATBHP2SD1-A For Use with 1-Speed Heat Pump—TSTATBHPDF01-A For Use with 2-Speed Heat Pump—TSTATBHP2SD1-A or TSTATBHPDF01-A
THERMIDISTAT—PROGRAMMABLE THERMOSTAT with Humidity Control	TSTATBHPRH01-A
ZONING—2-ZONE	ZONEB2KIT01, ZONEKIT2ZBDP
ZONING—4-ZONE	ZONEB4KIT01



VILLAGE OF FOX POINT

MILWAUKEE COUNTY  
WISCONSIN

VILLAGE HALL  
7200 N. SANTA MONICA BLVD.  
FOX POINT 53217-3505  
414-351-8900  
FAX 414-351-8909

February 23, 1998

Joseph J. and Karen A. Balestreri  
1030 E. Thorn Lane  
Fox Point, Wisconsin 53217

Dear Mr. and Mrs. Balestreri:

It has come to my attention that the vegetation on the Village Right-Of-Way in front of your home overhangs the asphalt roadway. This situation is an impediment to vehicular and pedestrian traffic.

Per my consultation with the Village Forester, we have identified two means of trimming the vegetation--you may do the work or have it done or our Village crew can do the work, at no cost to you. Should you choose the first option, please trim back four feet horizontally and 14 feet vertically (measured from the edge of the asphalt), in order to allow for future growth. If you prefer the second option, the Village crew will do the work, sometime after March 06.

Feel free to contact me if I can be of further assistance regarding this matter. Thank you for your cooperation and understanding.

Sincerely,

Michael K. Lynett, P. E.  
Village Engineer

cc: Village Manager  
Assistant Director of Public Works  
Village Forester  
Property File

propmant

# VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.  
FOX POINT 53217  
414-351-8900

OFFICE USE ONLY	
Permit No.	15996 <sup>c</sup>
Received	9/20/00
Service	10/14/00
Rough-in	
Final	

## APPLICATION FOR ELECTRICAL PERMIT

Date \_\_\_\_\_  
License No. 36

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder <u>B&amp;E</u>	Owner <u>JOSEPH BALISTRERI</u>	Occupant <u>SAME AS OWNER</u>
Job Address <u>1030 E THORN LAKE</u>		

**ESTIMATED COST OF JOB**

- Buildings  Residential  
 Commercial  
 Industrial  
 Institutional  
 New Construction  
 Additional Rooms  
 Remodeling  
 New Occupancy

Where on Premises?  
Describe ADDITION ABOVE  
GARAGE

List Name of Installing Contractor  
HEATING Debelak  
AIR CONDITIONING \_\_\_\_\_  
PLUMBING \_\_\_\_\_

<b>Date of Inspection</b>	
Rough _____	Will Call <input checked="" type="checkbox"/>
Final _____	Will Call <input checked="" type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

**REMARKS:**

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets	35	.35 ea	12	25
2	Lighting Fixtures	8	.30 ea	2	40
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger	1	7.00 ea	7	00
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.	1	10.00 ea	10	00
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT	1	40.00 ea	40	00
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt 35216  
TOTAL FEES 40 00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

**MAKE CHECKS PAYABLE TO:**  
Treasurer, Village of Fox Point  
MAIL TO: Electrical Inspector

Contractor <u>LAKESIDE ELECTRIC INC.</u>		Supervising Electrician (Signature) <u>Frank Hofman</u>		Date <u>9-15-00</u>
Address <u>454 LAKE BLUFF LN.</u>		Telephone <u>262-377-5100</u>		
City <u>GRAFTON</u>	State <u>WI</u>	Zip Code <u>53024</u>		

# VILLAGE OF FOX POINT

Receipt #: 35216

September 20 2000

Received of : LAKESIDE ELECTRIC

Amount

Forty and 00/100----- \$\*\*\*\*\*40.00

CATEGORY NUMBER

ACCOUNT NUMBER

AMOUNT

120

R1044430

40.00

CHECK:

40.00

7200 N SANTA MONICA BLVD, TREASURER

Have a Nice Day  
and Thank You Very Much

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX  
MDP 09/20/2000 08:38 AM \*\*\*\*\*40.00

ELECTRICAL INSPECTION APPROVED

(414) 362-5183 (KAPW)

FAX TO # 362-5175

PHONE

COUNTY Milwaukee

C T MUNICIPALITY Fox Rest

INSPECTION NUMBER

INSPECTOR

Jeff Miller

CUSTOMER NAME

Joe Galistraci

PHONE

ADDRESS

1030 E. Thoin Lane

SUBDIVISION NAME

LOT

ELECTRICAL CONTRACTOR

Lakeside Electric

NEW SERVICE

OVERHEAD

UNDERGROUND

REWIRED SERVICE

OVERHEAD TO UNDERGROUND

OVERHEAD TO OVERHEAD

UNDERGROUND TO UNDERGROUND

PERMANENT SERVICE

SIZE (AMPS)

200

(NUMBER OF METERS: CHANGE FROM \_\_\_\_\_ TO \_\_\_\_\_)

1 PHASE

3 PHASE

VOLTAGE

120/240

OVERHEAD RESIDENTIAL REWIRE INFORMATION

YES

NO

TEMPORARY SERVICE

PERMANENT CONNECTIONS HAVE BEEN MADE

SIZE (AMPS)

PERMANENT CONNECTIONS REQUIRED

1 PHASE

SERVICE DROP RELOCATION OR REPLACEMENT REQUIRED

3 PHASE

VOLTAGE

RESIDENTIAL/FARM

COMMERCIAL

INSTALL ONLY

NUMBER OF METERS



VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 11148

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure One Family Dwelling - Foundation Repair
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1030 e. Thorne Lane

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Exterior finish

Frame, Brick-tile, Etc.

Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building 1,580.00

Structure

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction

Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: Facade drain tile installation - See Attached

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Joe Balistreri Arch. or Contr. Time Construction

Address 1030 e. Thorne Ln. Address 940 S. 57 St

City Fox Point WI City West Allis WI 53214

Phone 540-6425 Phone 414-774-6680

Size of Structure (sq. ft.) Permit Fee \$40.00 Per \$224 herewith tendered

Date Submitted State ID# 3329 Exp. Date 5-13-01

Date Approved 9/21/00 Signed Patrick J. [Signature]

Date of Permit

Architect, Owner, Builder

TIME CONSTRUCTION COMPANY  
 940 South 57th Street  
 West Allis, Wisconsin 53214  
 774-6680  
 Patrick & Paul Garvey

5 year Guarantee  
 Provided

**PROPOSAL AND  
 ACCEPTANCE**

W. ~~298~~ 510-6425

PROPOSAL SUBMITTED TO <i>Joe Balistreri</i>	PHONE <i>298-8221</i>	DATE <i>Sept 20, 2000</i>
STREET <i>1030 e. Thorne Lane</i>	JOB NAME	
CITY, STATE AND ZIP CODE <i>Fox Point WI</i>	JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE

We hereby submit specifications and estimates for: *Foundation Repairs - Area below basement stairs on west wall has water seepage during heavy rain. This appears to be caused by draitile system not functioning properly - Suggested Repair -*

*Open basement floor approx 16 inches wide from bottom of stairs to west wall, 12 ft of west wall and approx 10 ft of south wall (approx 30 ft total) - Remove old draitile - Excavate a trench 10 inches deep - Make weep holes in all block - Make new bleeders to outside (2 on each wall) - Install new 3 inch perforated draitile in a bed of clean stone - Cover draitile with clean stone and recement floor - Clean up job and haul away debris.*

*It may be necessary to remove more draitile if existing draitile do not drain properly this will cost an extra \$40.00 per running foot*

We Propose hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:

*On Completion of Work* dollars (\$ *1,580.00* )

Payment to be made as follows:

*If another sump pump is necessary a complete installation including plumbing electric & permits will cost \$1,050.00*

All material is guaranteed to be as specified. All work to be completed in a workman-like manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature: *Patrick R. Garvey*  
 Note: This proposal may be withdrawn by us if not accepted within *60* days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature: *Joseph J. Balistreri*  
 Signature: \_\_\_\_\_

Date of Acceptance \_\_\_\_\_

#40.00 - Receipt # 35034

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

No. 5739c

# APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner  Type Forced Air 40,000 BTU 20.00  
Forced Air, Radiant, Baseboard, Etc.

Fuel:  Gas  Oil  Coal  Elect.  Other Bryant

Desc. of Heating Plant \_\_\_\_\_

Vented to \_\_\_\_\_

Fuel Tank : \_\_\_\_\_  
Size \_\_\_\_\_ Location \_\_\_\_\_

Summer Air Conditioner  Size 1 1/2 ton Bryant (Ton, H.P.) 20.00

Coolant \_\_\_\_\_

Compressor Coolant: Air ; Water ;

If Water Cooled:

Source of Water \_\_\_\_\_

Discharged to \_\_\_\_\_

Location of unit on premises including distances and lines required for approval of exterior apparatus

**REJECTED**  
**VILLAGE OF FOX POINT**  
DATE 8/21/00  
BY [Signature]  
*The Applicant Doesn't show setbacks for the placement of the A/C unit.*

Incinerator  Manufacturer's Name \_\_\_\_\_

Model No. \_\_\_\_\_ Capacity \_\_\_\_\_ Bushels \_\_\_\_\_

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? \_\_\_\_\_

Remarks \_\_\_\_\_

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Balistreri

Address of Work 1030 E. Thorn Lane

**OFFICE USE ONLY**  
Application Approved: [Signature]  
Installation Approved: \_\_\_\_\_

[Signature] Signed \_\_\_\_\_  
Date 8-21-00 40.00

Contractor Joe DeBelak Pkg Co, Inc

Address N 90 W 14465 Commerce Dr Phone (262) 251-2630

City Menomonee Falls State WI Zip Code 53051

N. 73° 16' 00" W. 78.35  
 N. 73° 16' 00" W. 29.30  
 4 OF 50' STREET  
 N. 73° 16' 00" W. 131.00  
 N. BEACH DR. 50'

CENTER OF SEC. 16



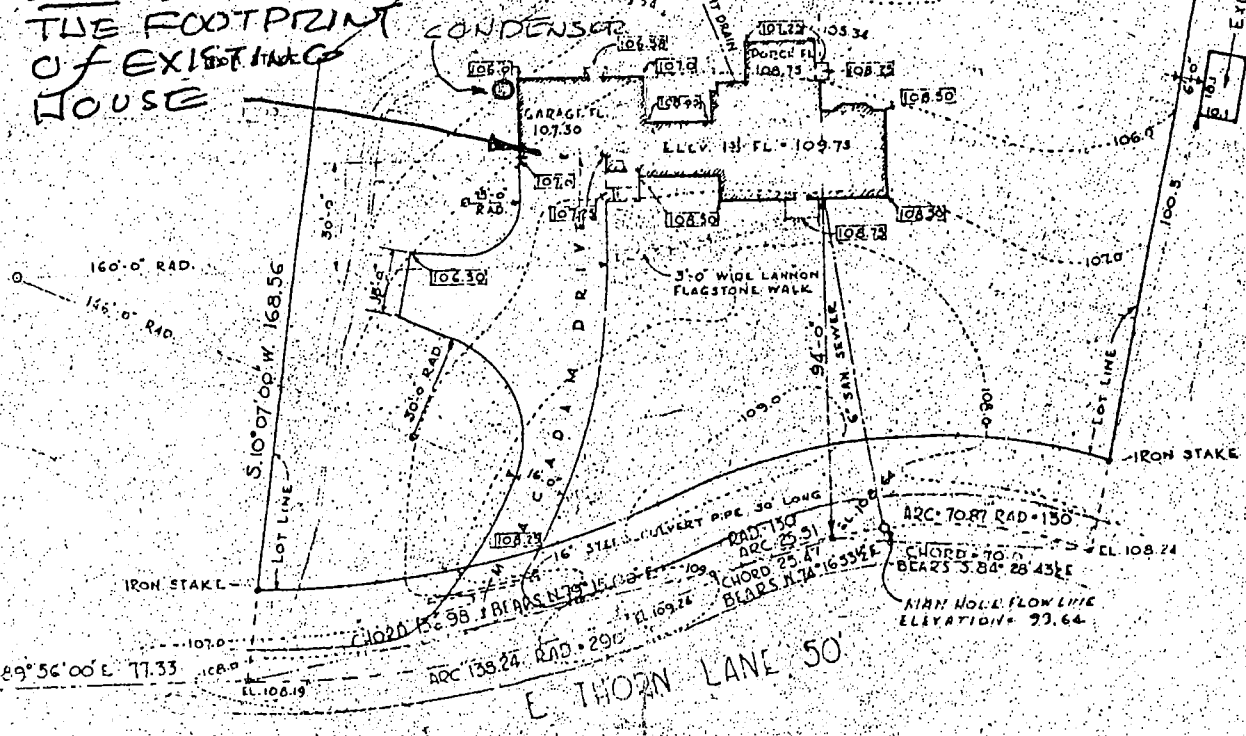
**NOTE! REMODELING DOES NOT INVOLVE THE FOOTPRINT OF EXISTING HOUSE**

S. 00° 42' 00" W. 202.89

IRON STAKE  
 66.802 E. 208.53  
 S. 52° 04' 30" W. 139.72

EDGE OF ZAVINE BLUFFS  
 55.4  
 55.4

100.0  
 102.0  
 103.0  
 104.0  
 105.0  
 106.0  
 107.0  
 108.0  
 109.0  
 110.0  
 N. 12° 54' 00" E. 374.45  
 EXISTING BUILDING



S. 89° 56' 00" E. 77.33  
 E. THORN LANE 50'

**PLOT PLAN**  
 Scale 1" = 30'

ESTABLISHED GRADE  
 EXISTING GRADE  
 CONTOURS OF EXISTING GRADES

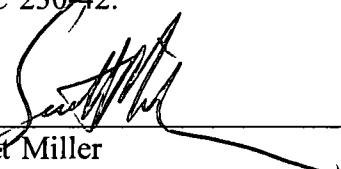
INSPECTION DEPARTMENT  
 VILLAGE OF FOX POINT  
 7200 N. SANTA MONICA BOULEVARD  
 FOX POINT, WI 53217  
**NONCOMPLIANCE NOTICE**  
 December 19, 1995

Issued to: Richard & Mary Ann Byrne

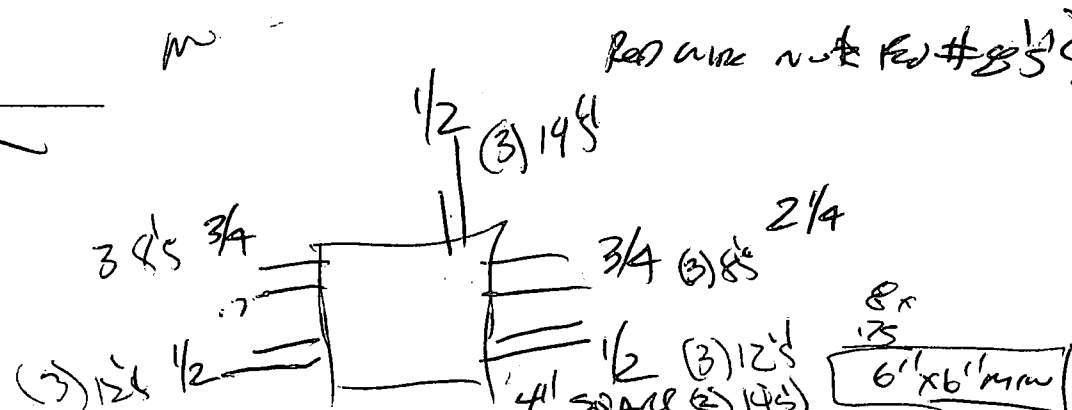
Address: 1030 E. Thorn Lane

An inspection of the premises located at 1030 E. Thorn Lane discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- ~~1.~~ Eliminate clear water into the sanitary sewer and install a code complying clear water sump pump.
- ~~2.~~ Properly seal and vent the sanitary crock in the basement as per code. (Ref. ILHR 82.31 (14)(1))
- ~~3.~~ The basement sink shall either be installed in accordance with code or the supply and waste must be capped.
- ~~4.~~ Please provide this Department with a tank closure report showing the tank was abandoned as per ILHR 10 of the Wisconsin Administrative Code.
- ~~5.~~ Provide backflow protection for all exterior hose bibs and laundry tub faucets.
- ~~6.~~ Provide a code complying step for the exterior door of the sunroom. (Ref. Fox Point Code 30.15(5))
- ~~7.~~ The whirlpool must be GFCI protected. (Ref. NEC 680-70)
- ~~8.~~ Replace missing junction box cover in the basement.
- ~~9.~~ The basement fluorescent lights may not be supplied by an extension cord. (Ref NEC 400-8)
- ~~10.~~ Provide a code complying electrical outlet for the water softener. (Ref. NEC 400-8)
- ~~11.~~ We understand that the air conditioner units were installed in 1980. In checking our records we fail to find any evidence that a permit was ever obtained for this installation. Please obtain these permits as per Fox Point Code 30.38. Also, the disconnect must be installed so that "up" is the "on" position. (Ref 1975 edition NEC 240-81)
- ~~12.~~ The subpanels may not be tapped onto the terminal lugs of the xo subpanel. (Ref. NEC 110-14)
- ~~13.~~ The 100 amp electrical service appears overloaded. Please submit load calculations as per NEC 230-42.

  
 Scott Miller  
 Building Inspector  
 Village of Fox Point

*Subpane  
 Re: H.O.  
 6F Waterph  
 1-22-96*



**Advent  
Environmental  
Services, Inc.**

10845 N. Buntrock Ave. 64W  
Mequon, WI 53092  
Fax 414.238.0528  
414.238.1998  
1.800.880.1998

2220 Melby Road  
Eau Claire, WI 54703-0550  
Fax 715.831.1531  
715.831.1530  
1.800.530.1520

January 10, 1996

Mr. Richard Byrne  
1030 E. Thome Lane  
Fox Point, WI 53217

re: UST closure at the Byrne Property, 1030 E. Thome Lane, Fox Point, WI 53217  
Advent Project No. 950286.00

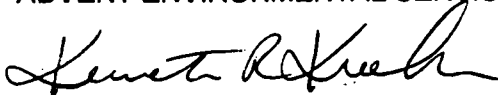
Dear Mr. Byrne:

One 1,000 gallon home heating fuel underground storage tank was removed from the Byrne property on December 18, 1995. Enclosed is your copy of the Checklist for Underground Tank Closure - Form SBD-8951. Please retain this copy for your records. The original form was forwarded to the Department of Industry, Labor and Human Relations by Mr. Bob Knudson of Independent Inspections, Limited.

If you have any questions, please contact me at (414)238-1874 ext. 3028.

Sincerely,

ADVENT ENVIRONMENTAL SERVICES, INC.



Kenneth R. Kuehn  
Environmental Specialist

enclosure

# VILLAGE OF FOX POINT

Receipt #: 35034

August 29 2000

Received of : JOE DE BELAK PLUMBING & HEATING

Amount

Forty and 00/100----- \$\*\*\*\*\*40.00

CATEGORY NUMBER

ACCOUNT NUMBER

AMOUNT

120

R1044450

40.00

CHECK:

40.00

7200 N SANTA MONICA BLVD, TREASURER

Have a Nice Day  
and Thank You Very Much

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX  
MDP 08/29/2000 2:22 PM \*\*\*\*\*40.00

Don (B+E)

414 333-5671

JOB: 1030 E THORN LANE



# CHECKLIST FOR UNDERGROUND TANK CLOSURE

RETURN COMPLETED CHECKLIST TO:

Safety & Buildings Division  
Fire Prevention & Underground  
Storage Tank Section  
P. O. Box 7969, Madison, WI 53707

**Complete one form for  
each site closure.**

The information you provide may be used by other  
government agency programs [Privacy Law, s. 15.04 (1) (m)].

**A. IDENTIFICATION: (Please Print)** Indicate whether closure is for:  Tank System  Tank Only  Piping Only

1. Site Name <u>BYRNE RESIDENCE</u>		2. Owner Name <u>MR. RICHARD BYRNE</u>	
Site Street Address (not P.O. Box) <u>1030 E. THORNE LN</u>		Owner Street Address <u>1030 E. THORNE LANE</u>	
<input checked="" type="checkbox"/> City	<input checked="" type="checkbox"/> Village	<input type="checkbox"/> Town of	
State <u>WI</u>		Zip Code <u>53217</u>	
County <u>MILWAUKEE</u>		Telephone No. (include area code) <u>(414) 352-4962</u>	
3. Closure Company Name (Print) <u>ADVENT FUEL SERVICES</u>		Closure Company Street Address <u>10845 N. BUNTRICK AVE 64W</u>	
Closure Company Telephone No. (include area code) <u>(414) 238-1994</u>		Closure Company City, State, Zip Code <u>MILWAUKEE WI 53012</u>	
4. Name of Company Performing Closure Assessment		Assessment Company Street Address, City, State, Zip Code	
Telephone # (include area code) ( )		Assessor Signature	
Certified Assessor Name (Print)		Assessor Certification No.	

Tank ID #	Closure	Temp. Closure	Closure In Place	Tank Capacity	Contents *	Closure Assessment
1. <u>A</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>1000</u>	<u>04</u>	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
2.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N
3.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N
4.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N
5.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N
6.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N

\* Indicate which product by numeric code: 01-Diesel; 02-Leaded; 03-Unleaded; 04-Fuel Oil; 05-Gasohol; 06-Other; 09-Unknown; 10-Premix; 11-Waste oil; 13-Chemical (indicate the chemical name(s) or numbers(s)); 14-Kerosene; 15-Aviation.

Written notification was provided to the local agent 15 days in advance of closure date.  Y  N  NA  
 All local permits were obtained before beginning closure.  Y  N  NA

**B. TEMPORARILY OUT OF SERVICE** Check applicable box at right in response to all statements in Sections B - E. Remove Inspector NA  
Verified Verified

Written inspector approval of temporary closure obtained, which is effective until (provide date) \_\_\_\_\_  Y  N  NA

1. Product Removed	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	<b>W</b>
2. Product lines drained into tank (or other container) and resulting liquid removed AND _____	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
b. All product removed to bottom of suction line, OR	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
c. All product removed to within 1" of bottom.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
2. Fill pipe, gauge pipe, tank truck vapor recovery fittings, and vapor return lines capped.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
3. All product lines at the islands or pumps located elsewhere are removed and capped, OR	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	<b>W</b>
4. Dispensers/pumps left in place but locked and power disconnected.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
5. Vent lines left open.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
6. Inventory form filed indicating temporary closure.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
7. _____	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	

**C. CLOSURE BY REMOVAL**

1. Product from piping drained into tank (or other container).	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	<b>W</b>
2. Piping disconnected from tank and removed.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
3. All liquid and residue removed from tank using explosion proof pumps or hand pumps.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
4. All pump motors and suction hoses bonded to tank or otherwise grounded.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
5. Fill pipes, gauge pipes, vapor recovery connections, submersible pumps and other fixtures removed.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
<b>NOTE: DROP TUBE SHOULD NOT BE REMOVED IF THE TANK IS TO BE PURGED THROUGH THE USE OF AN EDUCTOR.</b>			
6. Vent lines left connected until tanks purged.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
7. Tank openings temporarily plugged so vapors exit through vent.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
8. Tank atmosphere reduced to 10% of the lower flammable range (LEL) - see Section F.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
9. Tank removed from excavation after PURGING/INERTING; placed on level ground and blocked to prevent movement.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	
10. Tank cleaned before being removed from site.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/> NA	

**C. CLOSURE BY REMOVAL (continued)**

- |  | Remover Verified   | Inspector Verified                  | NA                                  |
|--|--|-------------------------------------|-------------------------------------|
| 11. Tank labeled in 2" high letters after removal but before being moved from site. ....   | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| <b>NOTE: COMPLETE TANK LABELING SHOULD INCLUDE WARNING AGAINST REUSE; FORMER CONTENTS; VAPOR STATE; VAPOR FREEING TREATMENT; DATE.</b> |  |                                     |                                     |
| 12. Tank vent hole (1/8 th in uppermost part of tank) installed prior to moving the tank from site. ....                               | <input type="checkbox"/> Y <input type="checkbox"/> N            | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Inventory form filed by owner with Safety and Buildings Division indicating closure by removal. ....                               | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 14. Site security is provided while the excavation is open. ....   | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

**D. CLOSURE IN PLACE**

**NOTE: CLOSURES IN PLACE ARE ONLY ALLOWED WITH THE PRIOR WRITTEN APPROVAL OF THE DEPARTMENT OF INDUSTRY, LABOR AND HUMAN RELATIONS OR LOCAL AGENT.**

- |  |   |                          |                                     |
|--|---|--------------------------|-------------------------------------|
| 1. Product from piping drained into tank (or other container) .....  | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Piping disconnected from tank and removed. ....   | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. All liquid and residue removed from tank using explosion proof pumps or hand pumps. ....  | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. All pump motors and suction hoses bonded to tank or otherwise grounded. ....  | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Fill pipes, gauge pipes, vapor recovery connections, submersible pumps and other fixtures removed. ....                                 | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <b>NOTE: DROP TUBE SHOULD NOT BE REMOVED IF THE TANK IS TO BE PURGED THROUGH THE USE OF AN EDUCTOR - EDUCTOR OUTPUT 12 FT ABOVE GRADE.</b> |   |                          |                                     |
| 6. Vent lines left connected until tanks purged. ....  | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 7. Tank openings temporarily plugged so vapors exit through vent. ....   | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 8. Tank atmosphere reduced to 10% of the lower flammable range (LEL) - see Section F. ....   | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 9. Tank properly cleaned to remove all sludge and residue. ....  | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 10. Solid inert material (sand, cyclone boiler slag, pea gravel recommended) introduced and tank filled. ....                              | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 11. Vent line disconnected or removed. ....  | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 12. Inventory form filed by owner with Safety and Buildings Division indicating closure in place. ....                                     | <input type="checkbox"/> Y <input type="checkbox"/> N | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**E. CLOSURE ASSESSMENTS**

**NOTE: DETERMINE IF A CLOSURE ASSESSMENT IS REQUIRED BY REFERRING TO ILHR 10.**

- |  |  |                                     |                          |
|--|--|-------------------------------------|--------------------------|
| 1. Individual conducting the assessment has a closure assessment plan (written) which is used as the basis for their work on the site. ....  | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Do points of obvious contamination exist? .....   | <input type="checkbox"/> Y <input type="checkbox"/> N            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Are there strong odors in the soils? .....  | <input type="checkbox"/> Y <input type="checkbox"/> N            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Was a field screening instrument used to pre-screen soil sample locations? .....  | <input type="checkbox"/> Y <input type="checkbox"/> N            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Was a closure assessment omitted because of obvious contamination? .....  | <input type="checkbox"/> Y <input type="checkbox"/> N            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Was the DNR notified of suspected or obvious contamination? .....   | <input type="checkbox"/> Y <input type="checkbox"/> N            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Agency, office and person contacted: _____   |  |                                     |                          |
| 7. Contamination suspected because of: <input type="checkbox"/> Odor <input type="checkbox"/> Soil Staining <input type="checkbox"/> Free Product <input type="checkbox"/> Sheen On Groundwater <input type="checkbox"/> Field Instrument Test |  |                                     |                          |

**F. METHOD OF ACHIEVING 10% LEVEL DESCRIPTION**

- Eductor Or Diffused Air Blower
  - Eductor driven by compressed air, bonded and drop tube left in place; vapors discharged minimum of 12 feet above ground.
  - Diffused air blower bonded and drop tube removed. Air pressure not exceeding 5 psig.
- Dry Ice
  - Dry ice introduced at 1.5 pounds per 100 gallons of tank capacity. Dry ice crushed and distributed over the greatest possible tank area. Dry ice evaporated before proceeding.
- Inert Gas (CO/2 or N/2) **NOTE: INERT GASSES PRODUCE AN OXYGEN DEFICIENT ATMOSPHERE. THE TANK MAY NOT BE ENTERED IN THIS STATE WITHOUT SPECIAL EQUIPMENT.**
  - Gas introduced through a single opening at a point near the bottom of the tank at the end of the tank opposite the vent.
  - Gas introduced under low pressure not to exceed 5 psig to reduce static electricity. Gas introducing device grounded.
- Tank atmosphere monitored for flammable or combustible vapor levels.
  - Calibrate combustible gas indicator. Drop tube removed prior to checking atmosphere. Tank space monitored at bottom, middle and upper portion of tank. Readings of 10% or less of the lower flammable range (LEL) obtained before removing tank from ground.

**G. NOTE SPECIFIC PROBLEMS OR NONCOMPLIANCE ISSUES BELOW**

**H. REMOVER/CLEANER INFORMATION**

\_\_\_\_\_ \_\_\_\_\_ 03729 12-18-95  
 Remover Name (print) Remover Signature Remover Certification No. Date Signed

**I. INSPECTOR INFORMATION**

Bob Knudson \_\_\_\_\_ 00257  
 Inspector Name (print) Inspector Signature Inspector Certification No.  
FDID # For Location Where Inspection Performed \_\_\_\_\_ 12-18-95  
 Inspector Telephone Number Date Signed

**OWNER**

# THIS MEMORANDUM

In acknowledgment that a bill of lading has been issued and is not the Original Bill of Lading, nor a duplicate, covering the property named herein, and is intended solely for filing or record.

1785 W. BURBANK AVE  
 MONROE FALLS WI 53051

FOR HELP IN CHEMICAL EMERGENCIES INVOLVING SPILL, LEAK, FIRE OR EXPOSURE CALL TOLL-FREE 1-800-424-9300 DAY OR NIGHT.



RECYCLABLE PAPER

B/L DATE 01/15/96
B/L NO. 149671

CARRIER BY  
 MITSOLV SERVICE CORP

BYRNE  
 1030 E THORNE LANE  
 ADVENT ENV  
 MILWAUKEE, WI 53212-3646

SOLD TO

BYRNE  
 1030 E THORNE LANE  
 ADVENT ENV  
 MILWAUKEE, WI 53212-3646

149671

414-352-4962

1/16/96 20:46:14

PAGE 1 OF 1

0041	30	DEE	36L1	CITY	160	16
------	----	-----	------	------	-----	----

50286-00	01/17/96	02	PREPAID	36L1 BUTTITA	947	1/17/96
----------	----------	----	---------	--------------	-----	---------

QUANTITY ORDERED	QUANTITY SHIPPED	B.O.	PACKAGING	DESCRIPTION	NET WEIGHT	GROSS WEIGHT
	1		1EWDUM	RQ WASTE COMBUSTIBLE LIQUID, N.O.S. (COMBUSTIBLE LIQUID) NA1993 PG III PROD #: 900008 ERG #:27 WA# 122795Q		
			1ECHARG	*** WA FOR PICK UP *** MANIFEST PREPARATION PROD #: 910101 ERG #:		
			LOT NUMB			
			NUMBER OF MIL	PALLETS:		
			LIFTGATE/MNFEST	LABELS.		
			PU BETWEEN 12	CUST WILL BE WAITING.		
					TOTAL	POUNDS:

*Richard Payne*

**I VERIFY THAT THE QUANTITIES, LABELS AND LOT NUMBERS ARE CORRECT EXCEPT AS NOTED**

<p>DELIVERED BY</p> <p>NOTE: Where the rate is dependent on value, shippers are required to state specifically in writing the agreed or declared value of the property.</p> <p>The agreed or declared value of the property is hereby specifically stated by the shipper to be not exceeding \$ _____ per _____</p>	<p>This is to certify that the above-named materials are properly classified, described, packaged, marked and labeled and are in proper condition for transportation according to the applicable regulations of the Department of Transportation.</p> <p>Signature _____</p>	<p>Subject to Section 7 of the conditions, if this shipment is to be delivered to the consignee without recourse on the consignor, the consignor shall sign the following statement.</p> <p>The carrier shall not make delivery of this shipment without payment of freight and all other lawful charges.</p> <p>(Signature of Consignor) _____</p>	<p>Received By _____</p> <p>TIME IN 2:35</p> <p>TIME OUT _____</p>
---	--	---	--

RECEIVED, subject to the classifications and lawfully filed tariffs in effect on the date of the issue of this Bill of Lading, the property described above in apparent good order, except as noted (contents and condition of contents of packages unknown), marked, consigned, and destined as indicated above which said carrier (the word carrier being understood throughout this contract as meaning any person or corporation in possession of the property under the contract) agrees to carry to its usual place of delivery at said destination, if on its route, otherwise to deliver to another carrier on the route to said destination.

It is mutually agreed as to each carrier of all or any of said property over all or any portion of said route to destination and as to each party at any time interested in all or any of said property, that every service to be performed hereunder shall be subject to all the bill of lading terms and conditions in the governing classification on the date of shipment.

Shipper hereby certifies that he is familiar with all the bill of lading terms and conditions in the governing classification and the said terms and conditions are hereby agreed to by the shipper and accepted for himself and his assigns.

Remit C.O.D. to: \_\_\_\_\_

Address: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**COD Amt: \$**

C.O.D. Fee: \_\_\_\_\_

Prepaid  Collect

COMMON/PRIVATE carrier hereby acknowledges that at the time this shipment was offered for transportation by highway, the shipper offered and/or provided the required D.O.T. Hazardous Material Placards.

PLACARDS SUPPLIED  YES  NO - FURNISHED BY CARRIER

PLACARDS REQUIRED  YES  NO - FURNISHED BY CARRIER

DRIVER SIGNATURE: \_\_\_\_\_

Driver's Signature \_\_\_\_\_

WE CERTIFY THAT WE ARE AN EQUAL OPPORTUNITY EMPLOYER AND THAT WE COMPLY WITH EXECUTIVE ORDERS #11246 AND #11375.

"The fiber boxes used for this shipment conform to the specifications set forth in the box maker's certificate thereon, and all other requirements of the Uniform Freight Classification." Shipper's Imprint in lieu of stamp, not a part of bill of lading approved by the Interstate Commerce Commission.

SHIPPER: MITSOLV CORPORATION

PER: DAVID GREB, TRAFFIC MANGER

DATE: \_\_\_\_\_

CARRIER: MITSOLV SERVICE CORP

PER: *John S. Chen*

DATE: 1-17-96

50041

**THIS SHIPPING ORDER**

RECEIVED, subject to the classifications and lawfully filed tariffs in effect on the date of issue of this Original Bill of Lading.

must be legibly filled in, in Ink, in Indelible Pencil or in Carbon, and retained by the agent.

**FROM** BYRNE  
1030 E THORNE LANE  
**AT** MILWAUKEE WI 53212

DATE 19

NAME OF CARRIER
MILWAUKEE SOLVENTS
SHIPPER'S NO.
149671
CARRIER'S NO.

the property described below, in apparent good order, except as noted (contents and condition of contents of packages unknown), marked, consigned, and destined as indicated below, which said carrier (the word carrier being understood throughout this contract as meaning any person or corporation in possession of the property under the contract) agrees to carry to its usual place of delivery at said destination, if on its route, otherwise to deliver to another carrier on the route to said destination. It is mutually agreed, as to each carrier of all or any of said property over all or any portion of said route to destination, and as to each party at any time interested in all or any of said property, that every service to be performed hereunder shall be subject to all the terms and conditions of the Uniform Domestic Straight Bill of Lading set forth (1) in Official, Southern, Western and Illinois Freight Classifications in effect on the date hereof, if this is a rail or rail-water shipment, or (2) in the applicable motor carrier classification or tariff if this is a motor carrier shipment.

Shipper hereby certifies that he is familiar with all the terms and conditions of the said bill of lading, including those on the back hereof, set forth in the classification or tariff which governs the transportation of this shipment, and the said terms and conditions are hereby agreed to by the shipper and accepted for himself and his assigns.

(MAIL OR STREET ADDRESS OF CONSIGNEE—FOR PURPOSES OF NOTIFICATION ONLY.)

MILWAUKEE SOLVENTS  
N59 W14776 BOBOLINK AVE.  
MENOMONEE FALLS, WI 53051

ROUTE
SAME
Delivering Address
(TO BE FILLED IN ONLY WHEN SHIPPER DESIRES AND GOVERNING TARIFFS PROVIDE FOR DELIVERY THEREAT.)
DELIVERING CARRIER
MILWAUKEE SOLVENTS
CAR OR VEHICLE INITIALS & NO.
3661

CONSIGNEE  
TO AND  
DESTINATION

NO. OF SHIPPING UNITS	H.M.	KIND OF PACKAGES, DESCRIPTION OF ARTICLES, SPECIAL MARKS AND EXCEPTIONS	WEIGHT (SUBJECT TO CORR.)	CLASS OR RATE	CHECK COLUMN	Subject to Section 7 of conditions of applicable bill of lading, if this shipment is to be delivered to the consignee without recourse on the consignor, the consignor shall sign the following statement: The carrier shall not make delivery on this shipment without payment of freight and all other lawful charges.
1	X	A) RQ WASTE COMBUSTIBLE LIQUID, N. O. S. (COMBUSTIBLE LIQUID) NA1993 PG III 149671				
		Wa# 122795Q				
		EMER RESP PH #: (414) 352-4962 A) ERG# 27				
REMIT C.O.D. TO: (ADDRESS)			C.O.D. AMOUNT	C.O.D. CHARGE TO BE PAID BY		Received \$ _____ to apply in prepayment of the charges on the property described hereon.  Agent or Cashier.
			\$	SHIPPER <input type="checkbox"/>	CONSIGNEE <input type="checkbox"/>	

This is to certify that the above-named articles are properly classified, described, packaged, marked, and labeled, and are in proper condition for transportation according to the applicable regulations of the Department of Transportation.

If the shipment moves between two ports by a carrier by water, the law requires that the bill of lading shall state whether it is "carrier's or shipper's weight".

Shipper's liability in case of damage, not a part of Bill of Lading approved by the Department of Transportation.

NOTE — Where the rate is dependent on value, shippers are required to state specifically in writing the agreed or declared value of the property.

The value containers used for this shipment conform to the specifications set forth in the box maker's certificate thereon, and all other requirements of Rule 41 of the Uniform Freight Classification and Rule 5 of the National Motor Freight Classification.

THIS SHIPMENT IS CORRECTLY DESCRIBED.

PERMANENT POST OFFICE ADDRESS OF SHIPPER

PERMANENT POST OFFICE ADDRESS OF SHIPPER

Signature: \_\_\_\_\_

Per: \_\_\_\_\_

Agent must detach and retain this Shipping Order and must sign the Original Bill of Lading.

2

INSPECTION DEPARTMENT  
VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BOULEVARD  
FOX POINT, WISCONSIN 53217

**CERTIFICATE OF COMPLIANCE**


May 29, 1996

NO. 3911

Issued to: Richard & Mary Ann Byrne

Address: 1030 E. Thorne Lane

This Certificate of Compliance permits a change in the occupancy of the premises located at 1030 E. Thorne Lane, Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Scott Miller  
Building Inspector  
Village of Fox Point

# VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.  
FOX POINT 53217  
414-351-8900

OFFICE USE ONLY	
Permit No.	17201C
Received	1/8/95
Service	1/22/95
Rough-in	
Final	

## APPLICATION FOR ELECTRICAL PERMIT

Date 1/5/95

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. \_\_\_\_\_

Builder <u>H&amp;D Services</u>	Owner <u>Richard Byrne</u>	Occupant <u>Same</u>
Job Address <u>1030 E. Thorn Lane</u>		

ESTIMATED COST OF JOB	No.	Description	Qty.	Rate of Fees	Dollars	Cents
Buildings <input checked="" type="checkbox"/> Residential	1	Light, switch and convenience outlets		.35 ea		
<input type="checkbox"/> Commercial	2	Lighting Fixtures		.30 ea		
<input type="checkbox"/> Industrial	3	Fluorescent Fixtures - per tube		.30 ea		
<input type="checkbox"/> Institutional	4	Range, Electric		4.00 ea		
<input type="checkbox"/> New Construction	5	Garbage Grinding and Disposal Unit		3.00 ea		
<input type="checkbox"/> Additional Rooms	6	Dishwasher		4.00 ea		
<input type="checkbox"/> Remodeling	7	Clothes Dryer		4.00 ea		
<input type="checkbox"/> New Occupancy	8	Water Heaters, Electric		4.00 ea		
Where on Premises?	9	Gas Burner, Oil Burner or Stoker		5.00 ea		
Describe <u>upgrade service</u>	10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
<u>from 100amp to 200amp</u>	11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
	12	Temporary Service Permit for: How Long?		10.00 ea		
	13	Services: Service Switches, ea.		5.00 ea		
		Service 1. 0 through 100 amps.		5.00 ea		
		2. 101 through 400 amps.		10.00 ea	10	00
		3. 401 through 600 amps.		10.00 ea		
		4. 601 through 1000 amps.		15.00 ea		
		5. Thereafter, ea. additional 1000 amps.		5.00 ea		
	14	Motors over 1/4 HP		.30 per HP or frac		
	15	Fuel Dispensing Pumps		6.00 ea		
	16	Transformers, Rectifiers and Generators		.30 per KW		
	17	Space Heating Systems, per circuit		3.00 ea		
	18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
	19	2. Over 30 amps		5.00 ea		
	20	Wireways, busways, underfloor raceways or auxiliary gutters		.25 per ft		
	21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
	22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
	23	Swimming Pool Wiring: A. Inground pools		40.00		
	24	B. Above ground pools		25.00		
	25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
	26	<b>MINIMUM CHARGE FOR ANY ONE PERMIT</b>		40.00 ea		
	27	<b>FAILURE TO CALL FOR FINAL INSPECTION</b>		15.00		
	28	<b>DOUBLE FEES will be charged for any work started before obtaining permit.</b>				

Receipt #2555  
TOTAL FEES 40 00

REMARKS:

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:  
Treasurer, Village of Fox Point  
MAIL TO: Electrical Inspector

Contractor <u>H&amp;D Services</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>1/5/95</u>
Address <u>3251 N. Sherman Blvd</u>	Telephone <u>444-1388</u>	
City <u>M.I.W</u>	State <u>WI</u>	Zip Code <u>53216</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

#60 F.F. Receipt # 11435

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 10.117

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1030 E. THORN LA

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Estimated cost Garage Building \$12,000 Structure

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction
Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: NEW DECK, TERRACE DOOR & MINOR INTERIOR WORK

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure JOSEPH BALESTREPI Arch. or Contr. ED SUCHORSKI (SPECIFIED)

Address 4476 N. FARWELL AVE Address 8118 N. NAVAJO RD

City SHOREWOOD, WIS. 53211 City FOX POINT WIS. 53217
State Zip State Zip

Phone Phone 352-2115

Size of Structure (sq. ft.) Permit Fee \$400 herewith tendered

Date Submitted Signed [Signature]

Date Approved Date of Permit

Architect, Owner, Builder

Receipt # 10668

Plumber: Wm Zachow  
 Address: 5718 W Hemlock St  
 Tel. No. 358 2137

No. 7904C  
**Application and Record**  
 Village of Fox Point  
 7200 N. Santa Monica Blvd.  
 Fox Point, WI 5317  
 351-8900

Owner: Dr Richard Byrne  
 Address: 1030 E Thorn Lane  
 Date: Jan 1996

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of  
 laying a ..... inch ..... laying a ..... inch .....  
 builder sewer from Main to Lot line water service from Main to Lot line  
 to Building to Building

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>7818</u>
Water	
Street	
Meter	
Water Usage	

at  
1030 E Thorn Lane ..... Fox Point, Wis.  
 Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. 3947 ..... Wm Zachow ..... Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS	
No.	No.
Hose Bibs .....	Dishwashers .....
Bath Tubs .....	Wash Basins .....
Sump Pumps ..... <u>2</u> .....	Water Closets .....
Laundry Trays .....	Showers .....
Drinking Fountains .....	Floor Drains .....
Sinks .....	Food Waste Grinders .....
Water Heaters .....	Sprinkling System .....
Wash. Mach. Wastes .....	Urinals .....
Bidets .....	
Catch Basins .....	

FEES	
Water Usage .....	
Building Sewer .....	
Water Service .....	
Building Drain .....	
Fixtures .....	
Water Meter .....	
Total .....	<u>\$40.00</u>
Deposit to cover street repairs	<u>Receipt #2645</u>

..... [Signature] ..... Permit Clerk

A ..... inch ..... water service pipes laid in .....  
 Curb box is located ..... feet ..... of ..... feet ..... of .....  
 ..... inch ..... Water Meter No. .... Date Installed .....

A ..... inch ..... sanitary sewer connection was made in .....  
 ..... feet ..... of manhole .....

A ..... inch ..... storm sewer connection was made in .....  
 ..... feet ..... of manhole .....

Building Sewer	Report	Building Drain	Report	Rough in Plumbing Inspection	Report	Final Inspection	Report

Installation Approved ..... Application Approved ..... 19 .....  
 As Built ..... Water and Plumbing Inspector

REMARKS	DISCREPANCY RECORD



**VILLAGE OF FOX POINT**  
Receipt #: 2453

January 2 1996

Received of : RICHARD BYRNE

Amount

Eighty and 00/100----- \$\*\*\*\*\*80.00

CATEGORY NUMBER	ACCOUNT NUMBER	AMOUNT	CHECK:	AMOUNT
120	R1044450	80.00		80.00

VILLAGE OF FOX POINT

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX  
MDP 01/02/1996 4:01 PM \*\*\*\*\*80.00

Have a Nice Day  
and thank you very much

#80.00 - Receipt #2453

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

No. 4993 C

# APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner  Type \_\_\_\_\_  
Forced Air, Radiant, Baseboard, Etc.

Fuel:  Gas  Oil  Coal  Elect.  Other \_\_\_\_\_

Desc. of Heating Plant \_\_\_\_\_

Vented to \_\_\_\_\_

Fuel Tank : \_\_\_\_\_  
Size \_\_\_\_\_ Location \_\_\_\_\_

Summer Air Conditioner  Size Two Lennox HS-9 2 1/2 (Ton, ~~H.P.~~) 30,000 BTU

Coolant R-22

Compressor Coolant: Air ; Water ;

If Water Cooled:  
Source of Water \_\_\_\_\_

Discharged to \_\_\_\_\_

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Behind, to the North, of garage. 70' to 240' to North lot line; 150' to East lot line; 130' to South lot line; 70' to West lot line.

Incinerator  Manufacturer's Name \_\_\_\_\_

Model No. \_\_\_\_\_ Capacity \_\_\_\_\_ Bushels \_\_\_\_\_

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? \_\_\_\_\_

Remarks \_\_\_\_\_

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Richard Byrne, M.D.

Address of Work 1030 E. Thorne Ln

**OFFICE USE ONLY**  
Application Approved: [Signature]  
Installation Approved: \_\_\_\_\_

[Signature]  
Signed

12-27-95  
Date

Units installed on 7-10-80 by:  
Contractor Zien Mechanical Contractor

Address 4858 N. 35th St. Phone 414-463-6100

City Milwaukee State WI Zip Code 53209

1829

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

Qu # 33998  
7/22/75  
No. 5874

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE ADD'N.  
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

House Number 1030 E. THORNE LANE

Lot ..... Block .....

Subdivision .....

District .....

Does contemplated structure violate the Village zoning ordinance? NO

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction: FRAME Exterior finish SHINGLE  
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms ..... Baths.....

Garage .....

Estimated cost Building \$ 1,190.00

Structure.....

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated .....

General construction .....  
Frame — Brick — Stucco — Etc.

Have you applied to the Industrial Commission for a permit under the State Building Code?.....

Has the permit been granted?.....

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks: .....

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure DR. RICH. R. BYRNE Arch. or Contr. SCHNEIDER. SCHWEITZER. ASSOC.

Address 1030 E. THORNE LN Address 4465 N. OAKLAND

Phone..... Phone 332-4166

Size of Structure.....(sq. ft.) Permit Fee \$ 0.00 herewith tendered

Date Submitted July 14 1975

Date Approved 7-18-75

Date of Permit 7-21-75

Signed George J. Schneider  
ARCHITECT  
Architect, Owner, Builder

No. 7435

# Application and Record

Plumber Blau Plumbing  
Address 1221 W. Fairview Ave  
Tel. No. 258-4010

Village of Fox Point  
7200 N. Santa Monica Blvd.  
Fox Point, WI 53217  
351-8900

Owner Richard Byrne  
Address 1030 E. Thorne Ln.  
Date July 22, 19 93

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a ..... inch ..... laying a ..... inch .....  
builder sewer from Main to Lot line water service from Main to Lot line  
to Building to Building  
at

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>4151</u>
Water	
Street	
Meter	
Water Usage	

1030 E. Thorne Ln. ..... Fox Point, Wis.  
Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. 3836 ..... Frank Blau ..... Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS	
No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters	Sprinkling System
Wash. Mach. Wastes	Urinals
Bidets	
Catch Basins	

FEES	
Water Usage	\$ .....
Building Sewer	.....
Water Service	.....
Building Drain	.....
Fixtures	.....
Water Meter	.....
Total	<u>\$30.00</u>
Deposit to cover street repairs	<u>Receipt # 32810</u>

..... Permit Clerk

A ..... inch ..... water service pipes laid in .....  
Curb box is located ..... feet ..... of ..... feet ..... of .....

..... inch ..... Water Meter No. .... Date Installed .....

A ..... inch ..... sanitary sewer connection was made in .....  
..... feet ..... of manhole .....

A ..... inch ..... storm sewer connection was made in .....  
..... feet ..... of manhole .....

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved ..... Application Approved ..... 19 .....

As Built ..... Water and Plumbing Inspector

REMARKS	DISCREPANCY RECORD

#11  
License No. 4-30-83

Permit No. 10252  
Rec # 8082

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date 3-20-82

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1030 E THORN LANE  
(Give exact street and number. Do not give corner)

Elec. Contractor Johnson ECU Address W 220 N 1560 JERICHO CT

Builder KNUCKER Address WNSK 53186

Owner D.P. Bryne Address -

What is occupancy of the building  
NEW   
EXIST

1. Outlets	6	each	\$ .30	1.80
2. Fixtures	4	each	.25	1.00
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.		each lamp	.25	
4. Audible or visual devices		per device	.50	
5. Exhaust and ventilating fans and their control (below 1 H.P.)		each	2.00	
6. Built-in electric heaters; bathroom, nursery, etc.		each	3.00	
7. Garbage Disposal		each	3.00	
8. Dishwasher		each	3.00	
9. Clothes dryer		each	3.00	
10. Range or other receptacles over 150 volts		each	3.00	
11. Water heater		each	3.00	
12. Automatic heating equipment — gas, oil, coal		each	3.00	
13. Automatic water systems		each	3.00	
14. Refrigerating, air conditioning, etc., machines		each	3.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.		per ft.	.10	
16. Dimmers or Time Clocks		each	2.00	
17. Vacuum and Inert-Gas tube sign		each transformer	3.00	
18. Incandescent Signs, studded lights		per socket	.25	
19. Arc and mercury lamps, spot and floodlights (mogul base)		each	1.00	
20. Motors, each horsepower or fraction thereof each motor	1	H.P.	.25	25
21. Generators, rectifiers, transformers, etc.		per K.W.	.25	
22. Feeders or subfeeders No. 3 B & S gauge or larger		each	5.00	
23. Raceways, wireways, busways, gutters		per ft.	.25	
24. Electric heating devices (other than those listed above)		per K.W.	1.00	
25. Service equipment — 0-100 amps. new or overhauling		per disconnect	5.00	
Service equipment — 100 amps. to 600 amps.		per disconnect	10.00	
Service equipment — over 600 amps.		per disconnect	15.00	
26. Temporary service, etc. (3 month period)			10.00	
27. Motion picture, stereopticon and x-ray machines, etc.		each	5.00	
28. Re-inspection after time limit on notice			10.00	
29. Minimum fee for any permit requiring separate inspection		MINIMUM FEE	10.00	
30. Double fee shall be charged for any work started before filing an application for a permit		FEES DOUBLE		

TOTAL FEES 10.00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point.

REMARKS: BETH Remodch

NOTE: Electrical contractor shall quote his permit number and the address of the job when requesting inspections.

Date Approved 3-25-83  
Signature R.M. Johnson (Supervising Electrician)  
Roughing in Address W. 220 N. 1560 JERICHO CT  
Temp. City WNSH Zip Code 53186  
Final 4-21-83 Telephone 549-3777

Rec # 37285  
11/22/77

License No. 66

SHEET 1 - ELECTRICAL INSPECTOR'S COPY

Permit No. 9104

1829

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date November 16, 1977

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1030 East Thorn Lane  
(Give exact street and number. Do not give corner)

Elec. Contractor Green Tree Electric Inc Address 6933 N. Fort Washington

Builder \_\_\_\_\_ Address \_\_\_\_\_

Owner Dr. Richard Byrne Address \_\_\_\_\_

What is occupancy of the building  NEW  OLD Residence

1. Outlets.....	1	each	.....\$ .20	20
2. Fixtures.....		each	..... .15	
3. Fixtures - fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp	..... .15	
4. Audible or visual devices.....		per device	..... .20	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each	..... .50	
6. Built-in electric heaters; bathroom, nursery, etc.....		each	..... 2.00	
7. Garbage Disposal.....		each	..... 2.00	
8. Dishwasher.....		each	..... 2.00	
9. Clothes dryer.....		each	..... 2.00	
10. Range or other receptacles over 150 volts.....		each	..... 3.00	
11. Water heater.....		each	..... 3.00	
12. Automatic heating equipment - gas, oil, coal.....		each	..... 3.00	
13. Automatic water systems.....		each	..... 2.00	
14. Refrigerating, air conditioning, etc., machines.....		each	..... 2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft.	..... .05	
16. Dimmers or Time Clocks.....		each	..... 1.00	
17. Vacuum and Inert-Gas tube sign.....		each transformer.....	..... 1.00	
18. Incandescent Signs, studded lights.....		per socket	..... .10	
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each	..... .50	
20. Motors, each horsepower or fraction thereof each motor.....		H.P.	..... .20	
21. Generators, rectifiers, transformers, etc.....		per K.W.	..... .15	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	..... 5.00	
23. Raceways, wireways, busways, gutters.....		per ft.	..... .10	
24. Electric heating devices (other than those listed above) <u>Baseboard</u>	<u>2</u>	per K.W.	..... .50	<u>1.00</u>
25. Service equipment - 0-100 amps. new or overhauling.....		per disconnect	..... 2.00	
Service equipment - 100 amps. to 600 amps.....		per disconnect	..... 6.00	
Service equipment - over 600 amps.....		per disconnect	..... 8.00	
26. Temporary service, etc. (3 month period).....			..... 3.00	
27. Motion picture, stereopticon and x-ray machines, etc.....		each	..... 3.00	
28. Re-inspection after time limit on notice.....			..... 2.00	
29. Minimum fee for any permit requiring separate inspection.....		MINIMUM FEE	..... 5.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....		FEE DOUBLE	.....	
TOTAL FEES.....				<u>\$ 500</u>

77-2494

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS: \_\_\_\_\_

Date for Inspection \_\_\_\_\_ Date Approved \_\_\_\_\_ Signature Walter Kaiser  
(Supervising Electrician)  
 Address 6933 N. Fort Washington Rd  
 City Milwaukee  
 Zone 53217 Telephone 352-7650

Roughing in \_\_\_\_\_  
 Temp. \_\_\_\_\_  
 Final 11/25/77 11-28-77

Make check Payable to Treasurer, Village of Fox Point.

**VILLAGE OF FOX POINT**

Receipt #: 2645

January 12 1996

Received of : WM. A. ZACHOW & SONS, INC.

Amount

Forty and 00/100----- \$\*\*\*\*\*40.00

CATEGORY NUMBER

ACCOUNT NUMBER

AMOUNT

120

R1044470

40.00

CHECK:

40.00

VILLAGE OF FOX POINT

Have a Nice Day  
and thank you very much

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX  
MDP 01/12/1996 09:47 AM \*\*\*\*\*40.00

# VILLAGE OF FOX POINT

Receipt #: 11435

April 14 1997

Received of : EDWARD SUCHORSKI

Amount

Sixty and 00/100----- \$\*\*\*\*\*60.00

CATEGORY NUMBER

ACCOUNT NUMBER

AMOUNT

120

R1044440

60.00

CHECK:

60.00

VILLAGE OF FOX POINT

Have a Nice Day  
and thank you very much

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX  
MDP 04/14/1997 11:14 AM \*\*\*\*\*60.00



Village of Fox Point, Milwaukee County, Wisconsin  
**Inspector of Buildings Department**

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises..... ~~1030~~ 1030 Thorn Lane ..... Fox Point

Owner..... Richard Byrne .....

**This is to Certify,** that electrical work done under Permit No. 14201 ..... issued by this

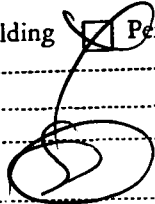
DEPARTMENT to HOP SERVICE ..... is in conformity with the provisions of the Electrical Code of the Village of Fox Point, Milwaukee County, Wisconsin.

INSTALL:

- Service to Temporary Pole
- Temporary Service and Meter to Building
- Permanent Service to Building
- Hot Water Heater Service and Meter
- Other

Remarks: .....

Dated 1/22/64, 19.....

  
Electrical Inspector, Village of Fox Point.

# VILLAGE OF FOX POINT

Receipt #: 2555

January 8 1996

Received of : H & D SERVICE

Amount

----- \$\*\*\*\*\*80.00

Eighty and 00/100-----

CATEGORY NUMBER	ACCOUNT NUMBER	AMOUNT
-----------------	----------------	--------

120	R1044430	40.00
110	R1044110	40.00

CHECK: 80.00

VILLAGE OF FOX POINT

Have a Nice Day  
and thank you very much

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX  
MDP 01/08/1996 08:32 AM \*\*\*\*\*80.00



VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

No. 2736 10/19/54  
chk.

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

1. Location 1030 E. THORNE LANE  
(Give exact street and number. Do not give corner.)
2. Owner Louis GREENBAUM, JR.
3. Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_
4. Building or structure residence
5. Contractor Bentley Electric Co. License No. \_\_\_\_\_

	Number	Rate of Fees	Fees
6. Lighting Outlets		@	\$ .10
7. Fixtures		"	.05
8. Range Circuit or Outlet		"	1.00
9. Range Connection		"	1.00
10. Water Heaters & other Heating Devices	1st Kilowatt	"	1.00
	Each Additional Kilowatt	"	.10
11. Refrigerating Machines		"	2.00
12. Oil Burners and Stokers		"	1.00
13. Temporary Permits	Inspection per Hour	"	2.00
14. Motors	H.P.-H.P.-H.P. per H.P.	"	.10
15. Studded Lights including their Individual Outlets		"	.05
16. Rectifiers and Transformers		"	1.00

Estimated cost \$ \_\_\_\_\_ Total fees 2.00

Date of inspection { Wiring 10-19-54 19  
Fixtures 19

Note: Minimum Fee \$1.00

Enclosed please find \$ \_\_\_\_\_

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Bentley Electric Co.  
Address 646 St. 29th St  
Milw 46, Wis.

Village of Fox Point, Milwaukee County, Wisconsin

1829

# Inspector of Buildings Department

## Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises 1030 E. Thorne Lane ..... Fox Point

Owner Louis Greenbaum, Jr. .....

**This is to Certify,** that electrical work done under Permit No. 3204 ..... issued by this

DEPARTMENT to Bentley Electric Co. ..... is in conformity with  
the provisions of the Building Code of the Village of Fox Point, Milwaukee County, Wis.

Install: Service  ..... Meters  .....

Remarks Hot Water Heater. .....

Dated February 16, 1955 19.....

Electrical Inspector, Village of Fox Point.

Village of Fox Point, Milwaukee County, Wisconsin

# Inspector of Buildings Department

Certificate of Electrical Inspection

1829

To Wis. Elec. Power Co.: Relative to

Premises..... **1030 E. Thorne Lane** ..... *Fox Point*

Owner..... **Louis Greenbaum, Jr.** .....

**This is to Certify,** that electrical work done under Permit No. **3204** issued by this

DEPARTMENT to **Bentley Electric Co.** is in conformity with  
the provisions of the Building Code of the Village of Fox Point, Milwaukee County, Wis.

Install: Service  ..... Meters

Remarks..... **Temporary Service** .....

Dated..... **April 6,** 19 **54** .....

Electrical Inspector, Village of Fox Point.

Village of Fox Point, Milwaukee County, Wisconsin

# Inspector of Buildings Department

1829

## Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises.....1030 E. Thorne Lane.....Fox Point

Owner.....Louis Greenbaum Jr.....

**This is to Certify,** that electrical work done under Permit No.....3436.....issued by this

DEPARTMENT to.....Bentley Electric Co.....is in conformity with  
the provisions of the Building Code of the Village of Fox Point, Milwaukee County, Wis.

Install: Service .....Meters

Remarks.....Temporary Service on house.....

Dated.....10-21-54.....19.....

Electrical Inspector, Village of Fox Point.

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

8340 N. Lake Dr.

32944-1-54  
No. ~~3284~~ Chk  
ASH.

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

- 1. Location 1030 E. Thorne Lane  
(Give exact street and number. Do not give corner.)
- 2. Owner Louis Greenebaum, Jr.
- 3. Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_
- 4. Building or structure residence
- 5. Contractor Bentley Electric Company License No. \_\_\_\_\_

	Number	Rate of Fees		Fees
6. Lighting Outlets		173 @	\$ .10	17.30
7. Fixtures		65 "	.05	3.25
8. Range Circuit or Outlet		1 "	1.00	1.00
9. Range Connection		"	1.00	
10. Water Heaters & other Heating Devices	1st Kilowatt	14	1.00	14.00
	Each Additional Kilowatt		.10	
11. Refrigerating Machines		"	2.00	
12. Oil Burners and Stokers		"	1.00	
13. Temporary Permits	1	Inspection per Hour	2.00	2.00
14. Motors	2 fractional	H.P.-H.P.-H.P. per H.P.	.10	.20
15. Studded Lights including their Individual Outlets		"	.05	
16. Rectifiers and Transformers		"	1.00	

Estimated cost \$ \_\_\_\_\_ Total fees 26.05

Date of inspection { Wiring will call 19 \_\_\_\_\_ Note: Minimum Fee \$1.00  
 { Fixtures will call 19 \_\_\_\_\_

Enclosed please find \$ \_\_\_\_\_

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Bentley Electric Co. L. Jost  
Address 646 S 29



847

Rec # 25781  
10-31-68

License No. 115

SHEET 1 — ELECTRICAL INSPECTOR'S COPY

Permit No. 7243

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date. Oct. 29, 1968

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1030 East Thorne Lane  
(Give exact street and number. Do not give corner)

Elec. Contractor Green Tree Electric Address 6933 N. Port Washington Rd.

Builder \_\_\_\_\_ Address \_\_\_\_\_

Owner R. Byrne Address 1030 East Thorne Lane

What is occupancy of the building  NEW  OLD Residence

1. Outlets.....	5	each	\$.15		.75
2. Fixtures.....		each	.10		
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp	.10		
4. Audible or visual devices.....		per device	.10		
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each	.50		
6. Built-in electric heaters; bathroom, nursery, etc.....		each	.50		
7. Garbage Disposal.....		each	.50		
8. Dishwasher.....		each	.50		
9. Clothes dryer.....		each	.50		
10. Range or other receptacles over 150 volts.....		each	.50		
11. Water heater.....		each	.50		
12. Automatic heating equipment — gas, oil, coal.....		each	2.00		
13. Automatic water systems.....		each	1.00		
14. Refrigerating, air conditioning, etc., machines.....		each	2.00		
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft.	.03		
16. Dimmers or Time Clocks.....		each	.50		
17. Vacuum and Inert-Gas tube sign.....		each transformer	.50		
18. Incandescent Signs, studded lights.....		per socket	.05		
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each	.25		
20. Motors, each horsepower or fraction thereof each motor.....		H. P.	.15		
21. Generators, rectifiers, transformers, etc.....		K. W.	.10		
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	1.00		
23. Raceways, wireways, busways, gutters.....		per ft.	.05		
24. Electric heating devices (other than those listed above).....	6KW	first kilowatt	.50		.50
25. Service equipment — 0-100 amps. new or overhauling.....		per disconnect	1.00		
Service equipment — 100 amps. to 600 amps.....		per disconnect	2.00		
Service equipment — over 600 amps.....		per disconnect	4.00		
26. Temporary service, etc. (3 month period).....			2.00		
27. Motion picture, stereopticon and x-ray machines, etc.....		each	2.00		
28. Re-inspection after time limit on notice.....			2.00		
29. Minimum fee for any permit requiring separate inspection.....		<b>MINIMUM FEE</b>	2.00		
30. Double fee shall be charged for any work started before filing an application for a permit.....		<b>FEES DOUBLE</b>			
31. Final inspection for permit number.....			.50		

68-3866

TOTAL FEES.....

2.00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS:

( 6 KW of electric baseboard heat )

Date for Inspection	Date Approved	Signature <u>Walter Kaur</u> (Supervising Electrician)
Roughing in		Address <u>6933 N. Pt. Washington Rd.</u>
Temp		City <u>Milwaukee, Wis.</u>
Final <u>Ready</u>	<u>11-1-68</u>	Zone <u>53217</u> Telephone <u>352-7650</u>

Make check Payable to Treasurer, Village of Fox Point.

1829

Rec. # 19839  
4-8-64  
No. 4203 ✓

VILLAGE OF FOX POINT  
MILWAUKEE COUNTY, WISCONSIN

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure PAN'S BASEMENT  
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

House Number 1030 E. Thorne La

Lot ..... Block .....

Subdivision .....

District A-1

Does contemplated structure violate the Village zoning ordinance? No

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction: W.D. PAN'S LG Exterior finish None  
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms 0. N.G. Baths.....

Estimated cost { Garage .....  
Building 1500.00  
Structure.....

Is there a private garage? EXIST'G

Does the contemplated garage violate the Village zoning ordinance?.....

Size..... Number of stalls.....

Where situated .....

General construction .....  
Frame — Brick — Stucco — Etc.

Have you applied to the Industrial Commission for a permit under the State Building Code?.....

Has the permit been granted?.....

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks: Rec. Rm IN BASEMENT

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure L. GREENERBAUM Arch. or Contr. Paradise Co.

Address 1030 E. Thorne La Address 8326 N. Poplar Dr.

Phone..... Phone FL 2-6865

Size of Structure.....(sq. ft.) Permit Fee \$6.00 herewith tendered

Date Submitted 4/8/64

Date Approved 4-8-64

Signed Don Plachuck

Date of Permit.....

Architect, Owner, Builder

# SEWER AND PLUMBING DEPARTMENT

Permit No. 1760 Application No. 1866 Fox Point, Wis. April 19, 1954

Permission is hereby given to do the necessary draining and plumbing work on the premises of Louis Grenebaum described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

*Meters & Bounds*

being No. 1030 on the North side of E. Thorn Lane

The above named is permitted to employ Roy Rempert a Licensed

Plumber for the purpose of laying a 6 inch Clay Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in Manhole

~~feet at front of lot~~

Or of laying a \_\_\_\_\_ inch \_\_\_\_\_ Storm Sewer Drain pipe

Fixtures with drain or water connection

No.	No.	No.	No.
Bath tubs <u>2</u>	Urinals	Wash Basins <u>4</u>	
Laundry tubs <u>1</u>	Sinks <u>2</u>	Water Closets <u>4</u>	
Basement drains <u>2</u>	Showers <u>1</u>	Hot Water Heater <u>1</u>	
	<b>DISHWASHER</b> <u>1</u>	Garbage Disposal <u>1</u>	

**NOTIFY INSPECTOR IMMEDIATELY BEFORE LAYING ANY OUTSIDE SEWER PIPES.**

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 56 of the Village of Fox Point and amendments.

95 ft trench  
 Received for Permit \$ 1.00 Dollars  
water heater  
 Received for Fixtures \$ 18@.50 9.00 Dollars

\$17.25

PLUMBING INSPECTOR  
R.R. Janswig  
 PERMIT CLERK

# WATER PERMIT

Permit No. 1265 Application No. 1866 Fox Point, Wis. April 19, 1954

Permission is hereby given to do the work necessary to supply with water the premises of

Louis Greenbaum described as follows:

Description

Lot

Blk.

Meters & Bounds

being No. 1030 on the North side of E. Thorn Lane

The above named is permitted to employ Roy A. Reupert a Licensed

Plumber for the purpose of laying a 1 inch Copper service pipe from Main to

Curb: a 1 inch Copper service pipe from curb to building at Same

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 66 of the Village of Fox Point and amendments.

Received for Permit \$ 1.00 Dollars

Received for Fixtures \$ \_\_\_\_\_ Dollars

Returns must be made on all work done.

WATER INSPECTOR

R. R. Janewig  
PERMIT CLERK

# SEWER AND PLUMBING DEPARTMENT

Permit No. 13603 Application No. 13650 Fox Point, WI 6/28/16 20  

Permission is hereby given to do the necessary plumbing work on the premises of  
described as follows:

\_\_\_\_\_

Lot    Block    Subdivision

\_\_\_\_\_

Located at 1070 E. Tiber Lane

The above named is permitted to employ Ben Reddings

License No. 1005238 for the purpose of laying a \_\_\_\_\_ inch \_\_\_\_\_.

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in  
\_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_

Laying a \_\_\_\_\_ inch \_\_\_\_\_ Building Storm Sewer \_\_\_\_\_

.....

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bids		Water Heaters	1	Water Closets	
Bath Tubs		Wash Machine Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Floor Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

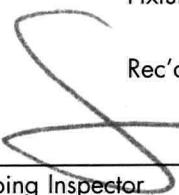
as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ \_\_\_\_\_

Fixtures \$ \_\_\_\_\_

Building Drain \$ \_\_\_\_\_

Rec'd for permit \$ 600<sup>00</sup>

  
 Plumbing Inspector

Receipt # \_\_\_\_\_

2.000148

# SEWER AND PLUMBING DEPARTMENT

Permit No. 13253 Application No. 13300 Fox Point, WI 3/2/15 20  

Permission is hereby given to do the necessary plumbing work on the premises of  
described as follows:

Lot
Block
Subdivision

Located at 1030 E Tiborn Lane

The above named is permitted to employ Steve Saraven

License No. 227090 for the purpose of laying a \_\_\_\_\_ inch \_\_\_\_\_.

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in  
\_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_

Laying a \_\_\_\_\_ inch \_\_\_\_\_ Building Storm Sewer \_\_\_\_\_

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bids		Water Heaters		Water Closets	1
Bath Tubs		Wash Machine Waste		Showers	1
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Floor Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks	2	Wash Basins		Urinals	

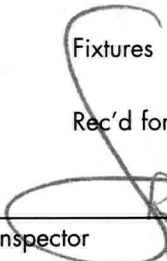
as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ \_\_\_\_\_

Fixtures \$ \_\_\_\_\_

Building Drain \$ \_\_\_\_\_

Rec'd for permit \$ 60.00

  
 Plumbing Inspector Receipt #  
49334

**SEWER AND PLUMBING DEPARTMENT**

Permit No. 10678 Application No. 6724 Fox Point, WI 9/9/15 20  

Permission is hereby given to do the necessary plumbing work on the premises of  
described as follows:

\_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

Located at 1030 E Thom Lane

The above named is permitted to employ Steve Streck

License No. 70500 for the purpose of laying a \_\_\_\_\_ inch \_\_\_\_\_

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in  
\_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_

Laying a \_\_\_\_\_ inch \_\_\_\_\_ Building Storm Sewer \_\_\_\_\_

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	1
Drinking Fountains		Dishwashers	1	Sprinkling Systems	
Sinks	1	Wash Basins		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ \_\_\_\_\_

Fixtures \$ 5<sup>00</sup>

Building Drain \$ \_\_\_\_\_

Rec'd for Permit \$ Receipt #

\_\_\_\_\_  
Plumbing Inspector

14962

**APPLICATION FOR A TEMPORARY  
OR CONTRACTOR SIGN  
VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD.  
FOX POINT, WI 53217  
(414)351-8900**

Date 7/12/00

Name of homeowner Joseph J. Balistreri Phone 540-6425

Address of property where sign will be erected 1030 E Thom Lane

Type of sign to be erected:

- Temporary
- Contractor
- Development
- Other

Name and address of contractor \_\_\_\_\_

Expected start date of project \_\_\_\_\_

Expected completion date of project \_\_\_\_\_

Square footage of sign 4ft

Signature of Applicant Joseph J. Balistreri

(Homeowner must sign for contractor sign)

**For Village Use Only**

Date received 7/17 Fee Paid 40.00 Receipt 34604

Date approved by Building Inspector/Village Manager 7/19/00

Date copy sent to Police Department 7/19/00

Permit expiration date 90 days - 10/19/00



**SEWER AND PLUMBING DEPARTMENT**

Permit No. 7818 Application No. 7904 Fox Point, WI 1/11/96 19   

Permission is hereby given to do the necessary plumbing work on the premises of \_\_\_\_\_  
described as follows:

Lot	Block	Subdivision

Located at 1030 Titlow Lane

The above named is permitted to employ Bill Zerkow

License No. MP 394 for the purpose of laying a \_\_\_\_\_ inch \_\_\_\_\_

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in \_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_

Laying a \_\_\_\_\_ inch \_\_\_\_\_ Building Storm Sewer \_\_\_\_\_

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps	2	Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ \_\_\_\_\_

Fixtures \$ 402

Building Drain \$ \_\_\_\_\_

Rec'd for Permit \$ Receipt # 2645

\_\_\_\_\_  
Plumbing Inspector

**SEWER AND PLUMBING DEPARTMENT**

Permit No. 4151 Application No. 7435 Fox Point, WI 8/17/93 19    

Permission is hereby given to do the necessary plumbing work on the premises of \_\_\_\_\_ described as follows:

\_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

Located at 1020 E Thomas Court

The above named is permitted to employ Frank Blum

License No. MP353 for the purpose of laying a \_\_\_\_\_ inch \_\_\_\_\_

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in \_\_\_\_\_ feet \_\_\_\_\_ of \_\_\_\_\_

Laying a \_\_\_\_\_ inch \_\_\_\_\_ Building Storm Sewer \_\_\_\_\_

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters	1	Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ \_\_\_\_\_

Building Drain \$ \_\_\_\_\_

Fixtures \$ \_\_\_\_\_

Rec'd for Permit \$ \_\_\_\_\_

\_\_\_\_\_  
Plumbing Inspector

32  
Receipt #32810

# SEWER AND PLUMBING DEPARTMENT

Permit No. 5783 Application No. 5954 Fox Point, Wis. March 17, 1983

Permission is hereby given to do the necessary draining and plumbing work on the premises of A. Richard Byrne described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

being No. 1030 on the North side of E. Thorne Lane

The above named is permitted to employ Norman M. Krauer a Licensed Plumber for the purpose of laying a \_\_\_\_\_ inch \_\_\_\_\_ Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in \_\_\_\_\_

feet \_\_\_\_\_ of \_\_\_\_\_

Or of laying a \_\_\_\_\_ inch \_\_\_\_\_ Storm Sewer Drain pipe \_\_\_\_\_

**Fixtures with drain or water connection**

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	<u>1</u>
Bath Tubs	<u>1</u>	Wash Mach. Waste		Showers	<u>1</u>
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling System	
Sinks		Wash Basins	<u>1</u>	Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Received for Permit \$..... Dollars

Received for Fixtures \$..... Dollars

Est. P. Krauer  
PLUMBING INSPECTOR

License No. 115

SHEET 2 — VILLAGE'S COPY

Rec. # 25781  
10-31-68

Permit No. 7243

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date. Oct. 29, 1968

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1030 East Thorne Lane  
(Give exact street and number. Do not give corner)

Elec. Contractor Green Tree Electric Address 6933 N. Port Washington Rd.

Builder \_\_\_\_\_ Address \_\_\_\_\_

Owner R. Byrne Address 1030 East Thorne Lane

What is occupancy of the building  NEW  OLD Residence

1. Outlets.....	5	each .....	\$.15		.75
2. Fixtures.....		each .....	.10		
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp .....	.10		
4. Audible or visual devices.....		per device .....	.10		
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each .....	.50		
6. Built-in electric heaters; bathroom, nursery, etc.....		each .....	.50		
7. Garbage Disposal.....		each .....	.50		
8. Dishwasher.....		each .....	.50		
9. Clothes dryer.....		each .....	.50		
10. Range or other receptacles over 150 volts.....		each .....	.50		
11. Water heater.....		each .....	.50		
12. Automatic heating equipment — gas, oil, coal.....		each .....	2.00		
13. Automatic water systems.....		each .....	1.00		
14. Refrigerating, air conditioning, etc., machines.....		each .....	2.00		
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft. ....	.03		
16. Dimmers or Time Clocks.....		each .....	.50		
17. Vacuum and Inert-Gas tube sign.....		each transformer.....	.50		
18. Incandescent Signs, studded lights.....		per socket .....	.05		
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each .....	.25		
20. Motors, each horsepower or fraction thereof each motor.....		H. P. ....	.15		
21. Generators, rectifiers, transformers, etc.....		K. W. ....	.10		
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each .....	1.00		
23. Raceways, wireways, busways, gutters.....		per ft. ....	.05		
24. Electric heating devices (other than those listed above).....	6KW	first kilowatt .....	.50		.50
25. Service equipment — 0-100 amps. new or overhauling.....		per disconnect .....	1.00		
Service equipment — 100 amps. to 600 amps.....		per disconnect .....	2.00		
Service equipment — over 600 amps.....		per disconnect .....	4.00		
26. Temporary service, etc. (3 month period).....		.....	2.00		
27. Motion picture, stereopticon and x-ray machines, etc.....		each .....	2.00		
28. Re-inspection after time limit on notice.....		.....	2.00		
29. Minimum fee for any permit requiring separate inspection.....		<b>MINIMUM FEE</b> .....	2.00		
30. Double fee shall be charged for any work started before filing an application for a permit.....		<b>FEES DOUBLE</b> .....			
31. Final inspection for permit number.....		.....	.50		

68-3866

TOTAL FEES.....

2.00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS:

( 6 KW of electric baseboard heat )

Date for Inspection	Date Approved	Signature <u>Walter Kaiser</u> (Supervising Electrician)
Roughing in		Address <u>6933 N. Pt. Washington Rd.</u>
Temp.		City <u>Milwaukee, Wis.</u>
Final <u>Ready</u>		Zone <u>53217</u> Telephone <u>352-7650</u>

Make check Payable to Treasurer, Village of Fox Point.

Plumber ROY REUPERT

No. 1886

Drainlayer

Address 3406 NW VILLARD AVE

# Application and Record

Owner L. GREENBAUM JR.

Address 1440 NO. WILSON DR.

Fox Point, Wis., APRIL 19, 1954

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of Plumbing + Drainage consisting of

laying a 6" inch clay drain pipe from Main to Curb service pipe from Main to Curb; to lot line to premises at a 1/2 inch service pipe from curb to building at No. 1030 Thorne Lane

### PERMITS ISSUED

Kind	No.
Sewer and Plumbing	<u>1760</u>
Water	<u>1265</u>
Street	<u>1189</u>
Meter	<u>1236</u>

the following premises owned by JAMES GREENBAUM Name of owner 1030 THORNE LANE Address

Description	Lot	Block
<u>Mites + Bounds</u>		

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 2584

Roy A Reupert Plumber

### FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Bath Tubs <u>2</u>	Wash Basins <u>4</u>
Ice Box	Water Closets <u>4</u>
Laundry Tubs <u>1</u>	Showers <u>1</u>
Sanitary Bubblers	Basement Drains <u>2</u>
Sinks <u>2</u>	disposal <u>1</u>
Urinals	dish washer <u>1</u>
	water heater <u>1</u>

FEES	
Settling trench	<u>1.00</u>
Storm Sewer Connection	<u>7.25</u>
Sanitary Sewer Connection	<u>1.00</u>
Water Connection	<u>9.00</u>
Fixtures	<u>2.00</u>
Water Meter	<u>30.25</u>
Total	<u>50.00</u>
Deposit to cover street repairs	

A. 1 inch Copper water service pipe was laid in N. side of E. Thorne Lane

Curb box is located 3 FT W of manhole 10 FT S from manhole 5 FT 19" FT 4" of manhole 5 FT N of manhole

A. 6 inch clay sanitary sewer connection was made in N. side of N. Thorne Lane manhole curb in front of lot

A. \_\_\_\_\_ inch \_\_\_\_\_ storm sewer connection was made in \_\_\_\_\_ feet \_\_\_\_\_ of manhole \_\_\_\_\_

Outside Drain	House Drain	Report	Inspection Soil and Under Floor	Report	Final Inspection	Return	Water
<u>7-30-54</u>	<u>7-9-54</u>	<u>OK</u>	<u>7-9-54</u>	<u>OK</u>	<u>4-15-54</u>	<u>OK</u>	On
							On
							Off
							Off

Installation Approved 4-15-54 Application Approved April 19-54  
As Built W-8 5-15-1 Water and Plumbing Inspector

### REMARKS

### COMPLAINT RECORD

3/4 A Badger Meter #5134115  
meter set 12/2/54  
95 ft trench Sewer  
50 \$5.00  
45 2.25  
\$7.25  
Water for const. of bldg  
pd on water Per #1246 \$26.53

G.D. Rec # 8873  
4/20/54  
W.U. Rec # 3028  
4/20/54  
RLJ

Owner L. GREENBAUM.

Plumber ROY-REV PERT

Permit No. 1866

Street 1030-THORN LANE

1829

*[Faint vertical text, possibly bleed-through from the reverse side]*

*[Faint vertical text, possibly bleed-through from the reverse side]*



Owner R. Byrne

Address 1030 E. Thorn Lane

Permit No. 5955

Plumber Kramer





**Wisconsin Department of Safety and Professional Services**

**Credential/Licensing Search**

**Trade Search Results**

[Return to Search](#)

Total Result Count: 3

Credential/License ID	Name	City,State,Zip	Profession	Expiration
1005238	<u>REDELINGS, BENJAMIN MICHAEL</u>	NEOSHO WI 53059	Plumbing Apprentice	11/9/2010
1005238	<u>REDELINGS, BENJAMIN MICHAEL</u>	NEOSHO WI 53059	Master Plumber	3/31/2017
1005238	<u>REDELINGS, BENJAMIN MICHAEL</u>	NEOSHO WI 53059	Journeyman Plumber	3/31/2014

[Return to Search](#)

Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.  
Send questions or comments to [dsps@wisconsin.gov](mailto:dsps@wisconsin.gov).

Receipt No: 8.000396

May 13, 2015

1030 E THORN LANE

LICENSES & PERMITS-COMPLIANCE PERMIT 100.00  
24-44410 COMPLIANCE PERMIT

Total: 100.00

CHECK Chk No: 1744 100.00  
Payor: JOSEPH & KAREN BALISTRERI

Total Applied: 100.00

Change Tendered: .00

05/13/15 12:20pm

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT, WI 53217

414-351-8900

10057

2 #1

3) GFCI breaker

4

1000

INSPECTION DEPARTMENT  
7200 N. SANTA MONICA BLVD.  
FOX POINT, WI 53217

(414) 351-8900

APPLICATION FOR INSPECTION AND  
ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date 12-13-95  
Building Address 1030 E. Thorne Ln  
Owner of Building Richard & Mary Ann Byrne  
Owner's Address if different than above       

Building Owner's Telephone (414) 352-4962  
Proposed Occupant's Name (if known) UNKNOWN  
Proposed Occupant's Address         
Proposed Occupant's Telephone ( - )

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner X Proposed Occupant        Other       

Richard Byrne  
Applicant's Signature

1030 E. Thorne Ln  
Applicant's Address  
Fox Point WI 53217

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

For Office Use Only:  
No. 3842 Date Received 12/14/95  
Amount \$100.00 Receipt 313  
Inspection made 12/12/95  
Signature

~~1~~ Tank Permit / closure status

~~2~~ Planned stop

~~3~~ of water system

~~4~~ Remove sink ~~Basin A~~

~~5~~ Cover sink ~~Basin A~~

~~6~~ Tap's supported

(3) WMS under a log

7 Load coils

~~8~~ A/c upside down 1986 / after man to furnace

~~9~~ Temp. light point  
card cut Phoenix

~~10~~ - cover out. Box ~~Basin A~~  
By G.

~~11~~ Label - label whelped

~~12~~ Stop support room

~~13~~ #18

~~14~~

1 8's 502 Poly

2 Stop #4 to chp

3 No stress mix + #10 Rep

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date April 7, 1964

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1030 E. Thorne Lane  
(Give exact street and number. Do not give corner)

Elec. Contractor Green Tree Electric Address 6933 N. Port Washington Rd.

Builder Polacheck Address \_\_\_\_\_

Owner Mr. Greenbaum Address \_\_\_\_\_

What is occupancy of the building NEW  OLD

1. Outlets.....	<u>11</u>	each	..... \$ .15	<u>1.65</u>
2. Fixtures.....	<u>3</u>	each	..... .10	<u>.30</u>
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp	..... .10	
4. Audible or visual devices.....		per device	..... .10	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each	..... .50	
6. Built-in electric heaters; bathroom, nursery, etc.....	<u>2</u>	each	..... .50	<u>1.00</u>
7. Garbage Disposal.....		each	..... .50	
8. Dishwasher.....		each	..... .50	
9. Clothes dryer.....		each	..... .50	
10. Range or other receptacles over 150 volts.....		each	..... .50	
11. Water heater.....		each	..... .50	
12. Automatic heating equipment — gas, oil, coal.....		each	..... 2.00	
13. Automatic water systems.....		each	..... 1.00	
14. Refrigerating, air conditioning, etc., machines.....		each	..... 2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft.	..... .03	
16. Dimmers or Time Clocks.....		each	..... .50	
17. Vacuum and Inert-Gas tube sign.....		each transformer	..... .50	
18. Incandescent Signs, studded lights.....		per socket	..... .05	
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each	..... .25	
20. Motors, each horsepower or fraction thereof each motor.....		H. P.	..... .15	
21. Generators, rectifiers, transformers, etc.....		K. W.	..... .10	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	..... 1.00	
23. Raceways, wireways, busways, gutters.....		per ft.	..... .05	
24. Electric heating devices (other than those listed above).....		first kilowatt	..... .50	
25. Service equipment — 0-100 amps. new or overhauling.....		per disconnect	..... 1.00	
Service equipment — 100 amps. to 600 amps.....		per disconnect	..... 2.00	
Service equipment — over 600 amps.....		per disconnect	..... 4.00	
26. Temporary service, etc. (3 month period).....			..... 2.00	
27. Motion picture, stereopticon and x-ray machines, etc.....		each	..... 2.00	
28. Re-inspection after time limit on notice.....			..... 2.00	
29. Minimum fee for any permit requiring separate inspection.....		<b>MINIMUM FEE</b>	..... 2.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....		<b>FEEES DOUBLE</b>	.....	
31. Final inspection for permit number.....			..... .50	

64-886

TOTAL FEES.....

2.95

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS:.....

Date for Inspection	Date Approved	Signature
	<u>4-9-64</u>	<u>Walter J. Kaiser</u> (Supervising Electrician)
Roughing in		Address <u>6933 N. Port Washington Rd.</u>
Temp		City <u>Milwaukee, Wisconsin</u>
Final		Zone <u>17</u> Telephone <u>FL 2-7650</u>

Make check Payable to Treasurer, Village of Fox Point.

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

Date April 7, 1964

TO THE ELECTRICAL INSPECTOR

The undersigned hereby applies for a permit for the execution of electrical work for light, heat or power as hereinafter described.

Location 1030 W. Thayer Lane

(Give exact street and number. Do not give corner.)

Electric Contractor Green Tree Electric

Inspector Polachek

Overseer Mr. Greenbaum

What is the nature of the building NEW

1. Outdoor lighting	each	1.55	1	1.55
2. Outdoor lighting	each	.30	10	3.00
3. Outdoor lighting	each	1.00	10	10.00
4. Outdoor lighting	each	1.00	10	10.00
5. Outdoor lighting	each	1.00	10	10.00
6. Outdoor lighting	each	1.00	10	10.00
7. Outdoor lighting	each	1.00	10	10.00
8. Outdoor lighting	each	1.00	10	10.00
9. Outdoor lighting	each	1.00	10	10.00
10. Outdoor lighting	each	1.00	10	10.00
11. Outdoor lighting	each	1.00	10	10.00
12. Outdoor lighting	each	1.00	10	10.00
13. Outdoor lighting	each	1.00	10	10.00
14. Outdoor lighting	each	1.00	10	10.00
15. Outdoor lighting	each	1.00	10	10.00
16. Outdoor lighting	each	1.00	10	10.00
17. Outdoor lighting	each	1.00	10	10.00
18. Outdoor lighting	each	1.00	10	10.00
19. Outdoor lighting	each	1.00	10	10.00
20. Outdoor lighting	each	1.00	10	10.00
21. Outdoor lighting	each	1.00	10	10.00
22. Outdoor lighting	each	1.00	10	10.00
23. Outdoor lighting	each	1.00	10	10.00
24. Outdoor lighting	each	1.00	10	10.00
25. Outdoor lighting	each	1.00	10	10.00
26. Outdoor lighting	each	1.00	10	10.00
27. Outdoor lighting	each	1.00	10	10.00
28. Outdoor lighting	each	1.00	10	10.00
29. Outdoor lighting	each	1.00	10	10.00
30. Outdoor lighting	each	1.00	10	10.00
31. Outdoor lighting	each	1.00	10	10.00
32. Outdoor lighting	each	1.00	10	10.00
33. Outdoor lighting	each	1.00	10	10.00
34. Outdoor lighting	each	1.00	10	10.00
35. Outdoor lighting	each	1.00	10	10.00
36. Outdoor lighting	each	1.00	10	10.00
37. Outdoor lighting	each	1.00	10	10.00
38. Outdoor lighting	each	1.00	10	10.00
39. Outdoor lighting	each	1.00	10	10.00
40. Outdoor lighting	each	1.00	10	10.00
41. Outdoor lighting	each	1.00	10	10.00
42. Outdoor lighting	each	1.00	10	10.00
43. Outdoor lighting	each	1.00	10	10.00
44. Outdoor lighting	each	1.00	10	10.00
45. Outdoor lighting	each	1.00	10	10.00
46. Outdoor lighting	each	1.00	10	10.00
47. Outdoor lighting	each	1.00	10	10.00
48. Outdoor lighting	each	1.00	10	10.00
49. Outdoor lighting	each	1.00	10	10.00
50. Outdoor lighting	each	1.00	10	10.00
51. Outdoor lighting	each	1.00	10	10.00
52. Outdoor lighting	each	1.00	10	10.00
53. Outdoor lighting	each	1.00	10	10.00
54. Outdoor lighting	each	1.00	10	10.00
55. Outdoor lighting	each	1.00	10	10.00
56. Outdoor lighting	each	1.00	10	10.00
57. Outdoor lighting	each	1.00	10	10.00
58. Outdoor lighting	each	1.00	10	10.00
59. Outdoor lighting	each	1.00	10	10.00
60. Outdoor lighting	each	1.00	10	10.00
61. Outdoor lighting	each	1.00	10	10.00
62. Outdoor lighting	each	1.00	10	10.00
63. Outdoor lighting	each	1.00	10	10.00
64. Outdoor lighting	each	1.00	10	10.00
65. Outdoor lighting	each	1.00	10	10.00
66. Outdoor lighting	each	1.00	10	10.00
67. Outdoor lighting	each	1.00	10	10.00
68. Outdoor lighting	each	1.00	10	10.00
69. Outdoor lighting	each	1.00	10	10.00
70. Outdoor lighting	each	1.00	10	10.00
71. Outdoor lighting	each	1.00	10	10.00
72. Outdoor lighting	each	1.00	10	10.00
73. Outdoor lighting	each	1.00	10	10.00
74. Outdoor lighting	each	1.00	10	10.00
75. Outdoor lighting	each	1.00	10	10.00
76. Outdoor lighting	each	1.00	10	10.00
77. Outdoor lighting	each	1.00	10	10.00
78. Outdoor lighting	each	1.00	10	10.00
79. Outdoor lighting	each	1.00	10	10.00
80. Outdoor lighting	each	1.00	10	10.00
81. Outdoor lighting	each	1.00	10	10.00
82. Outdoor lighting	each	1.00	10	10.00
83. Outdoor lighting	each	1.00	10	10.00
84. Outdoor lighting	each	1.00	10	10.00
85. Outdoor lighting	each	1.00	10	10.00
86. Outdoor lighting	each	1.00	10	10.00
87. Outdoor lighting	each	1.00	10	10.00
88. Outdoor lighting	each	1.00	10	10.00
89. Outdoor lighting	each	1.00	10	10.00
90. Outdoor lighting	each	1.00	10	10.00
91. Outdoor lighting	each	1.00	10	10.00
92. Outdoor lighting	each	1.00	10	10.00
93. Outdoor lighting	each	1.00	10	10.00
94. Outdoor lighting	each	1.00	10	10.00
95. Outdoor lighting	each	1.00	10	10.00
96. Outdoor lighting	each	1.00	10	10.00
97. Outdoor lighting	each	1.00	10	10.00
98. Outdoor lighting	each	1.00	10	10.00
99. Outdoor lighting	each	1.00	10	10.00
100. Outdoor lighting	each	1.00	10	10.00

TOTAL PERMITS 2.00

The undersigned hereby certifies that the above information is true and correct to the best of his knowledge and belief and that he is duly licensed and qualified to perform the work herein described.



Date Approved \_\_\_\_\_ Date for Inspection \_\_\_\_\_

Inspector \_\_\_\_\_

Overseer \_\_\_\_\_

Address 1030 W. Thayer Lane

City Milwaukie, OR

State OR

Make two copies of this permit, Village of Fox Point.



# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date **May 1, 1964**

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location **1030 E. Thorne Lane**  
(Give exact street and number. Do not give corner)

Elec. Contractor **GREEN TREE ELECTRIC** Address **6933 N. Port Wash. Rd.**

Builder **Polacheck Builders** Address **8326 N. Poplar Dr.**

Owner **Greenbaum** Address **1030 E. Thorne Lane**

What is occupancy of the building  NEW  OLD **residence**

1. Outlets.....	each	.....	\$ .15	
2. Fixtures.....	each	.....	.10	
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....	each lamp	.....	.10	
4. Audible or visual devices.....	per device	.....	.10	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....	each	.....	.50	
6. Built-in electric heaters; bathroom, nursery, etc.....	each	.....	.50	
7. Garbage Disposal.....	each	.....	.50	
8. Dishwasher.....	each	.....	.50	
9. Clothes dryer.....	each	.....	.50	
10. Range or other receptacles over 150 volts.....	each	.....	.50	
11. Water heater.....	each	.....	.50	
12. Automatic heating equipment — gas, oil, coal.....	each	.....	2.00	
13. Automatic water systems.....	each	.....	1.00	
14. Refrigerating, air conditioning, etc., machines.....	each	.....	2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....	per ft.	.....	.03	
16. Dimmers or Time Clocks.....	each	.....	.50	
17. Vacuum and Inert-Gas tube sign.....	each transformer.....	.....	.50	
18. Incandescent Signs, studded lights.....	per socket	.....	.05	
19. Arc and mercury lamps, spot and floodlights (mogul base).....	each	.....	.25	
20. Motors, each horsepower or fraction thereof each motor.....	H. P.	.....	.15	
21. Generators, rectifiers, transformers, etc.....	K. W.	.....	.10	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....	each	.....	1.00	
23. Raceways, wireways, busways, gutters.....	per ft.	.....	.05	
24. Electric heating devices (other than those listed above).....	first kilowatt	.....	.50	
25. Service equipment — 0-100 amps. new or overhauling.....	per disconnect	.....	1.00	
Service equipment — 100 amps. to 600 amps.....	per disconnect	.....	2.00	
Service equipment — over 600 amps.....	per disconnect	.....	4.00	
26. Temporary service, etc. (3 month period).....	.....	.....	2.00	
27. Motion picture, stereopticon and x-ray machines, etc.....	each	.....	2.00	
28. Re-inspection after time limit on notice.....	.....	.....	2.00	
29. Minimum fee for any permit requiring separate inspection.....	<b>MINIMUM FEE</b>	.....	2.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....	<b>FEES DOUBLE</b>	.....	.....	
31. Final inspection for permit number <b>6279</b> .....	.....	.....	.50	<b>50</b>
<b>TOTAL FEES.....</b>				<b>50</b>

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS: **64-886**

Date for Inspection	Date Approved	Signature
Roughing in.....	.....	<i>Walter J. Kasper</i> (Supervising Electrician)
Temp.....	.....	Address <b>GREEN TREE ELECTRIC</b>
Final <b>May 4, 1964</b>	<b>6-2-64</b>	City <b>6933 N. PT. WASHINGTON RD.</b>
		Zone <b>MILWAUKEE WIS.</b>
		Telephone.....

Make check Payable to Treasurer, Village of Fox Point.

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

Date May 1, 1964

TO THE ELECTRICAL INSPECTOR:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereinafter prescribed.

Location 1030 E. Thorne Lane

(Give exact street and number. Do not give corner.)

Contractor GREEN TREE ELECTRIC  
 Address 6933 N. Port Wash. Rd.

Builder Polscheck Builders  
 Address 8326 N. Poplar Dr.

Owner Greenbaum  
 Address 1030 E. Thorne Lane

What is occupancy of the building residence

NEW  
 OLD

No.	Description	Quantity	Unit Price	Total
1	Outlet	each	1.15	
2	Knobouts	each	1.10	
3	Fuses - fluorescent and Edison, fuses, mercury vapor	each lamp	1.10	
4	Audible or visual devices	per device	1.10	
5	Exhaust and ventilating fans and fans, kitchen, laundry, etc.	each	2.00	
6	British electric heaters, radiators, rangers, etc.	each	2.50	
7	Garbage disposal	each	2.50	
8	Handwheels	each	2.50	
9	Clutch dryer	each	2.50	
10	Ranges or other receptacles over 150 v. heaters	each	2.50	
11	Water heaters	each	2.50	
12	Automatic heating equipment - per sq. ft. heat	each	2.00	
13	Automatic water systems	each	1.00	
14	Refrigerating, air conditioning, etc. mechanical	each	2.00	
15	Strip lighting, pin in strip, not in track, etc.	per ft.	0.05	
16	Dimmer or Time Clocks	each	2.00	
17	Vacuum and heater tube clean	each	2.50	
18	Incandescent dimmable lights	per socket	0.05	
19	Air and mercury lamps, spot and floodlight (not in base)	each	0.25	
20	Motor, each horsepower or fraction thereof each motor	H.P.	1.5	
21	Transformers, resistors, condensers, etc.	L.W.	1.0	
22	Refrigerator or sub-refrigerator No. 3 B & S range or heater	each	1.00	
23	Refrigerator, window, highway, etc.	per ft.	0.05	
24	Electric heating devices (other than those listed above)	first allowed	2.0	
25	Service equipment - 0-100 amp. per amp. or equivalent	per disconnect	1.00	
26	Service equipment - 100 amp. or 500 amp.	per disconnect	2.00	
27	Service equipment - over 500 amp.	per disconnect	4.00	
28	Telephone service, etc. (to be paid)		2.00	
29	Motor picture, reproduction and key machines, etc.	each	2.00	
30	Refrigerator, machine line, etc.		2.00	
31	Minimum fee for any permit requiring separate inspection	MINIMUM FEE	2.00	
32	Extra fee shall be charged for any work requiring separate inspection	FEES DOUBLE		
33	Permit fee for a permit		2.00	
34	Final inspection for permit number <u>6279</u>		2.00	
TOTAL FEES				<u>50</u>

If it hereby noted between the undersigned as owner, his agent, or someone under his name at Fox Point and for and in consideration of the sum of \$50.00 to be paid by the undersigned as owner, his agent, or someone under his name at Fox Point, the undersigned hereby certifies that the work described herein was done in accordance with the provisions of the Electrical Code of the Village of Fox Point, and that the undersigned is a duly licensed electrician in the State of Wisconsin under number 6279 of the State of Wisconsin.



64-886

Permitting firm GREEN TREE ELECTRIC  
 Address 6933 N. Port Wash. Rd.  
 City Waukegan  
 State Ill.

Date Approved May 1, 1964

Permitting Authority Greenbaum  
 Address 1030 E. Thorne Lane  
 City Waukegan  
 State Ill.

Please check Permittee to Fox Point, Village of Fox Point.

License No. **61**

SHEET 2 - VILLAGE'S COPY

Permit No. **6290**

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date **May 1, 1964**

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location **1030 E. Thorne Lane**  
(Give exact street and number. Do not give corner)

Elec. Contractor **GREEN TREE ELECTRIC** Address **6933 N. Port Wash. Rd.**

Builder **Polacheck Builders** Address **8326 N. Poplar Dr.**

Owner **Greenbaum** Address **1030 E. Thorne Lane**

What is occupancy of the building NEW  OLD  **residence**

1. Outlets.....	each	\$ .15	
2. Fixtures.....	each	.10	
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....	each lamp	.10	
4. Audible or visual devices.....	per device	.10	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....	each	.50	
6. Built-in electric heaters; bathroom, nursery, etc.....	each	.50	
7. Garbage Disposal.....	each	.50	
8. Dishwasher.....	each	.50	
9. Clothes dryer.....	each	.50	
10. Range or other receptacles over 150 volts.....	each	.50	
11. Water heater.....	each	.50	
12. Automatic heating equipment — gas, oil, coal.....	each	2.00	
13. Automatic water systems.....	each	1.00	
14. Refrigerating, air conditioning, etc., machines.....	each	2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....	per ft.	.03	
16. Dimmers or Time Clocks.....	each	.50	
17. Vacuum and Inert-Gas tube sign.....	each transformer	.50	
18. Incandescent Signs, studded lights.....	per socket	.05	
19. Arc and mercury lamps, spot and floodlights (mogul base).....	each	.25	
20. Motors, each horsepower or fraction thereof each motor.....	H. P.	.15	
21. Generators, rectifiers, transformers, etc.....	K. W.	.10	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....	each	1.00	
23. Raceways, wireways, busways, gutters.....	per ft.	.05	
24. Electric heating devices (other than those listed above).....	first kilowatt	.50	
25. Service equipment — 0-100 amps. new or overhauling.....	per disconnect	1.00	
Service equipment — 100 amps. to 600 amps.....	per disconnect	2.00	
Service equipment — over 600 amps.....	per disconnect	4.00	
26. Temporary service, etc. (3 month period).....		2.00	
27. Motion picture, stereopticon and x-ray machines, etc.....	each	2.00	
28. Re-inspection after time limit on notice.....		2.00	
29. Minimum fee for any permit requiring separate inspection.....	<b>MINIMUM FEE</b>	2.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....	<b>FEES DOUBLE</b>		
31. Final inspection for permit number <b>6279</b> .....		.50	<b>50</b>
<b>TOTAL FEES.....</b>			<b>50</b>

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS: **64-886**

Date for Inspection	Date Approved	Signature <i>Walter J. Kany</i> (Supervising Electrician)
Roughing in		Address <b>GREEN TREE ELECTRIC</b>
Temp		City <b>6933 N. PT. WASHINGTON RD.</b>
Final <b>May 4, 1964</b>		Zone Telephone <b>MILWAUKEE WIS.</b>

Make check Payable to Treasurer, Village of Fox Point.

NAME OF DONOR

ADDRESS

CITY

POST OFFICE

STATE

COUNTY



1. Name of the donee (individual or organization) to whom the gift is made. If the donee is an individual, give the name and address. If the donee is an organization, give the name and address of the organization and the name and address of the individual to whom the gift is made.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

1. Name of the donee (individual or organization) to whom the gift is made. If the donee is an individual, give the name and address. If the donee is an organization, give the name and address of the organization and the name and address of the individual to whom the gift is made.

2. Description of the gift.

3. Date of the gift.

4. Fair market value of the gift at the time it was given.

5. Name of the donor.

6. Address of the donor.

7. City of the donor.

8. State of the donor.

9. County of the donor.

10. ZIP code of the donor.

11. Name of the donee.

12. Address of the donee.

13. City of the donee.

14. State of the donee.

15. County of the donee.

16. ZIP code of the donee.

17. Name of the donee.

18. Address of the donee.

19. City of the donee.

20. State of the donee.

21. County of the donee.

22. ZIP code of the donee.

23. Name of the donee.

24. Address of the donee.

25. City of the donee.

26. State of the donee.

27. County of the donee.

28. ZIP code of the donee.

29. Name of the donee.

30. Address of the donee.

31. City of the donee.

32. State of the donee.

33. County of the donee.

34. ZIP code of the donee.

35. Name of the donee.

36. Address of the donee.

37. City of the donee.

38. State of the donee.

39. County of the donee.

40. ZIP code of the donee.

41. Name of the donee.

42. Address of the donee.

43. City of the donee.

44. State of the donee.

45. County of the donee.

46. ZIP code of the donee.

47. Name of the donee.

48. Address of the donee.

49. City of the donee.

50. State of the donee.

51. County of the donee.

52. ZIP code of the donee.

53. Name of the donee.

54. Address of the donee.

55. City of the donee.

56. State of the donee.

57. County of the donee.

58. ZIP code of the donee.

59. Name of the donee.

60. Address of the donee.

61. City of the donee.

62. State of the donee.

63. County of the donee.

64. ZIP code of the donee.

65. Name of the donee.

66. Address of the donee.

67. City of the donee.

68. State of the donee.

69. County of the donee.

70. ZIP code of the donee.

71. Name of the donee.

72. Address of the donee.

73. City of the donee.

74. State of the donee.

75. County of the donee.

76. ZIP code of the donee.

77. Name of the donee.

78. Address of the donee.

79. City of the donee.

80. State of the donee.

81. County of the donee.

82. ZIP code of the donee.

83. Name of the donee.

84. Address of the donee.

85. City of the donee.

86. State of the donee.

87. County of the donee.

88. ZIP code of the donee.

89. Name of the donee.

90. Address of the donee.

91. City of the donee.

92. State of the donee.

93. County of the donee.

94. ZIP code of the donee.

95. Name of the donee.

96. Address of the donee.

97. City of the donee.

98. State of the donee.

99. County of the donee.

100. ZIP code of the donee.

ДЕБЪАКЛИМАЛ ОВ ЕВЕСЛІКСУТ ІНВЕСТИОН

Rec # 19843 4-9-64

License No. **61**

SHEET 2 - VILLAGE'S COPY

Permit No. **6279**

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date **April 7, 1964**

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location **1030 E. Thorne Lane**  
(Give exact street and number. Do not give corner)

Elec. Contractor **Green Tree Electric** Address **6933 N. Port Washington Rd.**

Builder **Polachek** Address

Owner **Mr. Greenbaum** Address

What is occupancy of the building NEW  OLD

1. Outlets.....	<b>11</b>	each	\$.15	<b>1.65</b>
2. Fixtures.....	<b>3</b>	each	.10	<b>.30</b>
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp	.10	
4. Audible or visual devices.....		per device	.10	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each	.50	
6. Built-in electric heaters; bathroom, nursery, etc.....	<b>2</b>	each	.50	<b>1.00</b>
7. Garbage Disposal.....		each	.50	
8. Dishwasher.....		each	.50	
9. Clothes dryer.....		each	.50	
10. Range or other receptacles over 150 volts.....		each	.50	
11. Water heater.....		each	.50	
12. Automatic heating equipment — gas, oil, coal.....		each	2.00	
13. Automatic water systems.....		each	1.00	
14. Refrigerating, air conditioning, etc., machines.....		each	2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft.	.03	
16. Dimmers or Time Clocks.....		each	.50	
17. Vacuum and Inert-Gas tube sign.....		each transformer	.50	
18. Incandescent Signs, studded lights.....		per socket	.05	
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each	.25	
20. Motors, each horsepower or fraction thereof each motor.....		H. P.	.15	
21. Generators, rectifiers, transformers, etc.....		K. W.	.10	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	1.00	
23. Raceways, wireways, busways, gutters.....		per ft.	.05	
24. Electric heating devices (other than those listed above).....		first kilowatt	.50	
25. Service equipment — 0-100 amps. new or overhauling.....		per disconnect	1.00	
Service equipment — 100 amps. to 600 amps.....		per disconnect	2.00	
Service equipment — over 600 amps.....		per disconnect	4.00	
26. Temporary service, etc. (3 month period).....			2.00	
27. Motion picture, stereopticon and x-ray machines, etc.....		each	2.00	
28. Re-inspection after time limit on notice.....			2.00	
29. Minimum fee for any permit requiring separate inspection.....		<b>MINIMUM FEE</b>	2.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....		<b>FEE DOUBLE</b>		
31. Final inspection for permit number.....			.50	

**64-886**

TOTAL FEES.....

**2.95**

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS:

Date for Inspection \_\_\_\_\_ Date Approved \_\_\_\_\_ Signature **Walter J. Kaiser**  
(Supervising Electrician)

Roughing in \_\_\_\_\_ Address **6933 N. Port Washington Rd.**

Temp. \_\_\_\_\_ City **Milwaukee, Wisconsin**

Final \_\_\_\_\_ Zone **17** Telephone **FL 2-7650**

Make check Payable to Treasurer, Village of Fox Point.

# DEPARTMENT OF ELECTRICAL INSPECTION

## Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR

The undersigned hereby applies for a permit for the execution of electrical installation for light heat or power as hereinafter described.

Location: 1000 W. Spring Lake

(Give street, street and number. Do not give corner)

Electrician: Edwin J. Smith

Address: 1000 W. Spring Lake

Address: 1000 W. Spring Lake

Address: 1000 W. Spring Lake

What is the occupancy of the building  
 NEW  OLD

1	Outlet	each	15
2	Switch	each	10
3	Fixtures - recessed, and surface, incandescent, mercury vapor	each lamp	10
4	Arresters or surge protectors	per device	10
5	Control and switching gear and devices (switches, etc.)	each	50
6	Ballast electric heaters, boilers, radiators, etc.	each	50
7	Transformers	each	50
8	Disturbance	each	50
9	Clamp covers	each	50
10	Ranges or other receptacles over 150 volts	each	50
11	Water heaters	each	50
12	Automatic heating equipment - see list	each	50
13	Automatic water systems	each	50
14	Refrigerating or conditioning equipment	each	50
15	City lighting, piping in city, residential, etc.	per ft.	50
16	Dimmers or time clocks	each	50
17	Vacuum and inert gas installations	each transformer	50
18	Incandescent lamps, tubular lamps	per socket	50
19	Air and mercury lamps, spot and floodlight (metal base)	each	50
20	Motors, electric, stationary or fraction, fractional horse power	H.P.	15
21	Generators, turbines, transformers, etc.	K.W.	10
22	Boilers or radiators, hot water, steam, etc.	each	1.00
23	Hot water, steam, radiators, etc.	per sq. ft.	50
24	Electric heating devices (other than those listed above)	per sq. ft.	50
25	Service equipment - 0-100 amperes, 120 volts	per disconnect	1.00
26	Service equipment - 100-500 amperes, 120 volts	per disconnect	2.00
27	Service equipment - over 500 amperes, 120 volts	per disconnect	4.00
28	Temporary service, etc. 15 month period	each	5.00
29	Motion picture station and wiring, etc.	each	5.00
30	Inspection after time limit on electric	each	5.00
31	Minimum fee for day permit requiring separate inspection	MINIMUM FEE	5.00
32	Charge fee shall be required for any work done before time	FEE DOUBLE	
33	an application for a permit		
34	Final inspection for permit number		
TOTAL FEES			50

It is hereby stated between the undersigned the owner, the electrician and the Village of Fox Point that the fee in consideration of the permit and the execution of electrical installation for light heat or power as above described, to be located and erected by the Electrician, and that the work thereon will be done in accordance with the Electrical Code and that it is further agreed to enter into an agreement with the Village of Fox Point for the purpose of the Village of Fox Point, the Village of Fox Point and the Village of Fox Point under authority of the State Engineer.

REMARKS



Signature	Date Approved	Date for Inspection
Address		
City		
Telephone		

Notes: Check Payable to Treasurer, Village of Fox Point.

PLAYROOM ADDITION

for

MR. & MRS. JOSEPH BALISTRERI  
1030 EAST THORN LAKE - FOX POINT

Edward A. Suchorski  
ARCHITECT  
8118 North Navajo Road  
Fox Point, Wisconsin 53217



GARAGE DOOR

STRINGER CAP  
5'-8"

2'-9" DOOR

2'-8"

5T @ 9"

3'-9"

3'-0"

UP

FURZED WALL

REMOVE WALL

DOWN  
TO BASEMENT

SEE SHEET  
109

EXISTING

LOWER FLOOR

FIRST FLOOR LEVEL

EXIST. WALL

2'-8"

1'-3"

DWARF  
WALL - 3'-0" H

3'-0"

FIRST FLOOR CLOSET

9'-3"

JOISTS BELOW

DOWN

REAR WALL

8'-2 1/2"

STAIR TO PLAY ROOM & GARAGE

SCALE 1 INCH = 1'-0"

RESIDENCE RENOVATION  
MR & MRS. JOSEPH BAUSTREZ  
THIRD LANE FOX POINT

Edward A. Suchonski  
ARCHITECT  
8118 North Navajo Road  
Fox Point, Wisconsin 53217

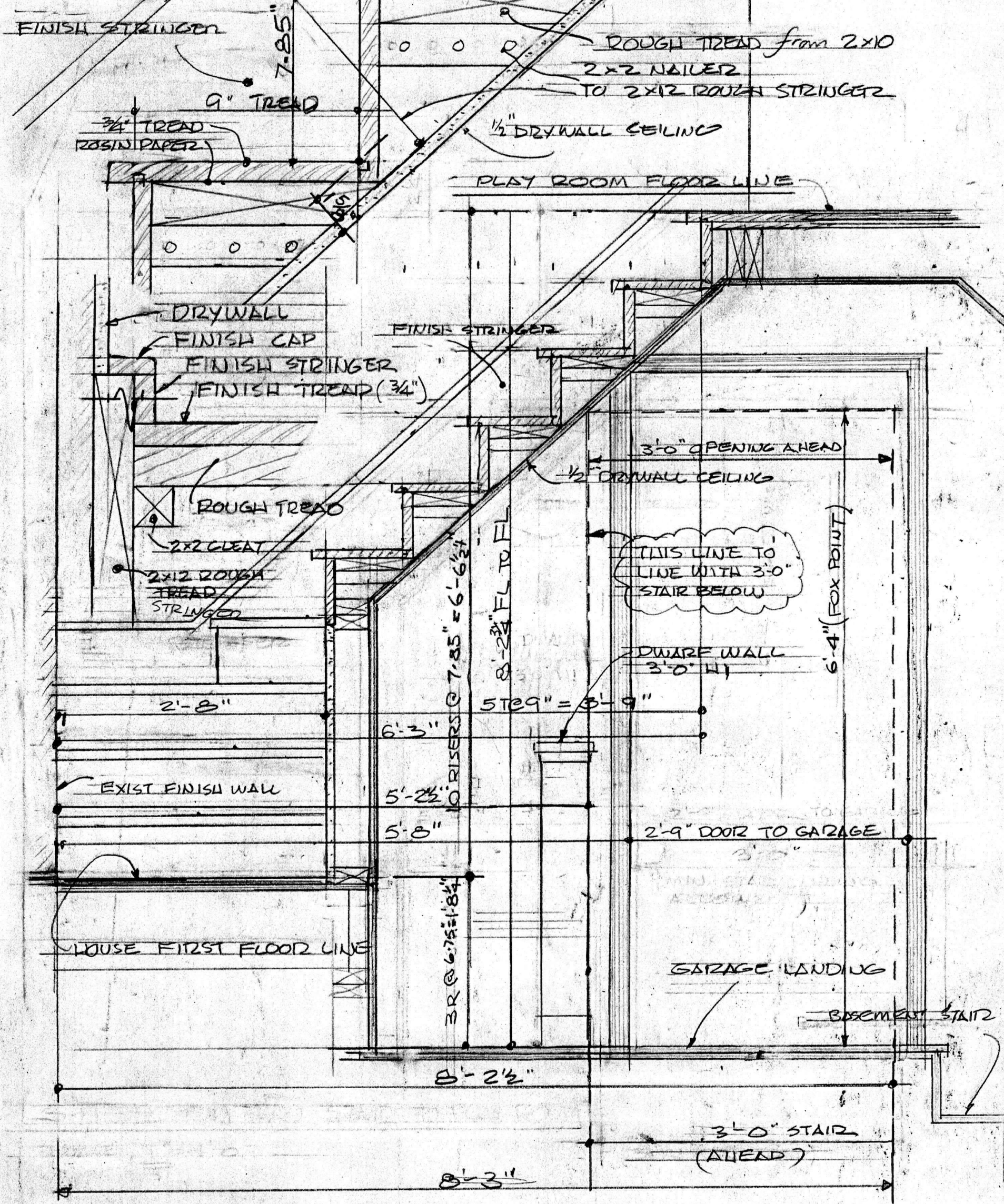
9-2-00  
JOB 201

106



STAIR DETAILS

SCALE 3" = 1'



S/N SECTION THRU STAIR TO PLAY ROOM

SCALE 1" = 1'-0"

RESIDENCE RENOVATION  
 MR & MRS JOSEPH BALISTRERI  
 1030 E. TUDOR FOX POINT

Edward A. Suchorski  
 ARCHITECT  
 8118 North Navajo Road  
 Fox Point, Wisconsin 53217

9.2.00  
 JOB 2017

**107**

PLAY ROOM FLOOR

10R @ 7.85 = 6'-6 1/2"

OPENING AT WALL

3'-0"

3'-0"

DWARF WALL

6'-4"

NOTE! WINDER SECTION TO BE CONSTRUCTED BY MILLWORK

FIRST FLOOR

3'-0" STAIR WIDTH

STAIR AHEAD OF THIS SECTION

GARAGE LANDING

CONSTRUCT SUPPORTING WALL DOWN TO BASEMENT FLOOR

GARAGE DOOR

6'-4" OPENING

MIN. STAIR CLEARANCE = 6'-4"

1'-8"

3RC @ 6.75 = 1'-8 1/4"

GARAGE LANDING

GARAGE FLOOR

EAST ELEVATION/SECTION OF REAR WALL (WEST)

SCALE 1" = 1'-0"

WEST/EAST SECTION

1 INCA

MIR & MRS JOSEPH BALISTREZI  
1030 E THORN LL FOX POINT

Edward A. Suchofski  
ARCHITECT  
8118 North Navajo Road  
Fox Point, Wisconsin 53217

9.2.66  
20  
108

SEE SHEET 106  
FOR NORTH STAIR  
RUN

NOTE! WINDER STAIR  
CONSTRUCTED "PLATFORM  
STYLE" WITH 2x FRAMING  
FOR SUPPORT

5/8" PLY  
ROUGH TREADS  
(OAK FINISH)

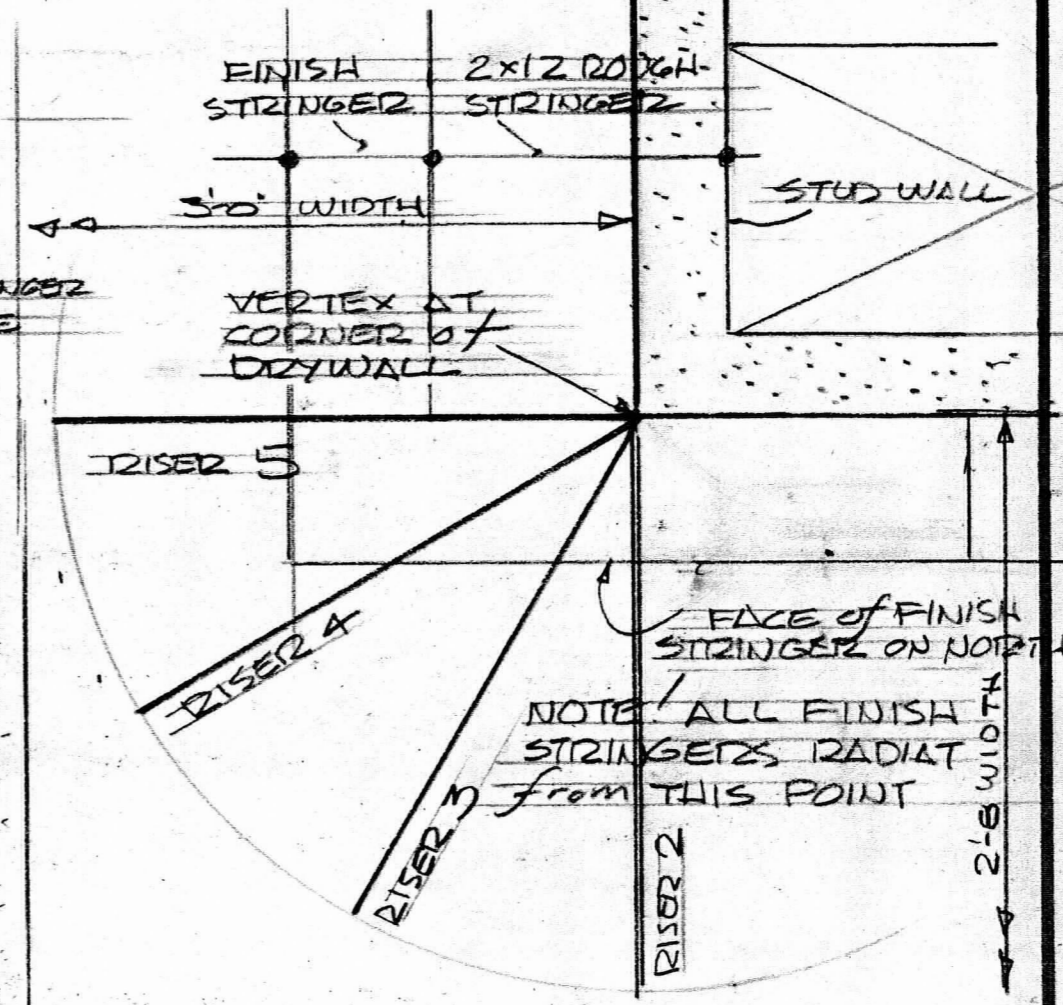
NOTE! ALL SECTIONS  
ARE AT 1/2" = 1'-0"

NOTE! for STAIR  
CONSTRUCTION from  
R25 THRU R10 SEE  
R6 SECTION ON 107

NOTE! WINDER  
ROUGH TREADS  
TO BE 5/8" PLYWOOD  
(PLATFORM STYLE  
WITH 2x FRAMING  
SUPPORT)

FINISH STRINGER  
APPLIED TO WALL  
SURFACE

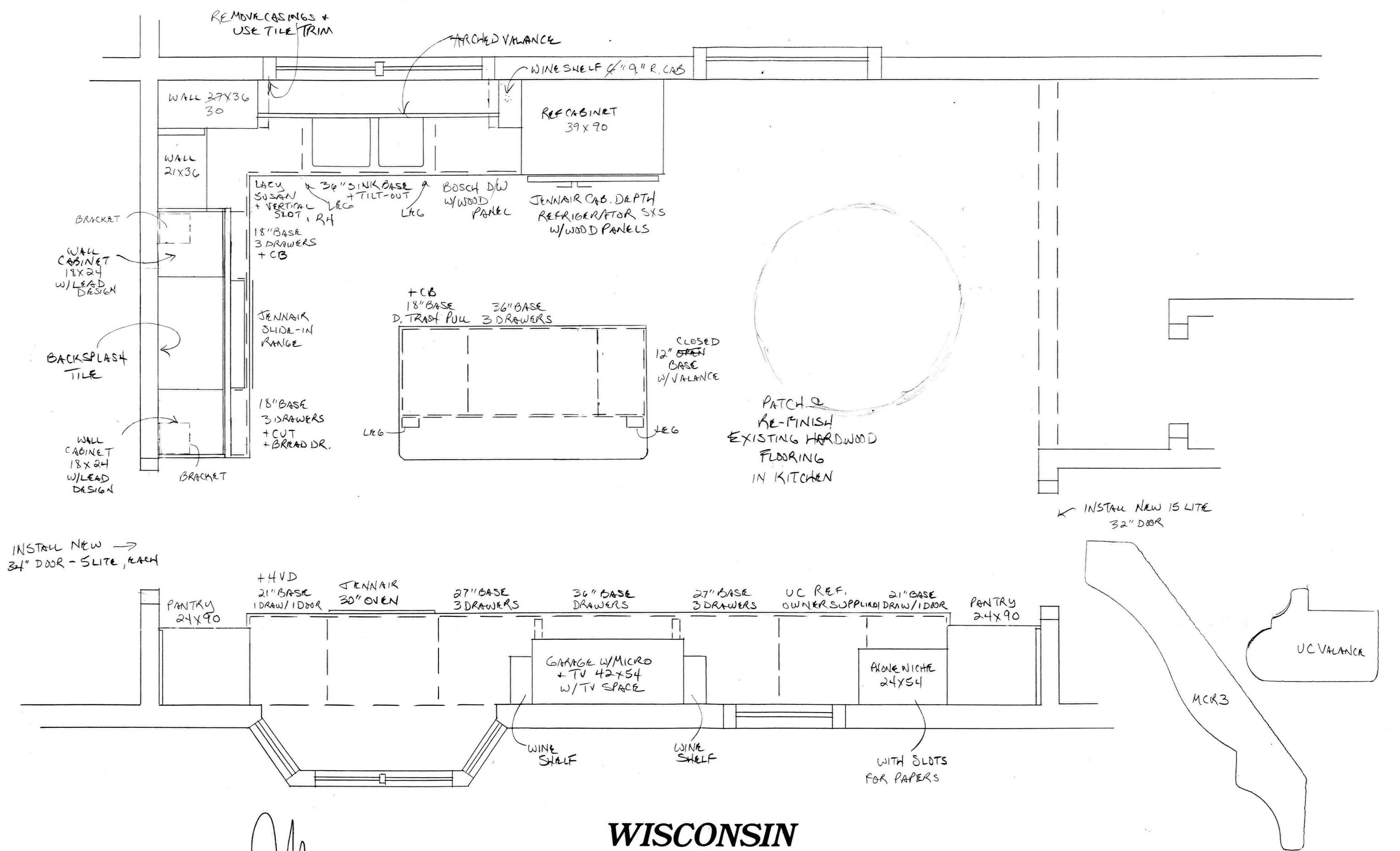
WINDER STAIR PLAN  
SCALE 1" = 1'-0"



FULL SIZE DIAGRAM  
of WINDER COMPONENTS

WINDER DETAILS

RESIDENCE RENOVATION	
MR & MRS JOSEPH BAUSTREIER	
1030 E THORN FOX POINT	
Edward A. Suchorski	9-2-09
ARCHITECT	JOB 201
8118 North Navajo Road	109
Fox Point, Wisconsin 53217	



DESIGNED FOR BALISTRERI

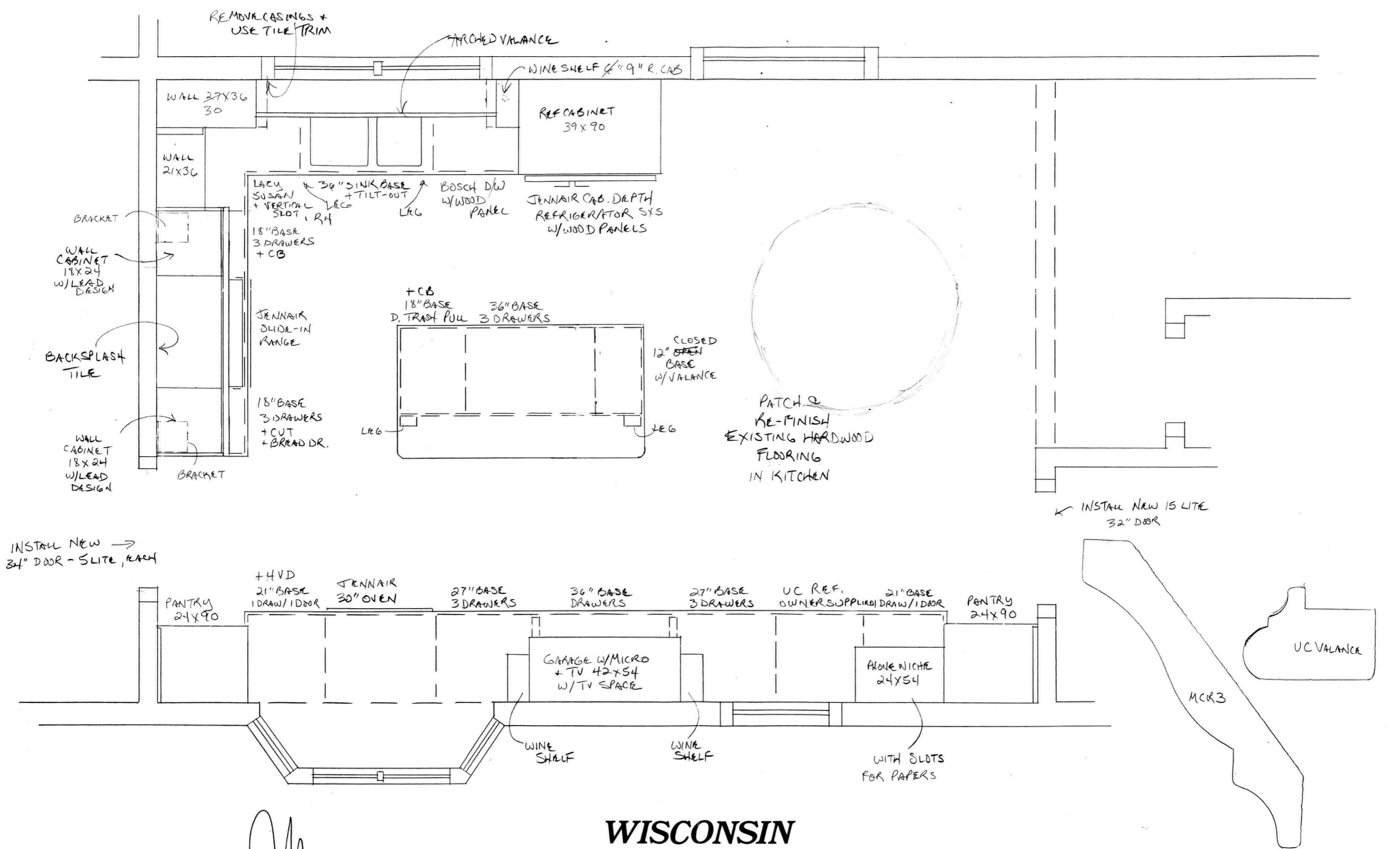
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CABINETRY



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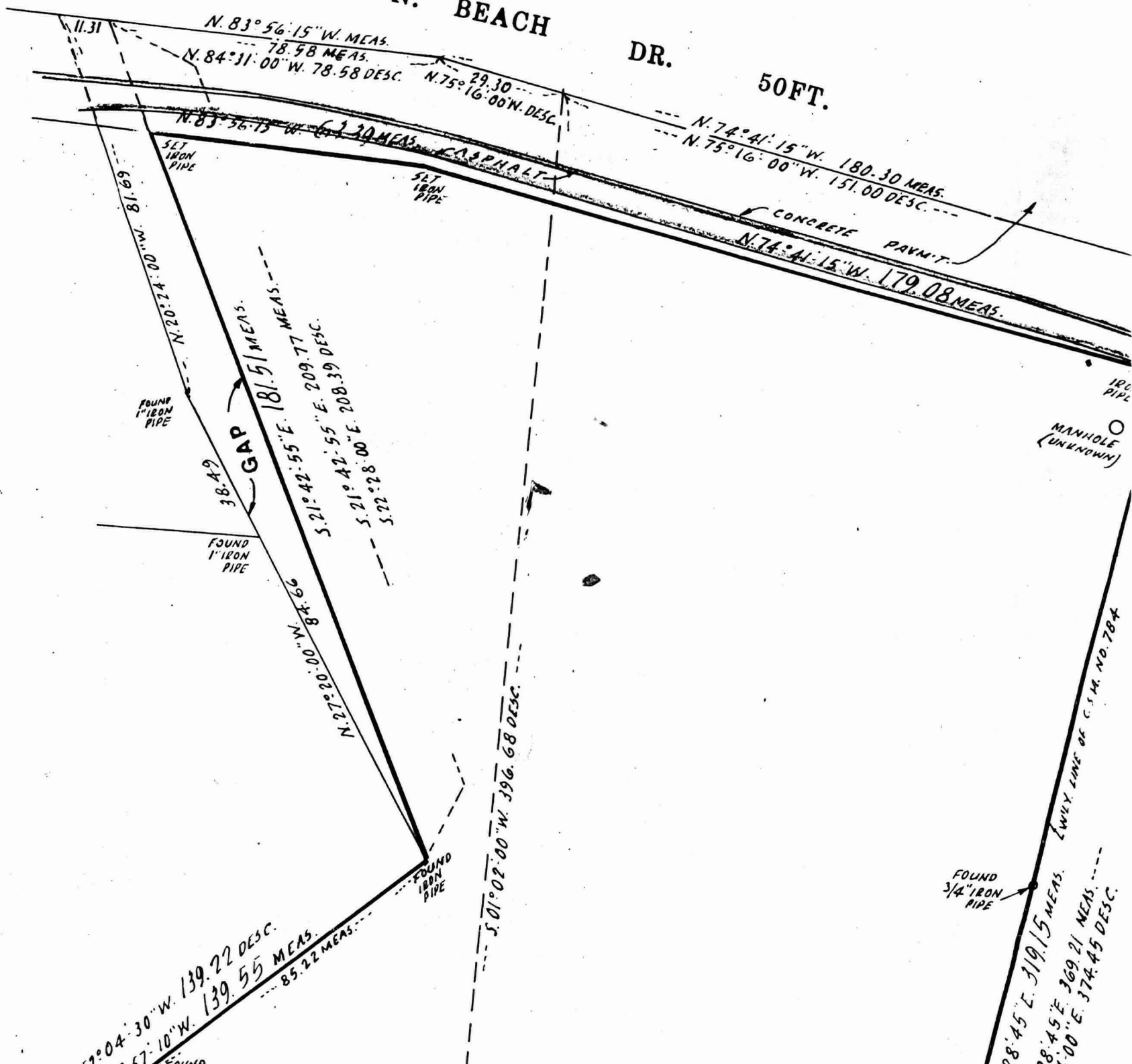
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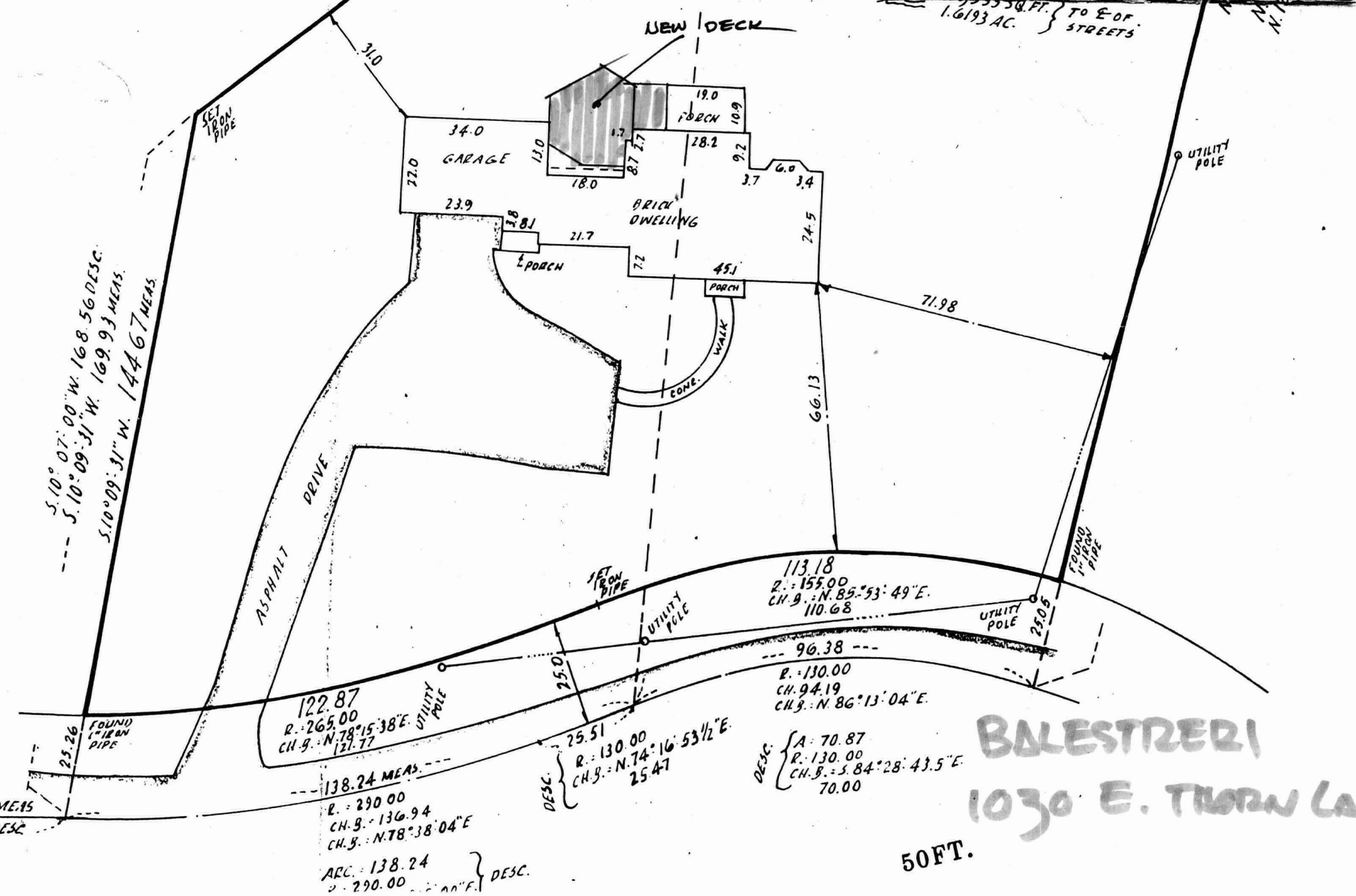
CABINETRY

N. BEACH DR.

50FT.

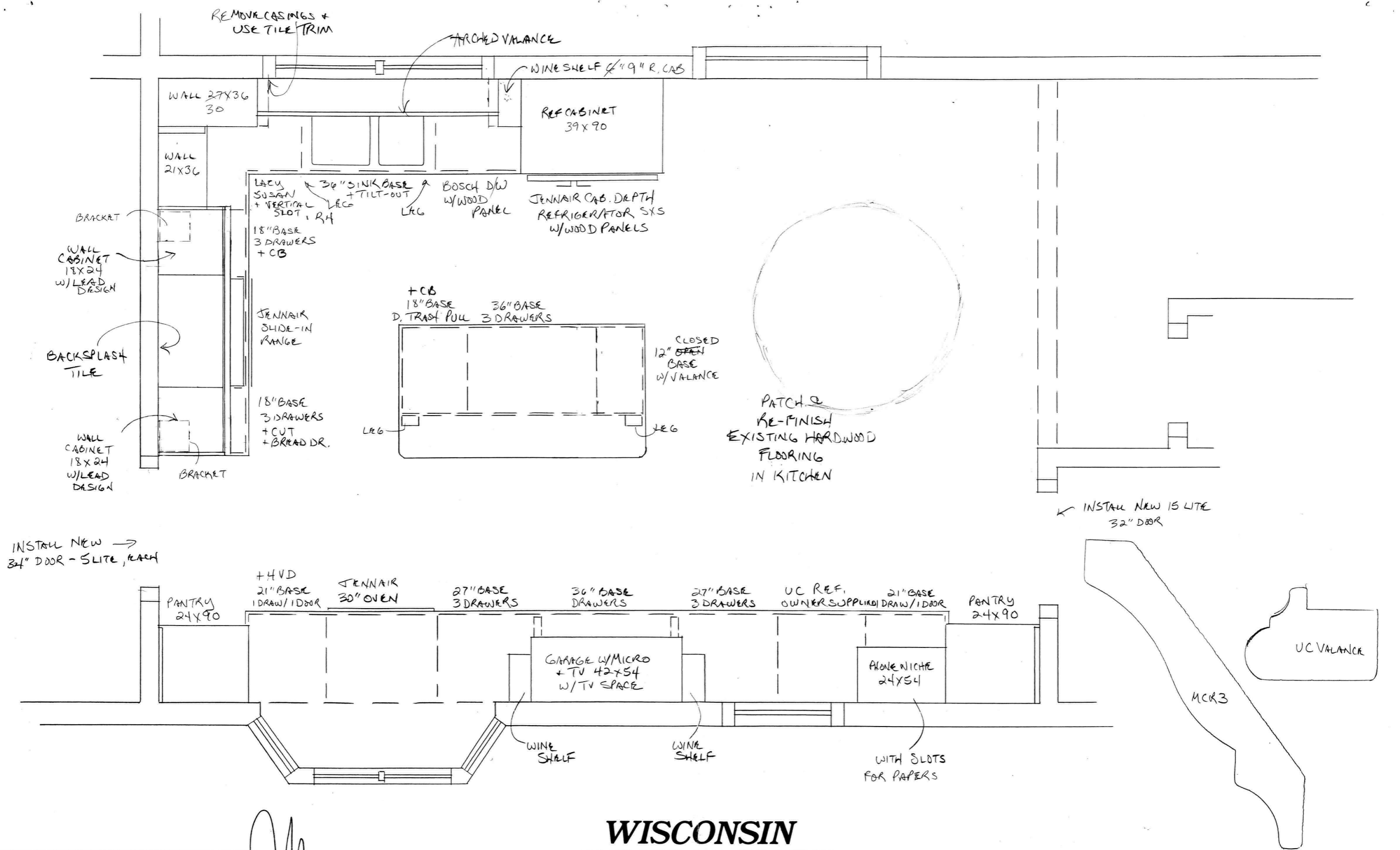


AREA 79,355 SQ. FT. TO E OF 1.6193 AC. STREETS



BALESTRERI 1030 E. THORN LA

50FT.



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CABINETS

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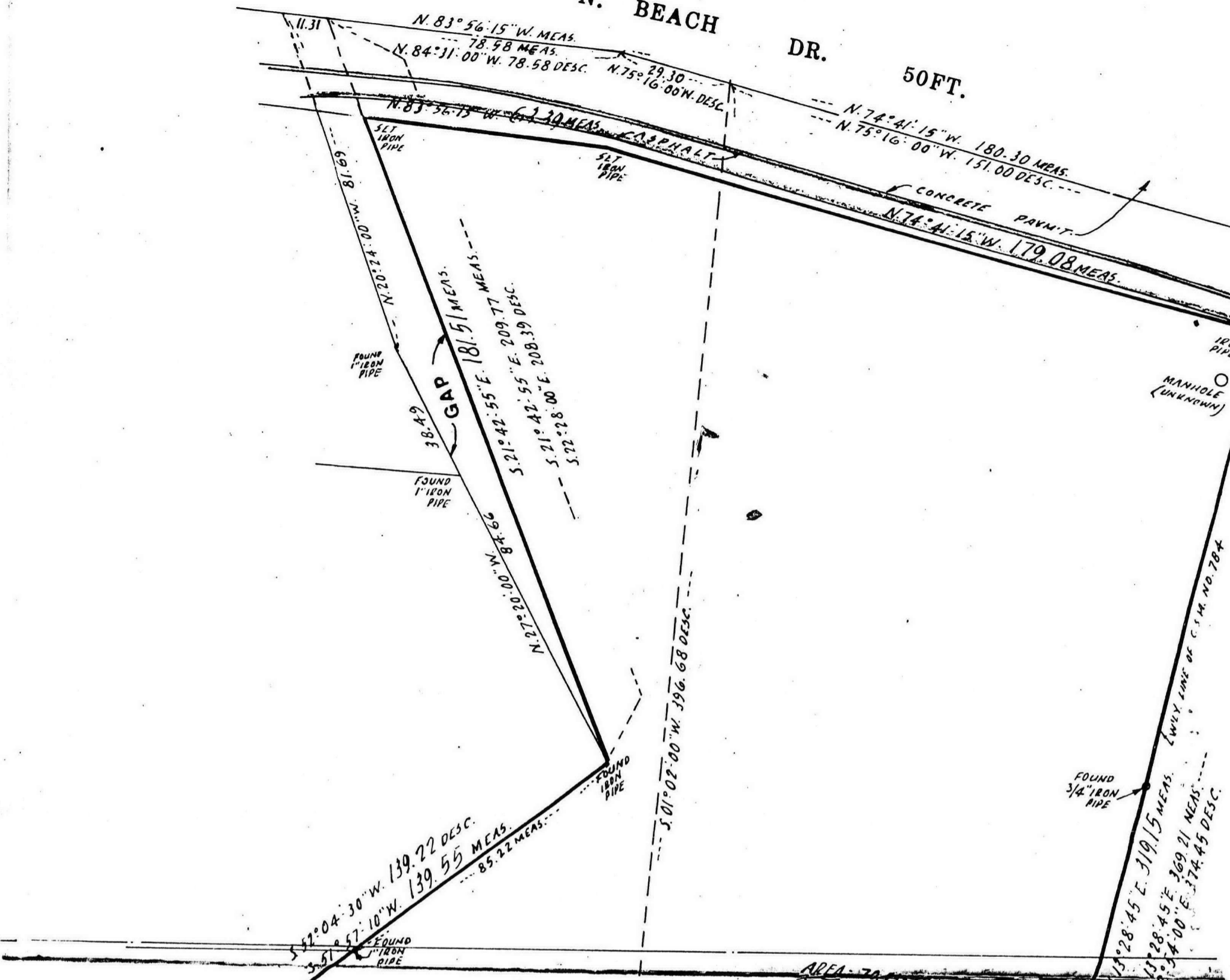
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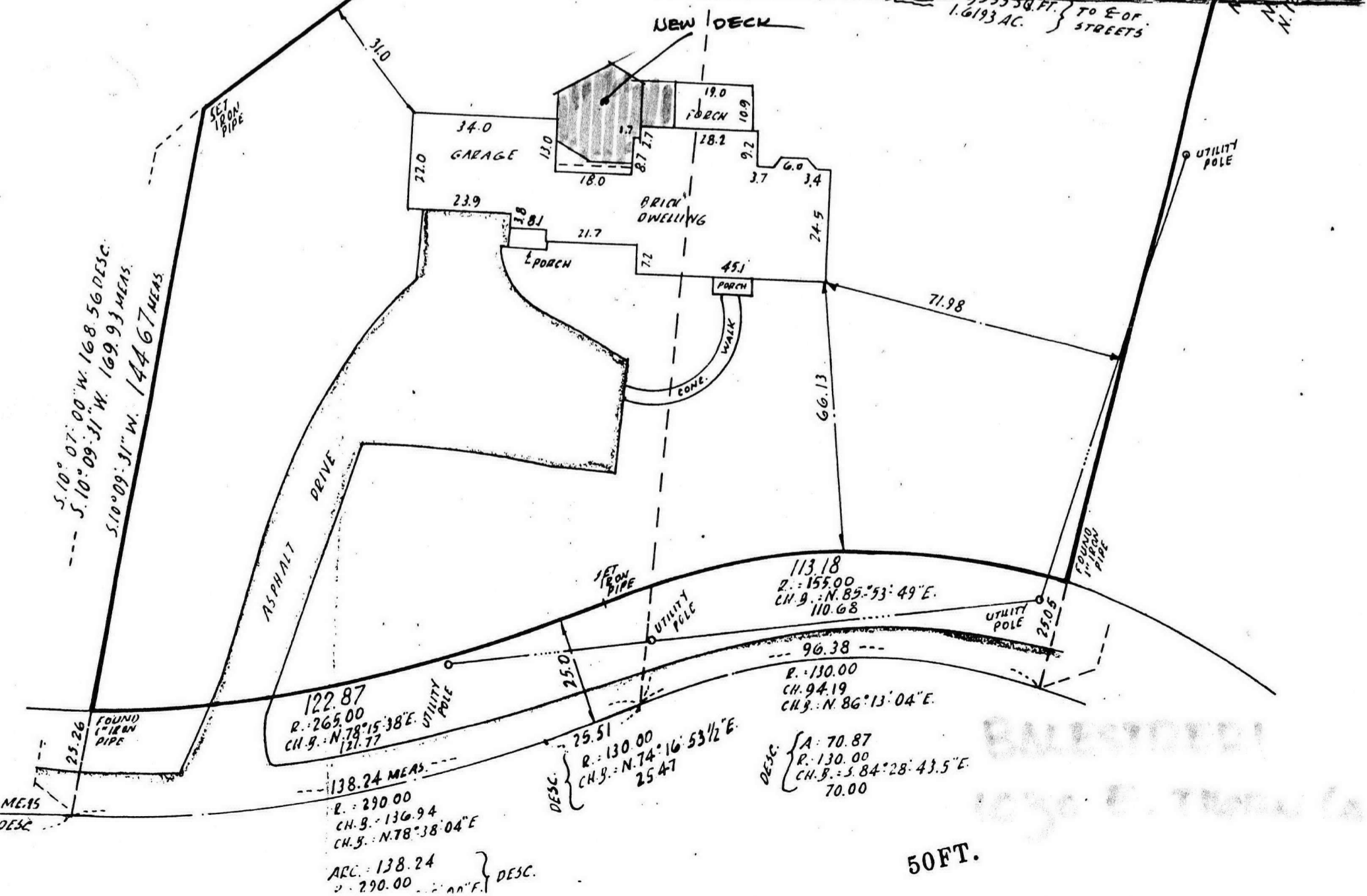
N. BEACH DR.

DR.

50FT.



AREA = 79,553.50 SQ. FT. TO E OF 1.6193 AC. STREETS



50FT.