

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

PO 3834

OFFICE USE ONLY	
Permit No.	19635
Received	12/21/10
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 12/13/10

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. 893870

Builder <u>JM Electrical Contr</u>	Owner <u>Katy Nelson</u>	Occupant <u>Katy Nelson</u>
Job Address <u>1012 E. Churchill Ln Fox Point, WI</u>		

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?
Describe Basement - wire
replacement furnace

List Name of Installing Contractor
HEATING Donovan Jorgenson
AIR CONDITIONING _____
PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker	1	5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 35139
TOTAL FEES 50

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>JM Electrical Contractors</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date
Address <u>400 W. Sunset Dr</u>	Telephone <u>262-574-9473</u>	
City <u>Waukesha</u>	State <u>WI</u>	Zip Code <u>53189</u>

Receipt No: 1.035139

Dec 21, 2010

1012 E CHURCHILL LANE

LICENSES & PERMITS-ELECTRICAL PERMIT 50.00
24-44430 ELECTRICAL PERMIT

Total: 50.00

CHECK Chk No: 6960 50.00
Total Applied: 50.00

Change Tendered: .00

12/21/10 10:51am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

50.00 Receipt # 9913513

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner [checked] Type Forced Air, Radiant, Baseboard, Etc.

Fuel: [checked] Gas [] Oil [] Coal [] Elect. [] Other

Desc. of Heating Plant AMANA AMH95070.3BXA 70,000 BTU

Vented to

Fuel Tank [] Size Location

Summer Air Conditioner [] Size (Ton, H.P.)

Coolant

Compressor Coolant: Air []; Water [];

If Water Cooled:

Source of Water

Discharged to

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Incinerator [] Manufacturer's Name

Model No. Capacity Bushels

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control?

Remarks

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Nelson, Katy + Peter

Address of Work 1012 E. Churchill Lane

OFFICE USE ONLY Application Approved: [Signature] Installation Approved:

Joe Donovan mw Signed 12.13.10 Date

Contractor Donovan + Jorgenson

Address 16935 W. Greenfield Ave. Phone (262) 784-6440

City New Berlin State WI Zip 53151

State Credential Number 3700 & Expiration Date

Search for Individual or Company by Credential ID here:Specific Credential ID

2 record(s) were returned by your search.

- Black=Approved. The credential is currently valid and is not ready for renewal.
- Blue=Renewal Application Sent. A renewal application has been sent to the credential holder. This does not guarantee that the credential is currently valid.
- Red=Expired or Other. The Credential has expired, the application is pending or the record has been locked. The credential holder should contact the credential unit if they wish to reinstate the credential.

ID	Name	City,State,Zip	Credential Type	Expiration
3700	<u>DONOVAN & JORGENSEN INC.</u>	NEW BERLIN WI 53151	Building Contractor	06/23/13
3700	<u>DONOVAN & JORGENSEN INC.</u>	NEW BERLIN WI 53151	HVAC Contractor	05/01/14

Receipt No: 1.035113

Dec 16, 2010

1012 E CHURCHILL LANE

LICENSES & PERMITS-HEATING PERMIT 50.00
24-44450 HEATING PERMIT

Total: 50.00

CHECK Chk No: 76803 50.00
Total Applied: 50.00

Change Tendered: .00

12/16/10 08:14am

100782

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	19181
Received	9/08/08
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 9/3/08
License No. 48

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder	Owner <u>Peter + Katy Nelson</u>	Occupant <u>-same-</u>
Job Address <u>1012 E Churchill Ln. Fox Point, WI 53217</u>		

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?

Describe Furnace - basement
A/C - outside

List Name of Installing Contractor

HEATING -US-
AIR CONDITIONING -US-
PLUMBING N/A

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker <u>GAS FURN</u>	<u>1</u>	5.00 ea	<u>5</u>	<u>00</u>
10	Refrigerating, Air Cooling or similar machine - .25 per HP	<u>1</u>	5.00 min	<u>5</u>	<u>00</u>
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

REMARKS:

Receipt # 26890

TOTAL FEES 50 00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>Donovan + Jorgenson, Inc</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>9-3-08</u>
Address <u>16935 W. Greenfield Ave</u>	Telephone	
City <u>New Berlin</u>	State <u>WI</u>	Zip Code <u>53151</u>

Receipt No: 1.026990

Sep 08, 2008

1012 E CHURCHILL LN

LICENSES & PERMITS-ELECTRICAL PERMIT	50.00
24-44430 ELECTRICAL PERMIT	

Total:	<u>50.00</u>
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CHECK	Chk No: 66469	50.00
Total Applied:		<u>50.00</u>

Change Tendered:	<u>.00</u>
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09/08/08 08:08am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

Plumber MIKE CUETAN
 Address
 Tel. No.

No. 11550
Application and Record
 Village of Fox Point
 7200 N. Santa Monica Blvd.
 Fox Point, WI 53217
 531-8900

Owner PETER NELSON
 Address 1017 E. CHURCHILL
 Date 6/18 2008

TO the VILLAGE OF FOX POINT PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
 builder sewer from Main to Lot line water service from Main to Lot line
 to Building to Building

PERMITS USED	
Kind	No.
Sewer and Plumbing	7154
Water	
Street	
Meter	
Water Change	

at
1017 E. CHURCHILL LN Fox Point, Wis.
 Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned hereby agrees to be bound by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. 224935 [Signature] Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FEATURES WITH DRAIN OR WATER CONNECTIONS		FEES	
No.	No.		
Kitchen Sinks		Water Usage	\$
Bath Tubs		Building Sewer	
Sump Pumps		Water Service	
Laundry Trays		Building Drain	
Drinking Fountains		Fixtures	
Sinks	2	Water Meter	
Water Heaters	1	Total	\$50.00
Wash. Mach. Wastes		Deposit to cover street repairs	
Bidets			
Catch Basins			
Dishwashers			
Wash Basins			
Water Closets			
Showers			
Floor Drains			
Food Waste Grinders			
Sprinkling System			
Urinals			

Receipt #25818
 Permit Clerk

A inch water service pipes laid in
 Curb box is located feet of
 inch Water Meter No. Date installed

A inch sanitary sewer connection was made in
 feet of manhole

A inch storm sewer connection was made in
 feet of manhole

Building Sewer	Report	Building Drain	Report	Range In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved Application Approved 20

REMARKS	DISCREPANCY RECORD



Credential

Credential Search

Search results are posted at the bottom of the page.

Search for Individual or Company by Credential ID here:

Specific Credential ID : 224935

Search for Tank Contractor Company by Tank Specialty here:

Specialty Type

Search for Individual or Company by Category here:

Credential Type (required)

Credential Status (required)

Zip (or first three digits)

Last or Business Name

1 record was returned by your search.

Please select a credential holder's name to review status and continuing education information.

The continuing education information displayed here may not be accurate due to reporting, entry, or web retrieval errors. It is a credential holder's responsibility to keep track of their continuing education credits.

Black=Approved Yellow=In Renewal Process Red=Expired or Not Valid

ID	Name	City,State,Zip	Credential Type	Expiration
224935	CVETAN, MICHAEL L	SHEBOYGAN WI 53081	Master Plumber	03/31/11

Receipt No: 1.025818

Jun 30, 2008

1012 E CHURCHILL LANE

LICENSES & PERMITS-PLUMBING PERMIT 50.00
24-44470 PLUMBING PERMIT

Total: 50.00

CHECK Chk No: 1495 50.00
Total Applied: 50.00

Change Tendered: .00

06/30/08 10:32am

#110782

#100.00

No. 6915

APPLICATION AND RECORD FOR HEATING PERMIT TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner Type FURNACE & AC INSTALL
Forced Air, Radiant, Baseboard, Etc.

Fuel: Gas Oil Coal Elect. Other _____

Desc. of Heating Plant AMANA AMH95045 45,000 BTU's

Vented to _____
Fuel Tank : 45,000 BTU's Size BASEMENT Location

Summer Air Conditioner Size AMANA 1 1/2 (Ton, H.P.)

Coolant 410A ASX 14018

Compressor Coolant: Air ; Water ;
If Water Cooled:
Source of Water _____
Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.
REAR OF HOUSE NEXT TO OLD AC

Incinerator <input type="checkbox"/>	Manufacturer's Name _____	REJECTED VILLAGE OF FOX POINT Bushels DATE: <u>7/1/08</u> BY: <u>[Signature]</u> <i>Please remove & get up for that certificate</i>
Model No. _____	Capacity _____	
Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____		
Remarks _____		

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner NELSON, KATY + PETER
Address of Work 1012 E. CHURCH HILL LN. \$100.

OFFICE USE ONLY	
Application Approved: <u>7/1/08</u>	Installation Approved: _____

Joe Donovan
Signed
6/16/08
Date

Contractor DONOVAN & JORGENSEN INC.
Heating & Cooling
Address 16935 Greenfield Ave. Phone _____
New Berlin, WI 53151
City Phone (262) 784-6440 State _____ Zip Code LIC # 3702



Credential

Credential Search

Search results are posted at the bottom of the page.

vm 11:19 7/7/08 - Village Inspector

Search for Individual or Company by Credential ID here:

Specific Credential ID

Search for Tank Contractor Company by Tank Specialty here:

Specialty Type

Search for Individual or Company by Category here:

Credential Type (required)

Credential Status (required)

Zip (or first three digits)

Last or Business Name

2 records were returned by your search.

Please select a credential holder's name to review status and continuing education information.

The continuing education information displayed here may not be accurate due to reporting, entry, or web retrieval errors. It is a credential holder's responsibility to keep track of their continuing education credits.

Black=Approved Yellow=In Renewal Process Red=Expired or Not Valid

ID	Name	City,State,Zip	Credential Type	Expiration
3702	DONOVAN, JOSEPH T	WAUKESHA WI 53189	HVAC Qualifier	02/03/09

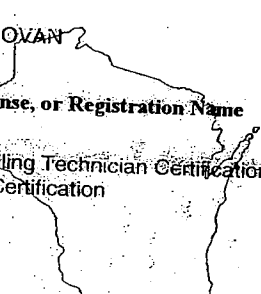
3702	DONOVAN, JOSEPH T	WAUKESHA WI 53189	Refrigerant Handling Technician	03/15/10
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UDC-RELATED CERTIFICATION DETAILS

CREDENTIAL	DETAILS
<p>DWELLING CONTRACTOR CERTIFICATION (DC)</p>	<p>When Needed: To get a building permit for a 1- or 2-family dwelling. (Also an attached garage or deck.)</p> <p>Exception: A person who is owner of property <u>and</u> resides in the dwelling or will reside in the dwelling upon completion.</p> <p>Notes: 1. An owner-occupant who obtains a permit without this certification <u>must</u> sign a disclaimer to receive the building permit. 2. The applicant for the DC cert must be the owner, partner, CEO or board chairman of the construction company.</p>
<p>DWELLING CONTRACTOR QUALIFIER CERTIFICATION (DCQ)</p>	<p>When Needed: To obtain a building permit for a 1- or 2-family dwelling. (Also an attached garage or deck.)</p> <p>Exception: A person who is owner of property <u>and</u> resides in the dwelling or will reside in the dwelling upon completion.</p> <p>Notes: 1. An owner-occupant who obtains a permit without this certification <u>must</u> sign a disclaimer to receive the building permit. 2. The holder of the DCQ cert must be the owner, partner, CEO, board chairman or an employee of the construction company.</p>
<p>HVAC CONTRACTOR REGISTRATION</p>	<p>When Needed: To install or service HVAC equipment.</p> <p>Exceptions: 1. Servicing existing equipment by owner of property. 2. Installing new equipment by person who is owner of property <u>and</u> current occupant or occupant upon completion. 3. A person licensed or certified by Commerce doing work under the scope of that license or certification (e.g. plumber or electrician).</p> <p>Notes: 1. If equipment contains ozone-depleting refrigerant, <u>must</u> have HVAC Contractor <u>and</u> Refrigerant Handling Technician certs. 2. See s. Comm 5.003 (22) for definitions and exceptions to what constitutes "HVAC equipment".</p>
<p>HVAC QUALIFIER CERTIFICATION</p>	<p>When Needed: Could be required in a municipality that had local certification, licensure or approval requirements for the installation or servicing of HVAC equipment in effect prior to November 1, 1993.</p> <p>Notes: 1. The only municipalities <u>that we know</u> meet this criterion are: Altoona, Appleton, Chippewa Falls, Eau Claire, Fitchburg, Fond du Lac, Green Bay, Kaukauna, Kenosha, Madison, Menasha, Menomonie, Middleton, Neenah, Plymouth, Sheboygan, Sheboygan Falls, Stoughton and Waukesha. <u>There could be others.</u> Check with the muni. 2. See s. Comm 5.003 (22) for definitions and exceptions to what constitutes "HVAC equipment".</p>

FOR SOME


BEASON
THE STATE
HAS #3700.

Id: 3702 JOSEPH T DONOVAN	
Certification, License, or Registration Name	Expires
Refrigerant Handling Technician Certification	03/15/10
HVAC Qualifier Certification	02/03/09
Wisconsin Department of Commerce	
Signature: <i>Joseph T. Donovan</i>	

VM at 10:00
for Suzanne

CITY OF MILWAUKEE

EXPIRATION DATE
02/28/2009



LIC. NO.
HICR 0007989

LICENSE
HOME IMPROVEMENT CONTRACTOR

JOSEPH T. DONOVAN, AGT
DONOVAN & JORGENSEN, INC
16935 W GREENFIELD
NEW BERLIN WI 53151 AV

Ronald D. Leonhardt
City Clerk

CCL-435L



Credential

Credential Search

Search results are posted at the bottom of the page.

Search for Individual or Company by Credential ID here:

Specific Credential ID

Search for Tank Contractor Company by Tank Specialty here:

Specialty Type

Search for Individual or Company by Category here:

Credential Type
(required)

Credential Status
(required)

Zip
(or first three digits)

Last or Business Name

1 record was returned by your search.

Please select a credential holder's name to review status and continuing education information.

The continuing education information displayed here may not be accurate due to reporting, entry, or web retrieval errors. It is a credential holder's responsibility to keep track of their continuing education credits.

Black=Approved Yellow=In Renewal Process Red=Expired or Not Valid

ID	Name	City,State,Zip	Credential Type	Expiration
3700	DONOVAN & JORGENSON INC,	NEW BERLIN WI 53151	HVAC Contractor	05/01/10

Receipt No: 1.026117

Jul 14, 2008

1012 E CHURCHILL LANE

LICENSES & PERMITS-HEATING PERMIT	100.00
24-44450 HEATING PERMIT	

Total:	<u>100.00</u>
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CHECK	Chk No: 65328	100.00
Total Applied:		<u>100.00</u>

Change Tendered:	<u>.00</u>
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07/14/08 10:08am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

#100782 \$100.00

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner Type FURNACE & AC INSTALL
Forced Air, Radiant, Baseboard, Etc.

Fuel: Gas Oil Coal Elect. Other _____

Desc. of Heating Plant AMANA AMH95045 45,000 BTU'S

Vented to _____

Fuel Tank 45,000 BTU'S BASEMENT
Size Location

Summer Air Conditioner Size AMANA 1 1/2 (Ton, H.P.)

Coolant 410A ASX14018

Compressor Coolant: Air ; Water ;

If Water Cooled:

Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

REAR OF HOUSE NEXT TO OLD AC

Incinerator <input type="checkbox"/>	Manufacturer's Name _____	REJECTED VILLAGE OF FOX POINT Bushels DATE: <u>7/1/08</u> Dept. of Air Pollution Control? BY: <u>[Signature]</u> <u>Please Review & Call us for these conditions</u>
Model No. _____	Capacity _____	
Has installation permit been issued by Milwaukee Co. _____		
Remarks _____		

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner NELSON, KATY + PETER

Address of Work 1012 E. CHURCH HILL LN. \$100.

OFFICE USE ONLY	
Application Approved: _____	Installation Approved: _____

Joe Donovan
Signed
6/16/08
Date

Contractor DONOVAN & JORGENSEN INC.
 Heating & Cooling
 Address 16935 Greenfield Ave.
 City New Berlin, WI 53151 State _____ Zip Code _____ Phone LIC # 3702
 Phone (262) 784-6440

UDC-RELATED CERTIFICATION DETAILS

CREDENTIAL	DETAILS
<p>DWELLING CONTRACTOR CERTIFICATION (DC)</p>	<p>When Needed: To get a building permit for a 1- or 2-family dwelling. (Also an attached garage or deck.)</p> <p>Exception: A person who is owner of property <u>and</u> resides in the dwelling or will reside in the dwelling upon completion.</p> <p>Notes: 1. An owner-occupant who obtains a permit without this certification <u>must</u> sign a disclaimer to receive the building permit. 2. The applicant for the DC cert must be the owner, partner, CEO or board chairman of the construction company.</p>
<p>DWELLING CONTRACTOR QUALIFIER CERTIFICATION (DCQ)</p>	<p>When Needed: To obtain a building permit for a 1- or 2-family dwelling. (Also an attached garage or deck.)</p> <p>Exception: A person who is owner of property <u>and</u> resides in the dwelling or will reside in the dwelling upon completion.</p> <p>Notes: 1. An owner-occupant who obtains a permit without this certification <u>must</u> sign a disclaimer to receive the building permit. 2. The holder of the DCQ cert must be the owner, partner, CEO, board chairman or an employee of the construction company.</p>
<p>HVAC CONTRACTOR REGISTRATION</p>	<p>When Needed: To install or service HVAC equipment.</p> <p>Exceptions: 1. Servicing existing equipment by owner of property. 2. Installing new equipment by person who is owner of property <u>and</u> current occupant or occupant upon completion. 3. A person licensed or certified by Commerce doing work under the scope of that license or certification (e.g. plumber or electrician).</p> <p>Notes: 1. If equipment contains ozone-depleting refrigerant, <u>must</u> have HVAC Contractor <u>and</u> Refrigerant Handling Technician certs. 2. See s. Comm 5.003 (22) for definitions and exceptions to what constitutes "HVAC equipment".</p>
<p>HVAC QUALIFIER CERTIFICATION</p>	<p>When Needed: Could be required in a municipality that had local certification, licensure or approval requirements for the installation or servicing of HVAC equipment in effect prior to November 1, 1993.</p> <p>Notes: 1. The only municipalities <u>that we know</u> meet this criterion are: Altoona, Appleton, Chippewa Falls, Eau Claire, Fitchburg, Fond du Lac, Green Bay, Kaukauna, Kenosha, Madison, Menasha, Menomonie, Middleton, Neenah, Plymouth, Sheboygan, Sheboygan Falls, Stoughton and Waukesha. <u>There could be others.</u> Check with the muni. 2. See s. Comm 5.003 (22) for definitions and exceptions to what constitutes "HVAC equipment".</p>

ELECTRICAL INSPECTION APPROVED

FAX TO (414)944-5676

PHONE (866)423-0364

COUNTY Waukesha C T (V) MUNICIPALITY Fox Point INSPECTION NUMBER _____

INSPECTOR Scott Miller

CUSTOMER NAME Peter Wilson PHONE _____

ADDRESS 1012 E Churchill Lane SUBDIVISION NAME _____ LOT _____

ELECTRICAL CONTRACTOR LoeDTke Electric # 920-564-2022

NEW SERVICE

OVERHEAD
UNDERGROUND

REWired SERVICE

OVERHEAD TO UNDERGROUND
OVERHEAD TO OVERHEAD
UNDERGROUND TO UNDERGROUND

PERMANENT SERVICE

SIZE (AMPS) 200 (NUMBER OF METERS: CHANGE FROM _____ TO _____)

1 PHASE
3 PHASE

VOLTAGE 120/240 ✓ OVERHEAD RESIDENTIAL REWIRE INFORMATION YES NO

TEMPORARY SERVICE PERMANENT CONNECTIONS HAVE BEEN MADE

SIZE AMPS _____ PERMANENT CONNECTIONS REQUIRED

1 PHASE SERVICE DROP RELOCATION OR REPLACEMENT REQUIRED

3 PHASE

VOLTAGE _____

RESIDENTIAL / FARM

COMMERCIAL

INSTALL ONLY

NUMBERS OF METERS _____

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	19055
Received	6/16/08
Service	6/17/08
Rough-In	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 6-11-08

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. _____

Builder <u>Steve Kissel</u>	Owner <u>Peter Nelson</u>	Occupant <u>Same</u>
Job Address <u>1012 Churchill Lane Fox Point WI</u>		

ESTIMATED COST OF JOB \$8,585

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?

Describe _____

List Name of Installing Contractor

HEATING _____
 AIR CONDITIONING _____
 PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets	47	.35 ea	16	45
2	Lighting Fixtures	39	.30 ea	11	70
3	Fluorescent Fixtures - per tube	3	.30 ea		90
4	Range, Electric	1	4.00 ea	4	00
5	Garbage Grinding and Disposal Unit	1	3.00 ea	3	00
6	Dishwasher	1	4.00 ea	4	00
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.	1	10.00 ea	10	00
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 25477
TOTAL FEES 50.05

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

Contractor <u>Luedtke Electric Inc</u>		Supervising Electrician (Signature) <u>[Signature]</u>		Date <u>6-11-08</u>
Address <u>214 N 10th</u>		Telephone <u>920-564-2022</u>		
City <u>Oostburg</u>	State <u>WI</u>	Zip Code <u>53070</u>		

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No 1.025477

Jun 16, 2008

1012 E CHURCHILL LANE

LICENSES & PERMITS-ELECTRICAL PERMIT	50.05
24-44430 ELECTRICAL PERMIT	

Total:	<u>50.05</u>
--------	--------------

CHECK	Chk No: 30445	50.05
Total Applied:		<u>50.05</u>

Change Tendered:	<u>.00</u>
------------------	------------

06/16/08 03:54pm

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

TRANSMISSION REPORT

TIME :06-17-'08 16:11
TEL NO.1 :
NAME :

NO.	FILE NO.	DATE	TIME	DURATION	PGS	TO	DEPT	MODE	STATUS
416	503	06.17	16:10	00:17	2	WE ENERGIES		EC B03	OK

Filing Fee \$75.00 Rec# 24518

VILLAGE OF FOX POINT MILWAUKEE COUNTY, WISCONSIN

No. 13616

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 EAST CHURCHILL LN.

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish..... Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Estimated cost Garage Building \$50,000 \$38,400 Structure.....

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size..... Number of stalls.....

Where situated

General construction Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans..... in number, which I certify I will conform to in the work hereby applied for.

Remarks: ADDITION OF MASTER BED, BATH, 3RD BEDROOM, KITCHEN REMODEL, EXTERIOR SIDING, WINDOWS, ETC. (2ND STORY ADDITION)

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure PETER & KATY NELSON Arch. or Contr. OOSTBURG LUMBER CO., INC.

Address 1012 E. CHURCHILL LN. Address 1222 CENTER AVE. P.O. Box 700258

City Fox Point WI 53217 City OOSTBURG, WI 53070 State Zip

Phone 414/228-1250 Phone 920/564-2378

Size of Structure.....(sq. ft.) Permit Fee \$365 Rec# 25149 5/21/08 herewith tendered

Date Submitted 5/23/08 State ID#..... Exp. Date.....

Date Approved..... Signed [Signature]

Date of Permit..... OWNER Architect, Owner, Builder

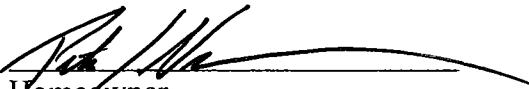
*Subject to compliance with village code as the applicant has promised to comply with code.

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

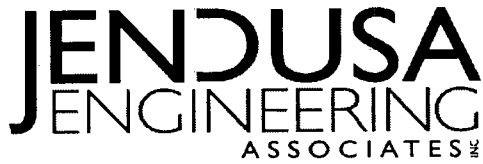
101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s.101.654(2)(a), the following consequences might occur:

- a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one and two family dwelling code or an ordinance enacted under sub.(1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.


Homeowner

5/23/2008
Date



STRUCTURAL ENGINEERING SERVICES

May 22, 2008

Mr. Peter Nelson
1012 E. Church Hill Lane
Fox Point, WI 53217

RE: 2nd Story Addition at 1012 E. Church Hill Lane, Fox Point, WI

Dear Peter,

Thank you for the opportunity to provide structural engineering services for the addition project at your residence in Fox Point, WI. I have reviewed the report and structural calculations prepared by my staff in April, 2006 relating to the underpinning of the crawl space foundation below the family room. Additionally, I have reviewed plans for the vertical addition above the family room. The report and calculations show that the underpinning piers were designed for a future 2nd story addition above the family room and crawl space. I have verified that the design loads shown on the underpinning foundation plan are equal to or greater than the loads from the new vertical addition.

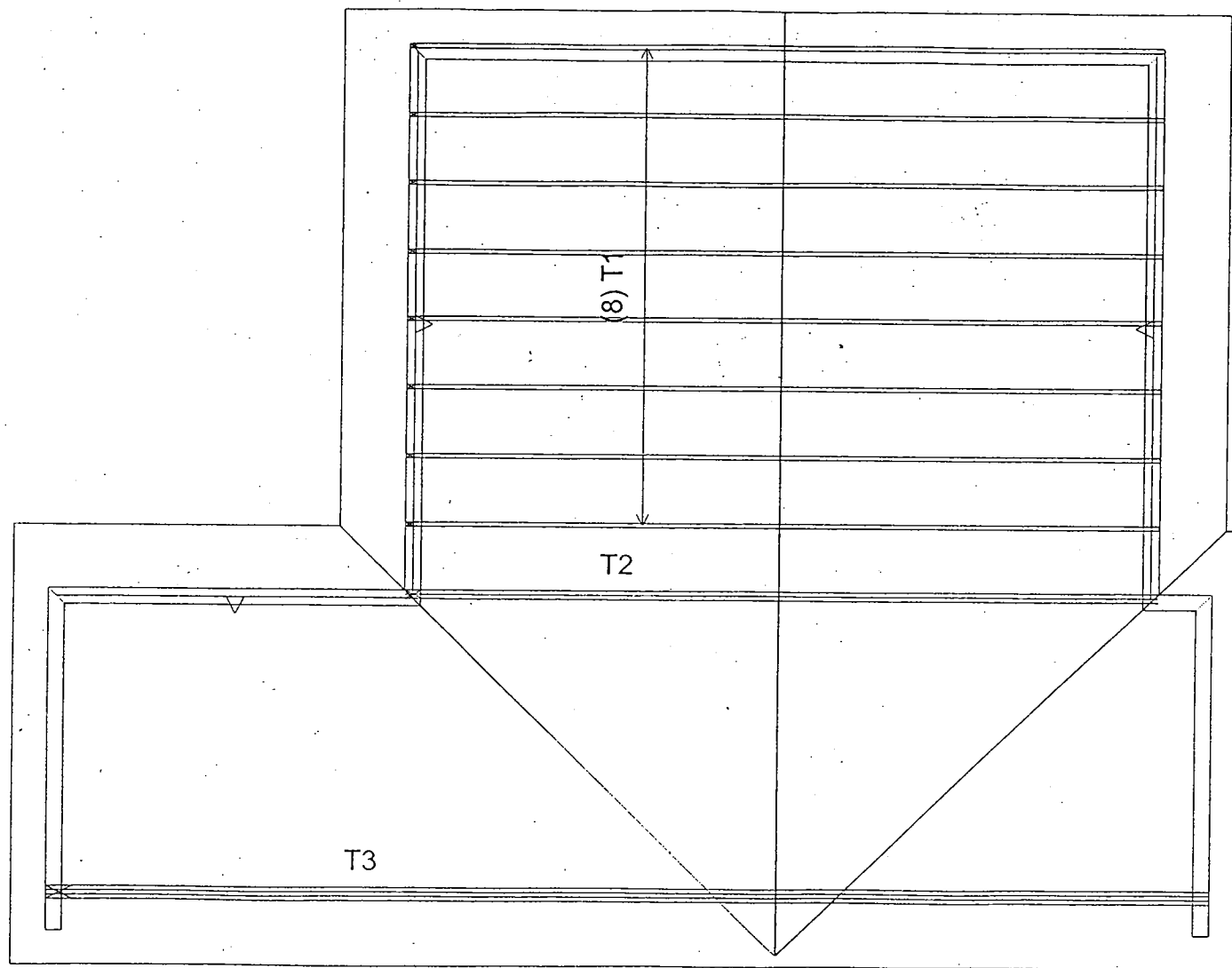
The loads to the east and west foundation walls are only slightly increased because these walls have roof bearing loads only and do not support the floor joists. The only additional load is from the weight of the exterior wall from the second floor to the roof. (approximately 90 #/ft or 540# per pier) It is my opinion that this extra load is minimal as compared to the capacity of a minimally loaded helical pier. It is not known what are the design loads or capacities of the piers installed in 2002. It is my opinion that the northeast corner of the crawl space foundation should be tuckpointed if there are any cracks and monitored for any movement or cracking. Any movement at this corner would require the installation of additional helical piers.

If you have any questions, or if you would like to discuss this report, please call me.

Sincerely,

James F. Jendusa, P.E.
Jendusa Engineering Associates, Inc.

OOSTBURG/NELSON



Work Order: OOST040808
Customer : OOSTBURG LUMBER
Job Name : OOSTBURG / NELSON

BRG	X-LOC	REACT	SIZE	REQ'D
1	0- 2-12	1044	5.50"	1.50"
2	21- 1- 4	1044	5.50"	1.50"

BRG REQUIREMENTS shown are based ONLY on the truss material at each bearing

TC	FORCE	AXL	BND	CSI
TL-1	-467	0.00	0.67	0.67
1-2	-1874	0.00	0.48	0.48
2-3	-1874	0.00	0.48	0.48
3-TR	-467	0.00	0.67	0.67

BC	FORCE	AXL	BND	CSI
4-5	1794	0.18	0.27	0.45
5-6	1794	0.18	0.27	0.45

WEB	FORCE	CSI	WEB	FORCE	CSI
2-5	350	0.09			

2x10 SP 2250F-1.9E
 BC 2x6 SPF C1650F1.5E
 WEB 2x4 SPF #1/#2-CAN

NOTE: This Design conforms to the State of Wisconsin Code. Required information is on attached sheet. Connector plates are covered in approval No. 990040-N. Plate holding values (psi) are:

ANSI/TPI-1	TW-20	TW-18	TW-16(H)
SP	195	195	156
FL	186	186	157
HF	150	150	108
(SG=.42)SPF	187	187	112
(SG=.50)SPF	189	189	136
Timberstrand	198	198	181
WW	130	130	101

[PM]=PLATE MONITOR USED-See Joint Report
 Plating spec : ANSI/TPI - 1995
 THIS DESIGN IS THE COMPOSITE RESULT OF MULTIPLE LOAD CASES.
 This truss is designed using the ASCE7-98 Wind Specification
 Bldg Enclosed = Yes, Importance Factor = 1.00
 Truss Location = Not End Zone
 Hurricane/Ocean Line = No, Exp Category = B
 Bldg Length = 16.00 ft, Bldg Width = 21.33 ft
 Mean roof height = 11.98 ft, mph = 90
 ASCE7 II Standard Occupancy, Dead Load = 10.0 psf
 Designed as Main Wind Force Resisting System
 - Low-rise and Components and Cladding
 Tributary Area = 43 sqft

UPLIFT REACTION(S) :

Support	C&C Wind	Non-Wind
1	-105 lb	
2	-105 lb	

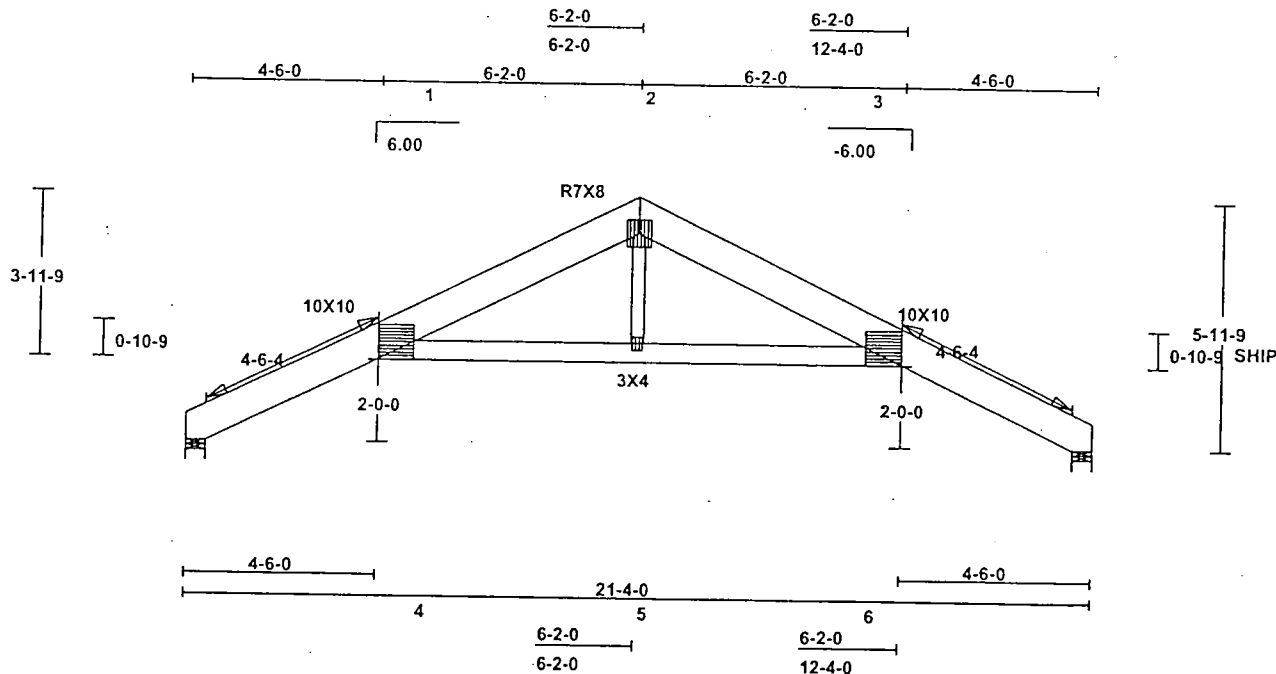
-----LOAD CASE #1 DESIGN LOADS -----

Dir	L.Plf	L.Loc	R.Plf	R.Loc	LL/TL
TC Vert	100.00	0- 2-12	100.00	4- 6- 0	0.60
TC Vert	80.00	4- 6- 0	80.00	16-10- 0	0.75
TC Vert	100.00	16-10- 0	100.00	21- 1- 4	0.60
BC Vert	20.00	4- 6- 0	20.00	16-10- 0	0.00

MAX DEFLECTION (span) :
 L/638 MEM 5-6 (LIVE) LC 1
 L= -0.39" D= -0.26" T= -0.65"

==== Joint Locations =====

1	0- 0- 0	4	0- 0- 0
2	6- 2- 0	5	6- 2- 0
3	12- 4- 0	6	12- 4- 0



6/ 2/2008

Scale: 7/32" = 1'

All plates are 20 gauge Truswal Connectors unless preceded by "MX" for HS 20 gauge or "H" for 16 gauge, positioned per Joint Detail Reports available from Truswal software, unless noted.

PH. 920-766-0601

VALLEY TRUSSES INC

P.O. BOX 101, Kaukauna, WI. 54130

WARNING Read all notes on this sheet and give a copy of it to the Erecting Contractor.

This design is for an individual building component not truss system. It has been based on specifications provided by the component manufacturer and done in accordance with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer must ascertain that the loads utilized on this design meet or exceed the loading imposed by the local building code and the particular application. The design assumes that the top chord is laterally braced by the roof or floor sheathing and the bottom chord is laterally braced by a rigid sheathing material directly attached, unless otherwise noted. Bracing shown is for lateral support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood to exceed 19% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: 'Joint and Cutting Detail Reports' available as output from Truswal software, 'ANSI/TPI 1', 'WTCA 1' - Wood Truss Council of America Standard Design Responsibilities, 'BUILDING COMPONENT SAFETY INFORMATION' - (BCSI) and 'BCSI SUMMARY SHEETS' by WTCA and TPI. The Truss Plate Institute (TPI) is located at 218 N. Lee Street Suite 312, Alexandria, VA 22314. The American Forest and Paper Association (AFPA) is located at 1111 19th Street, NW, Ste 800, Washington, DC 20036.

Chk:		WO: OOST040808
Dsgnr: DS		
TC Live	30.00 psf	DurFacs L=1.15 P=1.15
TC Dead	10.00 psf	Rep Mbr Bnd 1.15
BC Live	0.00 psf	O.C.Spacing 2- 0- 0
BC Dead	10.00 psf	Design Spec WIC
TOTAL	50.00 psf	Seqn T6.5.7 - 3986

BKG	X-LOC	REACT	SIZE	REQ'D	TC
1	0- 2-12	4533	5.50"	3.55"	2x6 SPF C1650F1.5E
2	21- 1- 4	4533	5.50"	3.55"	2x6 SPF C1650F1.5E
					WEB 2x4 SPF #1/#2-CAN

NOTE: This Design conforms to the State of Wisconsin Code. Required information is on attached sheet. Connector plates are covered in approval No.990040-N.

Plate holding values (psi) are:

ANSI/TPI-1	TW-20	TW-18	TW-16(H)
SP	195	195	156
FL	186	186	157
HF	150	150	108
(SG=.42) SPF	187	187	112
(SG=.50) SPF	189	189	136
Timberstrand	198	198	181
WW	130	130	101

[PM]=PLATE MONITOR USED-See Joint Report
 Plating spec : ANSI/TPI - 1995
 THIS DESIGN IS THE COMPOSITE RESULT OF MULTIPLE LOAD CASES.
 Permanent bracing is required (by others) to prevent rotation/toppling. See BCSI and ANSI/TPI 1.

2-PLY! Nail w/16d Common, staggered(per NDS)
 in: TC- 2 BC- 2 WEBS- 2 **PER FOOT!**
 Nail in layers or from each face.
 Cluster screws, if shown, are 3" long.

UPLIFT REACTION(S) :
 Support C&C Wind Non-Wind
 1 -608 lb
 2 -608 lb

This truss is designed using the ASCE7-98 Wind Specification
 Bldg Enclosed = Yes, Importance Factor = 1.00
 Truss Location = Not End Zone
 Hurricane/Ocean Line = No , Exp Category = B
 Bldg Length = 16.00 ft, Bldg Width = 21.33 ft
 Mean roof height = 12.98 ft, mph = 90
 ASCE7 II Standard Occupancy, Dead Load = 10.0 psf
 Designed as Main Wind Force Resisting System
 - Low-rise and Components and Cladding
 Tributary Area = 181 sqft

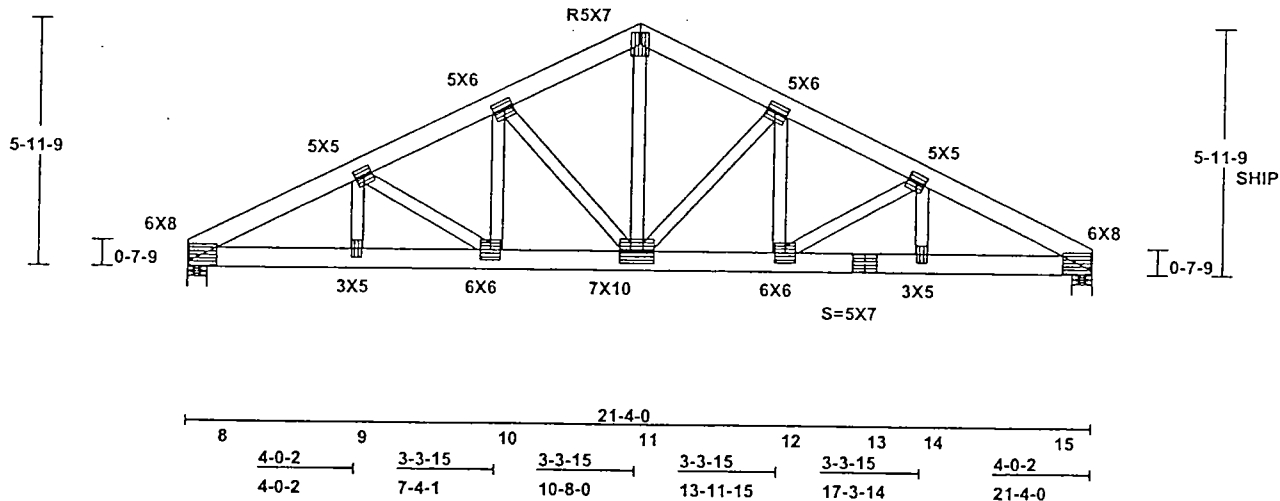
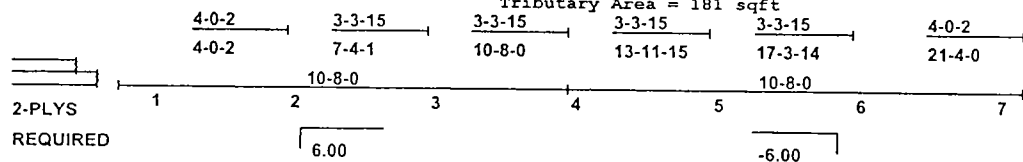
+++++
 Nail pattern shown is for PLF loads and point loads converted to PLF loads only. Concentrated loads MUST be distributed to each ply equally. Multi-ply with hangers are based on hanger nails using 3.0" nails min. into the carrying member.
 If shown, use additional fasteners for point loads as indicated from the back plys, distributed symmetrically around the hanger. Use any other approved detail (by others).
 10d = 10d NAILS, SDS = Simpson SDS screws or equivalent substitute.

(*) = Special Connection Req. (by others)
 +++++
 NAIL pattern shown is based on:
 10d BOX = 0.128" dia. x 3.0" long nail
 10d COMMON = 0.148" dia. x 3.0" long nail
 16d BOX = 0.135" dia. x 3.5" long nail
 16d COMMON = 0.162" dia. x 3.5" long nail
 +++++
 psf-----LOAD CASE #1 DESIGN LOADS-----
 Dir L.Plf L.Loc R.Plf R.Loc LL/TL
 TC Vert 80.00 0- 0- 0 80.00 21- 4- 0 0.75
 BC Vert 345.00 0- 0- 0 345.00 21- 4- 0 0.57

TC	FORCE	AXL	BND	CSI
1-2	-7078	0.05	0.19	0.23
2-3	-6222	0.04	0.14	0.18
3-4	-4862	0.02	0.04	0.06
4-5	-4862	0.02	0.04	0.06
5-6	-6222	0.04	0.14	0.18
6-7	-7078	0.05	0.19	0.23

BC	FORCE	AXL	BND	CSI
8-9	6189	0.32	0.29	0.61
9-10	6161	0.32	0.16	0.48
10-11	5454	0.28	0.16	0.44
11-12	5454	0.28	0.16	0.44
12-13	6161	0.32	0.16	0.48
13-14	6161	0.32	0.16	0.48
14-15	6189	0.32	0.29	0.61

WEB	FORCE	CSI	WEB	FORCE	CSI
2-9	786	0.10	5-11	-1763	0.14
2-10	-752	0.05	5-12	1658	0.20
3-10	1658	0.20	6-12	-752	0.05
3-11	-1763	0.14	6-14	786	0.10
4-11	3967	0.49			



MAX DEFLECTION (span) :
 L/999 MEM 10-11 (LIVE) LC 1
 L= -0.09" D= -0.06" T= -0.16"

==== Joint Locations =====

1	0- 0- 0	9	4- 0- 2
2	4- 0- 2	10	7- 4- 1
3	7- 4- 1	11	10- 8- 0
4	10- 8- 0	12	13-11-15
5	13-11-15	13	16- 0- 0
6	17- 3-14	14	17- 3-14
7	21- 4- 0	15	21- 4- 0
8	0- 0- 0		

6/ 2/2008

Scale: 7/32" = 1'

All plates are 20 gauge Truswal Connectors unless preceded by "MX" for HS 20 gauge or "H" for 16 gauge, positioned per Joint Detail Reports available from Truswal software, unless noted.

PH. 920-766-0601

WARNING Read all notes on this sheet and give a copy of it to the Erecting Contractor.

This design is for an individual building component not truss system. It has been based on specifications provided by the component manufacturer and done in accordance with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer must ascertain that the loads utilized on this design meet or exceed the loading imposed by the local building code and the particular application. The design assumes that the top chord is laterally braced by the roof or floor sheathing and the bottom chord is laterally braced by a rigid sheathing material directly attached, unless otherwise noted. Bracing shown is for lateral support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood to exceed 19% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: 'Joint and Cutting Detail Reports' available as output from Truswal software, 'ANSI/TPI 1', 'WTCA 1' - Wood Truss Council of America Standard Design Responsibilities, 'BUILDING COMPONENT SAFETY INFORMATION' - (BCSI) and 'BCSI SUMMARY SHEETS' by WTCA and TPI. The Truss Plate Institute (TPI) is located at 218 N. Lee Street Suite 312, Alexandria, VA 22314. The American Forest and Paper Association (AFPA) is located at 1111 19th Street, NW, Ste 800, Washington, DC 20036.

Chk:

Dsgnr: DS

WC: OOST040808

TC Live	30.00 psf
TC Dead	10.00 psf
BC Live	0.00 psf
BC Dead	10.00 psf
TOTAL	50.00 psf

DurFacs L=1.15 P=1.15
 Rep Mbr Bnd f.00
 O.C.Spacing 2- 0- 0
 Design Spec WIC

Seqn T6.5.7 - 3991



P.O. BOX 101, Kaukauna, WI. 54130

BRG	X-LOC	REACT	SIZE	REQ'D	TC
1	0-1-0	15675	2.00"	1.62"	2x6 SP 2400F-2.0E
2	32-11-0	15675	2.00"	1.62"	2x8 SP 2250F-1.9E
BRG REQUIREMENTS shown are based ONLY on the truss material at each bearing					

TC	FORCE	AXL	BND	CSI
1-2	-23650	0.22	0.08	0.30
2-3	-38270	0.57	0.12	0.69
3-4	-43219	0.71	0.17	0.88
4-5	-43219	0.71	0.17	0.88
5-6	-43219	0.71	0.15	0.87
6-7	-38270	0.57	0.12	0.69
7-8	-23650	0.22	0.08	0.30

BC	FORCE	AXL	BND	CSI
9-10	0	0.00	0.22	0.23
10-11	24870	0.38	0.20	0.58
11-12	38616	0.59	0.21	0.80
12-13	38616	0.59	0.26	0.85
13-14	38616	0.59	0.26	0.85
14-15	24871	0.38	0.20	0.58
15-16	0	0.00	0.22	0.23

WEB	FORCE	CSI	WEB	FORCE	CSI
9-1	-13640	0.42	6-13	5281	0.19
1-10	27175	0.94	6-14	-3025	0.13
2-10	-8343	0.36	7-14	15497	0.54
2-11	15497	0.54	7-15	-8343	0.36
3-11	-3025	0.13	8-15	27175	0.94
3-13	5281	0.19	16-8	-13640	0.42
4-13	-360	0.02			

Lumber shear allowables are per NDS. Drainage must be provided to avoid ponding. Permanent bracing is required (by others) to prevent rotation/toppling. See BCSI and ANSI/TPI 1. End verticals are designed for axial loads only unless noted otherwise. Extensions above or below the truss profile (if any) have been designed for loads indicated only. Horizontal loads applied at the end of the extensions have not been considered unless shown. A drop-leg to an otherwise unsupported wall may create a hinge effect that requires additional design consideration (by others). This design based on chord bracing applied per the following schedule:

max o.c. from to
 24.00" 0-0-0 33-0-0
 This truss is designed using the ASCE7-98 Wind Specification
 Bldg Enclosed = Yes, Importance Factor = 1.00
 Truss Location = Not End Zone
 Hurricane/Ocean Line = No, Exp Category = B
 Bldg Length = 16.00 ft, Bldg Width = 21.33 ft
 Mean roof height = 11.57 ft, mph 5-5-7 90
 ASCE7 II Standard Occupancy, Dead Load = 10.0 psf
 Designed as Main Wind Force Resisting System
 - Low-rise and Components and Cladding
 Tributary Area = 627 sqft
 3-PLYS

[PM]=PLATE MONITOR USED-See Joint Report
 Plating spec : ANSI/TPI - 1995
 THIS DESIGN IS THE COMPOSITE RESULT OF MULTIPLE LOAD CASES.
 NOTE: This Design conforms to the State of Wisconsin Code. Required information is on attached sheet. Connector plates are covered in approval No.990040-N.
 Plate holding values (psi) are:
 ANSI/TPI-1 TW-20 TW-18 TW-16(H)
 SP 195 195 156
 FL 186 186 157
 HF 150 150 108
 (SG=.42)SPF 187 187 112
 (SG=.50)SPF 189 189 136
 Timberstrand 198 198 181
 WW 130 130 101
 4-PLY! Nail w/16d COMMON, staggered(per NDS) in: TC- 2 BC- 2 WEBS- 2 **PER FOOT!**
 Nail in layers as each ply is attached.
 1/2" thru-bolts [or Simpson SDS or USP WS6] (1/4")x6" wood screws at 24" o.c. max. must be installed in addition to nailing (only in chords with tie-in trusses or framing.)
 Cluster screws, if shown, are 6.0" long.

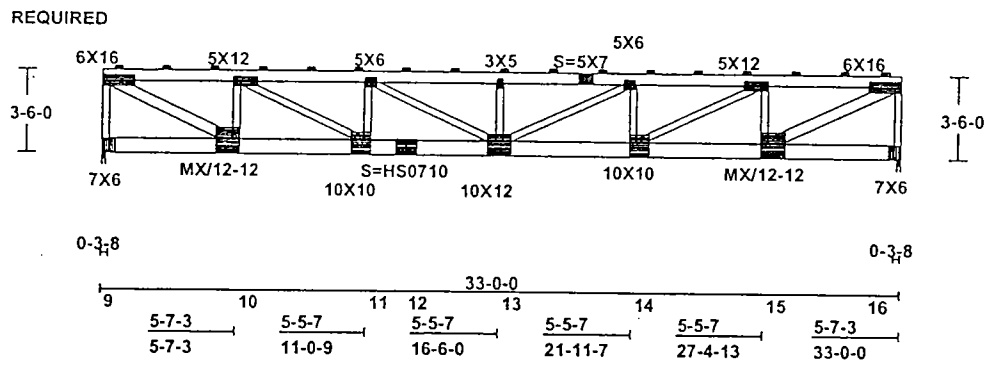
Nail pattern shown is for PLF loads and point loads converted to PLF loads only. Concentrated loads MUST be distributed to each ply equally. Multi-ply with hangers are based on hanger nails using 3.0" nails min. into the carrying member. If shown, use additional fasteners for point loads as indicated from the back plys, distributed symmetrically around the hanger. Use any other approved detail (by others). 10d = 10d NAILS, SDS = Simpson SDS screws or equivalent substitute. (*) = Special Connection Req. (by others)

NAIL pattern shown is based on:
 10d BOX = 0.128" dia. x 3.0" long nail
 10d COMMON = 0.148" dia. x 3.0" long nail
 16d BOX = 0.135" dia. x 3.5" long nail
 16d COMMON = 0.162" dia. x 3.5" long nail

UPLIFT REACTION(S):
 Support C&C Wind Non-Wind
 1 -2102 lb
 2 -2102 lb

LOAD CASE #1 DESIGN LOADS
 Dir L.Plf L.Loc R.Plf R.Loc LL/TL
 TC Vert 80.00 0-0-0 80.00 33-0-0 0.75
 BC Vert 870.00 0-0-0 870.00 33-0-0 0.59

MAX DEFLECTION (span) :
 L/652 MEM 12-13 (LIVE) LC 1
 L= -0.60" D= -0.40" T= -1.01"



==== Joint Locations =====

1	0-0-0	9	0-0-0
2	5-7-3	10	5-7-3
3	11-0-9	11	11-0-9
4	16-6-0	12	12-8-8
5	20-0-0	13	16-6-0
6	21-11-7	14	21-11-7
7	27-4-13	15	27-4-13
8	33-0-0	16	33-0-0

All plates are 20 gauge Truswal Connectors unless preceded by "MX" for HS 20 gauge or "H" for 16 gauge, positioned per Joint Detail Reports available from Truswal software, unless noted.

6/ 3/2008

Scale: 1/8" = 1'

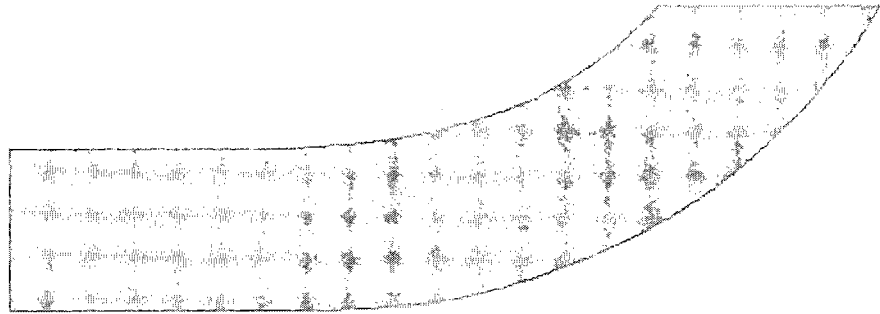
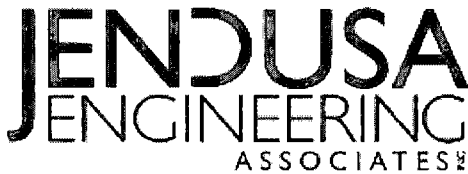
PH. 920-766-0601

VALLEY TRUSSES
INC

P.O. BOX 101, Kaukauna, WI. 54130

WARNING Read all notes on this sheet and give a copy of it to the Erecting Contractor. This design is for an individual building component not truss system. It has been based on specifications provided by the component manufacturer and done in accordance with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer must ascertain that the loads utilized on this design meet or exceed the loading imposed by the local building code and the particular application. The design assumes that the top chord is laterally braced by the roof or floor sheathing and the bottom chord is laterally braced by a rigid sheathing material directly attached, unless otherwise noted. Bracing shown is for lateral support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood to exceed 19% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: 'Joint and Cutting Detail Reports' available as output from Truswal software, 'ANSI/TPI 1', 'WTCA 1' - Wood Truss Council of America Standard Design Responsibilities, 'BUILDING COMPONENT SAFETY INFORMATION' - (BCSI) and 'BCSI SUMMARY SHEETS' by WTCA and TPI. The Truss Plate Institute (TPI) is located at 218 N. Lee Street Suite 312, Alexandria, VA 22314. The American Forest and Paper Association (AFPA) is located at 1111 19th Street, NW, Ste 800, Washington, DC 20036.

Chk:		WO: OOST040808
Dsgnr: DS		
TC Live	30.00 psf	DurFacs L=1.15 P=1.15
TC Dead	10.00 psf	Rep Mbr Bnd 1.15
BC Live	0.00 psf	O.C.Spacng 2-0-0
BC Dead	10.00 psf	Design Spec WIC
TOTAL	50.00 psf	Seqn T6.5.7 - 4067



STRUCTURAL ENGINEERING SERVICES

May 22, 2008

Mr. Peter Nelson
1012 E. Church Hill Lane
Fox Point, WI 53217

RE: 2nd Story Addition at 1012 E. Church Hill Lane, Fox Point, WI

Dear Peter,

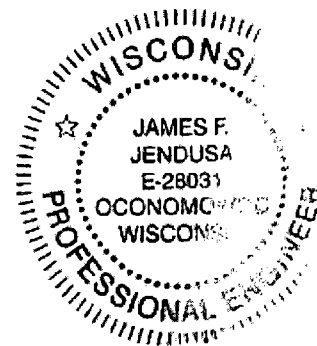
Thank you for the opportunity to provide structural engineering services for the addition project at your residence in Fox Point, WI. I have reviewed the report and structural calculations prepared by my staff in April, 2006 relating to the underpinning of the crawl space foundation below the family room. Additionally, I have reviewed plans for the vertical addition above the family room. The report and calculations show that the underpinning piers were designed for a future 2nd story addition above the family room and crawl space. I have verified that the design loads shown on the underpinning foundation plan are equal to or greater than the loads from the new vertical addition.

The loads to the east and west foundation walls are only slightly increased because these walls have roof bearing loads only and do not support the floor joists. The only additional load is from the weight of the exterior wall from the second floor to the roof. (approximately 90 #/ft or 540# per pier) It is my opinion that this extra load is minimal as compared to the capacity of a minimally loaded helical pier. It is not known what are the design loads or capacities of the piers installed in 2002. It is my opinion that the northeast corner of the crawl space foundation should be tuckpointed if there are any cracks and monitored for any movement or cracking. Any movement at this corner would require the installation of additional helical piers.

If you have any questions, or if you would like to discuss this report, please call me.

Sincerely,

James F. Jendusa, P.E.
Jendusa Engineering Associates, Inc.



CHECK FOUNDATIONS w/ 2ND STORY ADDITION

DESIGN LOADS:

ROOF DL - 15 psf

ROOF LL - 30 psf
45 psf

FLOOR DL - 20 psf

FLOOR LL - 40 psf
60 psf

WALL LOAD = 10 psf

$$\begin{aligned} \text{LOADS} &= 16/2 \times (2)60 + 25 \times 10 + 55(4) + 145(.83)(1.8) \\ &= 1650 \#/1 \end{aligned}$$

$$\text{PIER LOAD} = 1650 \times 6' = 9.9 \text{ K} < 11 \text{ K} \quad \underline{\underline{\text{O.K.}}}$$

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 E. Church Hill LN

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Estimated cost Garage
Building \$
Structure \$ 5000.00

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks: Corner of addition is settling - we are going to pier it

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Peter Nelson Arch. or Contr. Raiserite

Address 1012 E. Church Hill LN Address P.O. Box 1054

City Fox Point State Zip City Menitowoc, WI State WI Zip 54220

Phone 414-228-1250 Phone 920-684-8515

Size of Structure.....(sq. ft.) Permit Fee 500 4- herewith tendered Rec # 16843

Date Submitted..... State ID# 246262 Exp. Date 8/25/06

Date Approved..... Signed [Signature]

Date of Permit.....
Architect, Owner, Builder

Customer Service Center
Safety and Buildings Division
201 W Washington Ave, 4th floor
PO Box 7082
Madison WI 53707-7082
Phone: (608) 261-8500
TTY: (608) 264-8777
Fax: (608) 267-0592

JEFF CVETEZAR
RAISE RITE FOUNDATION PIER SYSTEM I
PO BOX 1054
MANITOWOC WI 54221-1054

This is your Certification, License, or Registration Card.

Id: 246262 RAISE RITE FOUNDATION PIER SYSTEM I	
Certification, License, or Registration Name	Expires
Dwelling Contractor Financial Responsibility Certification	08/25/06
Wisconsin Department of Commerce Signature: <i>J. M. [Signature]</i>	

Cut around the card to remove it. Sign the card.

The card should be signed by the applicant. If desired, you may apply a protective plastic laminate (available at some stores) to the card. Present the card to whomever requests proof of issuance.

This card should indicate other Department of Commerce certifications, licenses, or registrations currently held. Destroy all previous cards that have a certification, license, or registration category which also appears on this card. Please review categories specified on the card. If errors or discrepancies are found, please contact the Customer Service Center (CSC), 608-261-8500. Be prepared to give the CSC representative the Id number printed on the card. The CSC should also be notified of changes in addresses as they occur. Notification to the CSC of address changes is the responsibility of the certification, license, or registration holder.

A renewal notice will be sent to the last address on file with the CSC at least 30 days before the expiration date of each certification, license, or registration indicated on the card. Renewals are contingent upon compliance with the requirements specified in Comm 5, Wisconsin Administrative Code.

The Department of Commerce is an equal opportunity service provider and employer. If you need assistance to access services or need material in an alternate format, please contact the department at 608-266-3151 or TTY 608-264-8777.

SBD-10183 (R.10/98)

FOUNDATION INSPECTION REPORT

Jendusa Engineering Associates, Inc.

4615 Vettelson Road, Suite 200

Hartland, WI 53029

Phone 262-369-0700

Fax 262-369-7740

INSPECTION ADDRESS: 1012 E. CHURCH HILL LN., FOX POINT, WI		
CLIENT: PETER NELSON - C/O RAISE RITE	PRESENT: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
ADDRESS: P.O. Box 1054, MANITOWOC, WI 54221		
TELEPHONE: Home: 414-228-1250	Office:	Cell / Fax:

This report is limited to an impartial opinion, which is not a warranty. It does not address latent or concealed defects that may occur in the future that are not evident at the time of this inspection. The report is limited to the components of the foundation that were visible to the inspector on the date of the inspection and his opinion of their condition at the time of the inspection.

CLIENT ACCEPTANCE: _____

DATE: 4/5/06

FEE: \$400



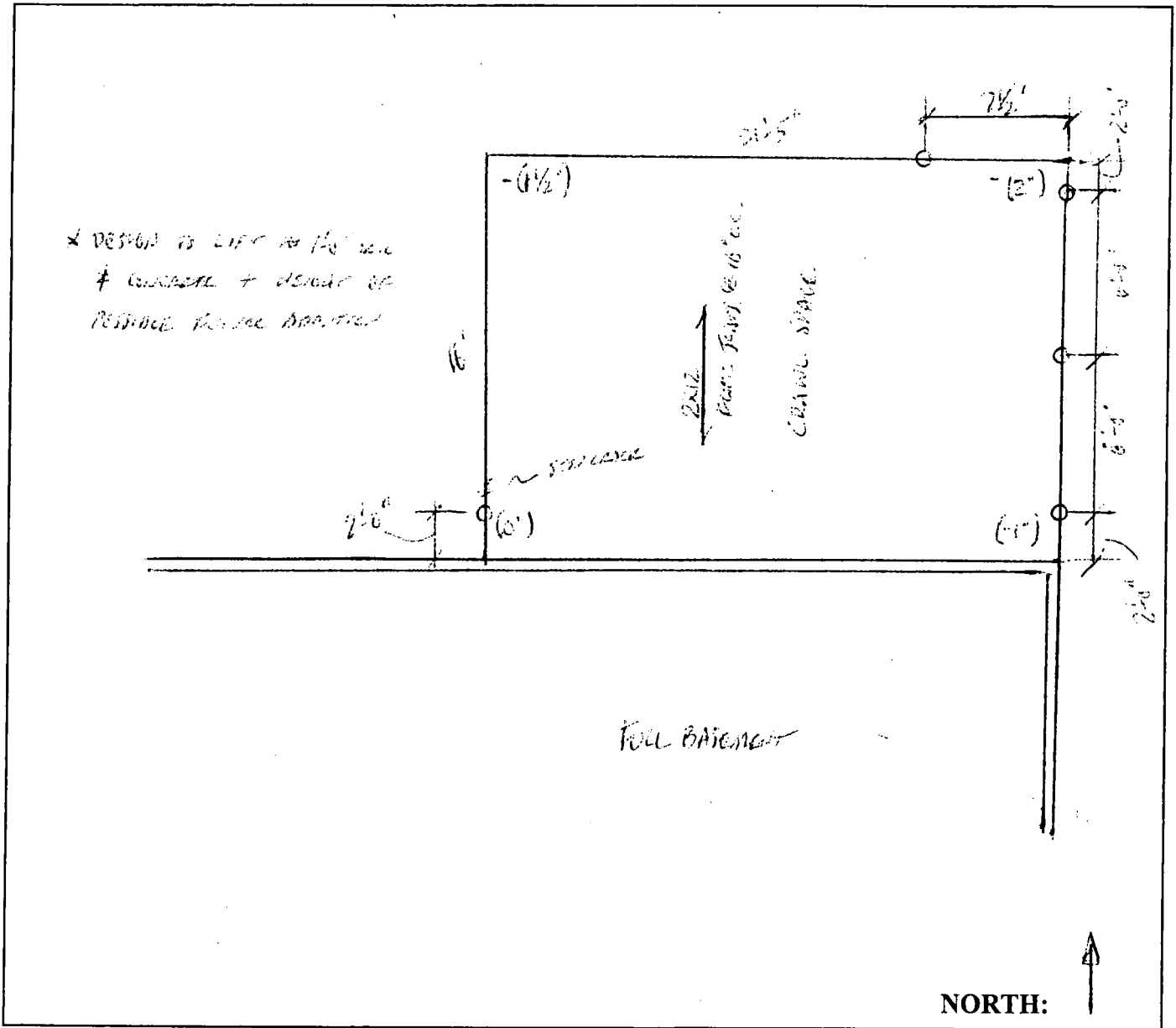
SITE INFORMATION

HISTORY: Obtained from <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Realtor	Age ?	Age of Problem <u>4+ yrs</u>	Years Owned ?
TYPE OF FOUNDATION: <input checked="" type="checkbox"/> Block <input type="checkbox"/> Brick <input type="checkbox"/> Poured Concrete <input type="checkbox"/> Wood <input type="checkbox"/> Other			Depth in Ground <u>4'0"</u>
TYPE OF PROBLEM: <input type="checkbox"/> Water* <input checked="" type="checkbox"/> Structural <input type="checkbox"/> Other			
*SEEPAGE AT: <input type="checkbox"/> Cove <input type="checkbox"/> Cracks in Floor <input type="checkbox"/> High on Wall <input type="checkbox"/> Low on Wall <input type="checkbox"/> Above Wall <input type="checkbox"/> Windows			
DETAILS: <input type="checkbox"/> Sump pump <input type="checkbox"/> Palmer Valve <input type="checkbox"/> Drain Tiles <input type="checkbox"/> Paneled <input type="checkbox"/> Floor - Bare / Carpet / Tiled			

CONDITIONS THAT MIGHT BE CONTRIBUTING TO THE PROBLEM

<input type="checkbox"/> Surface water entering wall	<input type="checkbox"/> Foundation Cracks	<input type="checkbox"/> Palmer Valve stuck
<input type="checkbox"/> Concrete pitches to wall	<input type="checkbox"/> Roots in the drain tile at the crack	<input type="checkbox"/> High water table
<input type="checkbox"/> Poor grading along walls	<input type="checkbox"/> Iron Ocher in drain tile	<input type="checkbox"/> Soil pressure
<input type="checkbox"/> Storm drain may be broken	<input type="checkbox"/> Mineral build-up in drain tile	<input type="checkbox"/> Heavy clay soil
<input type="checkbox"/> Downspouts not extended	<input type="checkbox"/> Possible drain tile blockage	<input type="checkbox"/> Frost
<input type="checkbox"/> Gutters need cleaning / repair	<input type="checkbox"/> Sump pump not properly set	<input type="checkbox"/> Trees
<input type="checkbox"/> Dry soil	<input type="checkbox"/> Sump pump not working	<input checked="" type="checkbox"/> Poor soil below footings

FOUNDATION INSPECTION REPORT



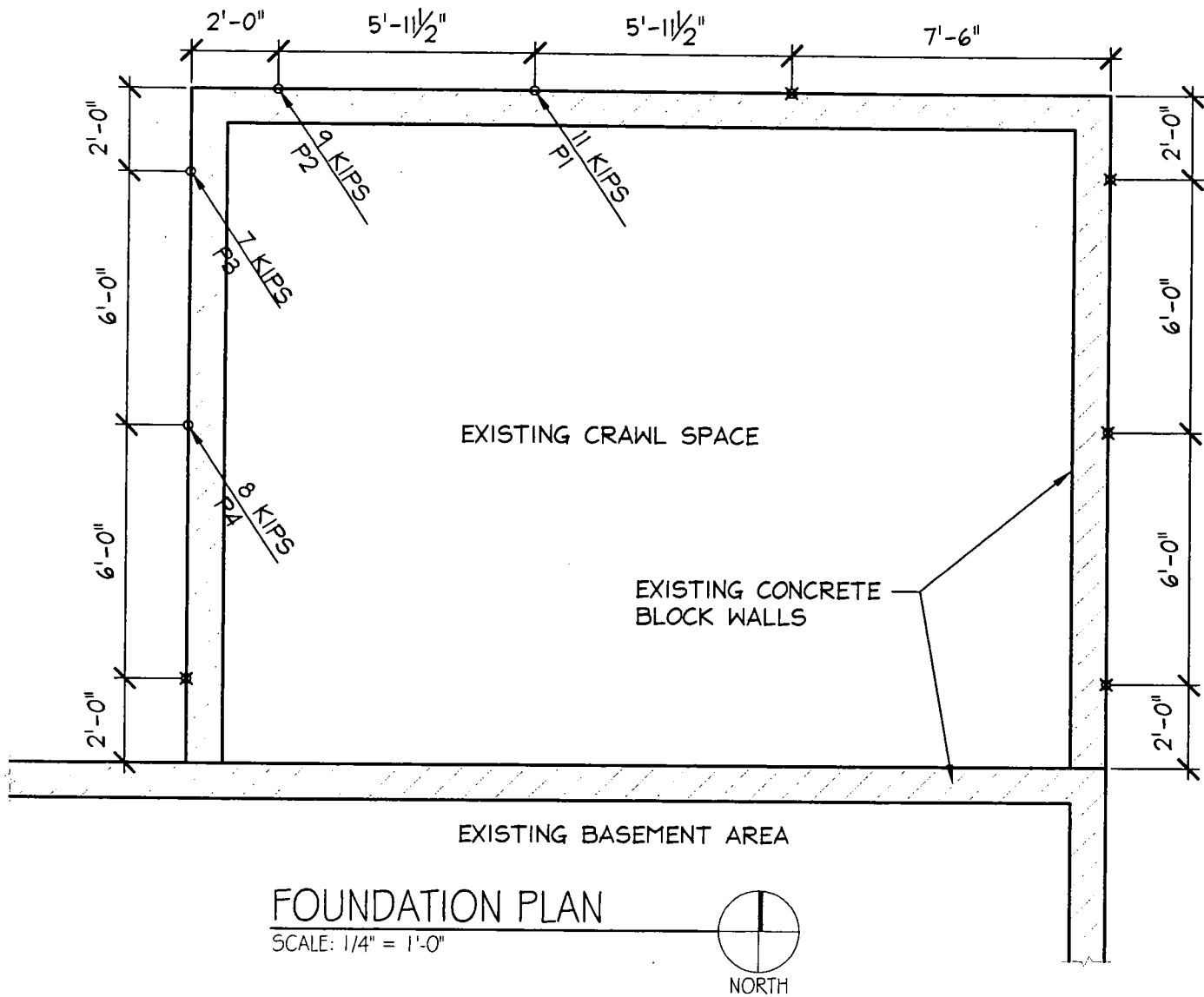
Wall Height: 3'-8" Courses: 5 Cracks: Floor: Concrete Dirt
 Moisture: Y N Thickness: 16" Tipped: Other:

OBSERVATIONS

CONDITION AND CRACKS

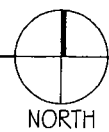
WALL	TIPPED	HORIZONTAL	STEPPED	SHEARED	VERTICAL	DISPLACED
NORTH						1 1/2" - 2"
SOUTH						0" - 1"
EAST						1" - 2"
WEST			X			0 - 7 1/2"

The walls have been displaced by earth and frost pressure. Follow the repair recommendations.

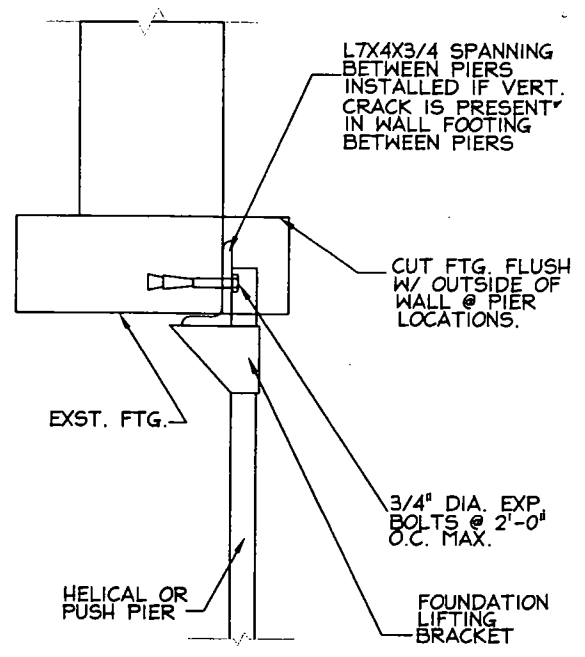


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



- KIPS
- - DENOTES A PIER ✕ - DENOTES AN EXST. PIER
- 1) HELICAL PIER OR HYDRAULICALLY DRIVEN PIER LOCATIONS TYPICAL.
- 2) LOADS SHOWN ARE WORKING LOADS: F.S. = 2.0
- 3) VOID FILL BELOW FOOTING OR FLOOR AS BUILDING IS BEING LIFTED
- 4) LOADS SHOWN ARE DESIGNED FOR A FUTURE VERTICAL ADDITION OVER CRAWL SPACE AREA



PIERING DETAIL

SCALE: 3/4" = 1'-0"

1012 E. CHURCH HILL LN. FOX POINT, WI

Sheet Title: **FOUNDATION PLAN**

Project #: **1777**

Revisions:

Drawn: **CLM**

Date: **04/06/06**

Drawing Scale: **1/4" = 1'-0"**

Sheet #: **S1**

Jendusasa Engineering Associates, Inc.
 4615 Vettelson Road
 Hartland, WI 53029
Professional Design Services for Architects and Builders
 Ph. 262-369-0700 Fax 262-369-7740
 Email jfj@wi.rr.com

FLOOR LOAD (PSF)

$DL = 8(16'-0"/2)(20\text{ PSF}) = 380\#/\text{ft}$
 $LL = 8(16'-0"/2)(20\text{ PSF}) = 440\#/\text{ft}$

ROOF LOAD (E/M)

$DL = 21'-5"/2(3\text{ PSF}) = 110.6\#/\text{ft}$
 $LL = 21'-5"/2(22\text{ PSF}) = 342.1\#/\text{ft}$

WALL LOAD

$TL = (2)(9'-0")(10\text{ PSF}) + (2)(8")(56\text{ PSF}) + (1'-0")(2'-0" \times 150\text{ PSF}) + 150"(110\text{ PSF}) = 800\#/\text{ft}$

PER LOADS

① $DL = 6'-0"(160.6 + 800)\#/\text{ft} = 576.6\#$
 $LL = 6'-0"(342.1)\#/\text{ft} = 2056.2\#$

② $DL = 5/6(576.6\#) = 480.5\#$
 $LL = 5/6(2056.2\#) = 1713.5\#$

③ $DL = 6'-0"(320 + 800)\#/\text{ft} = 6720\#$
 $LL = 6'-0"(440\#/\text{ft}) = 3840\#$

④ $DL = (6'-0"/2 + 2'-0")(320 + 800)\#/\text{ft} = 5600\#$
 $LL = (6'-0"/2 + 2'-0")(440\#/\text{ft}) = 3200\#$

AL1 ②

$DL = (2'-0" + 2'-0")(160.6 + 800)\#/\text{ft} + 3'-0"(160.6 + 800)\#/\text{ft} + 3'-0"(160.6 + 800)\#/\text{ft} = 8163\#$
 $LL = (2'-0" + 2'-0")(440\#/\text{ft}) + 3'-0"(440\#/\text{ft}) + 3'-0"(440\#/\text{ft}) = 3638.5\#$

AL1 ③

$DL = (3'-5"/2)(320 + 800)\#/\text{ft} = 1515.3\#$
 $LL = (3'-5"/2)(440\#/\text{ft}) = 729.3\#$

$TL = 1180\#/\text{ft}$

$TL = 1179.5\#$

$TL = 8800\#$

$TL = 10560\#$

$TL = 6516.5\#$

$TL = 7819.8\#$

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 12889

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure REPLACEMENT DECK FOR RESIDENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 EAST CHURCHILL LANE

Lot 5 Block 3

Subdivision LAND CONTRACT

District 1890 - FP/BS SCHOOLS

Does contemplated structure violate the Village zoning ordinance? No

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Frame, Brick, tile, Etc. Exterior finish Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Estimated cost Garage Building Structure \$1,000

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size

Where situated

General construction Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: EXISTING DECK WAS REMOVED DUE TO FOUNDATION REPAIR - PERMIT REQUIRED FOR DESIGN + BUILD OF NEW DECK.

CONDITIONALLY APPROVED
CONTINGENT UPON COMPLIANCE WITH ALL CODES
VILLAGE OF FOX POINT
DATE: 5/1/06
BY: [Signature]
Subject to the Deck being constructed in accordance with the Deck code.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure PETER & KATY NELSON Arch. or Contr.

Address 1012 E. CHURCHILL LN. Address

City Fox Point, WI 53217 City State Zip

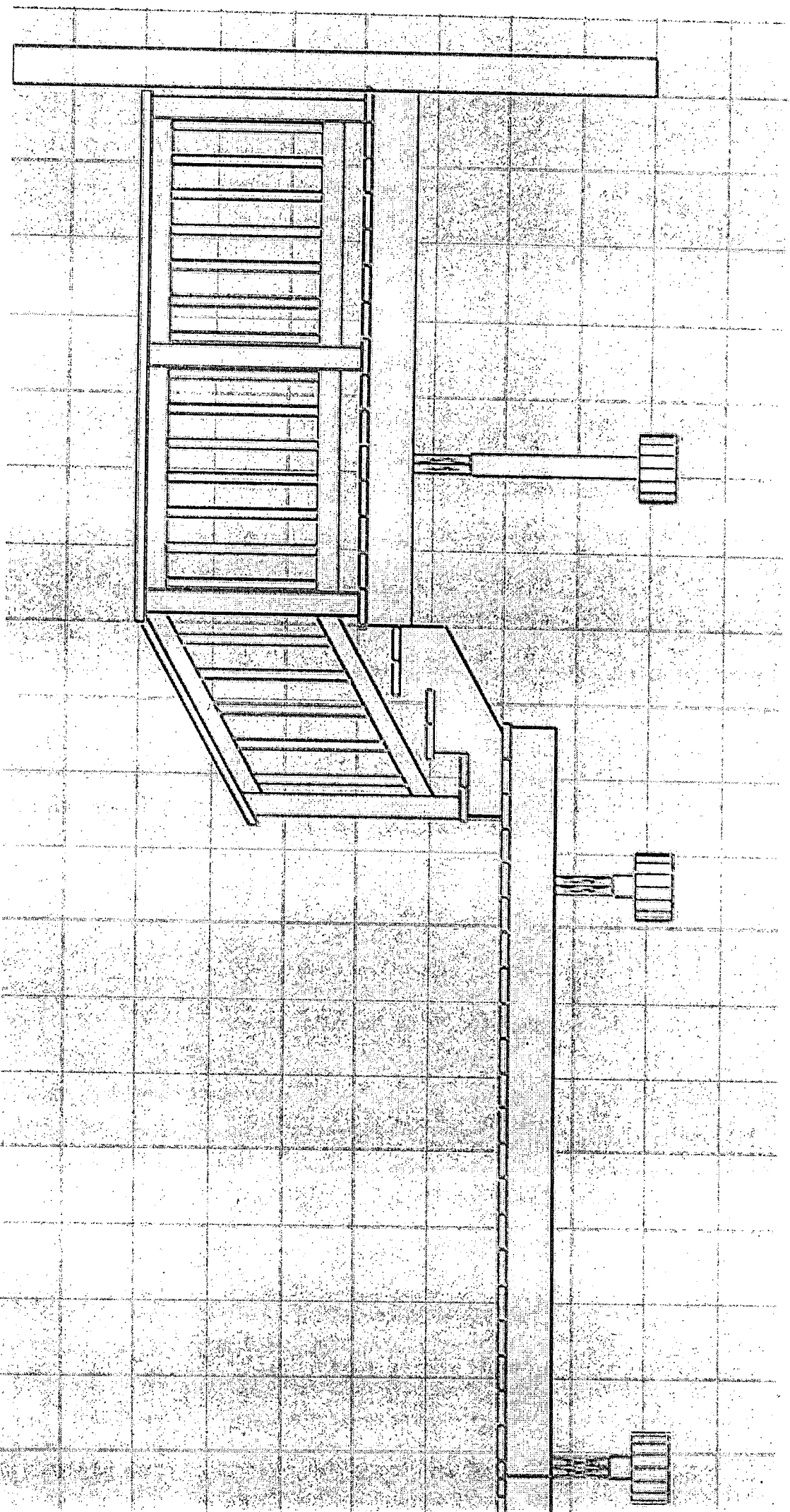
Phone 414/228-1250 Phone pd 5/1/06 Rec# 1.017120

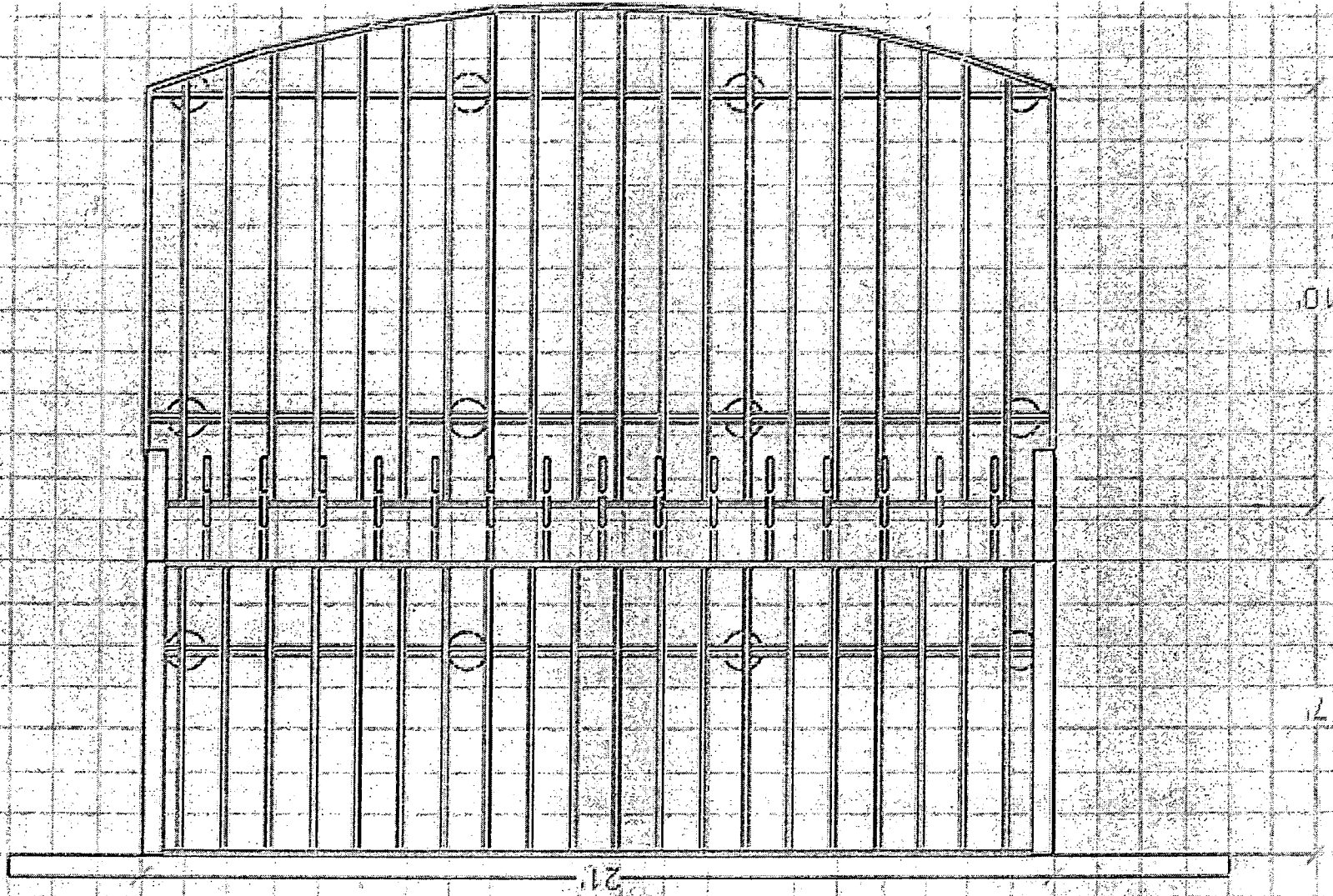
Size of Structure (sq. ft.) Permit Fee \$50.00 herewith tendered

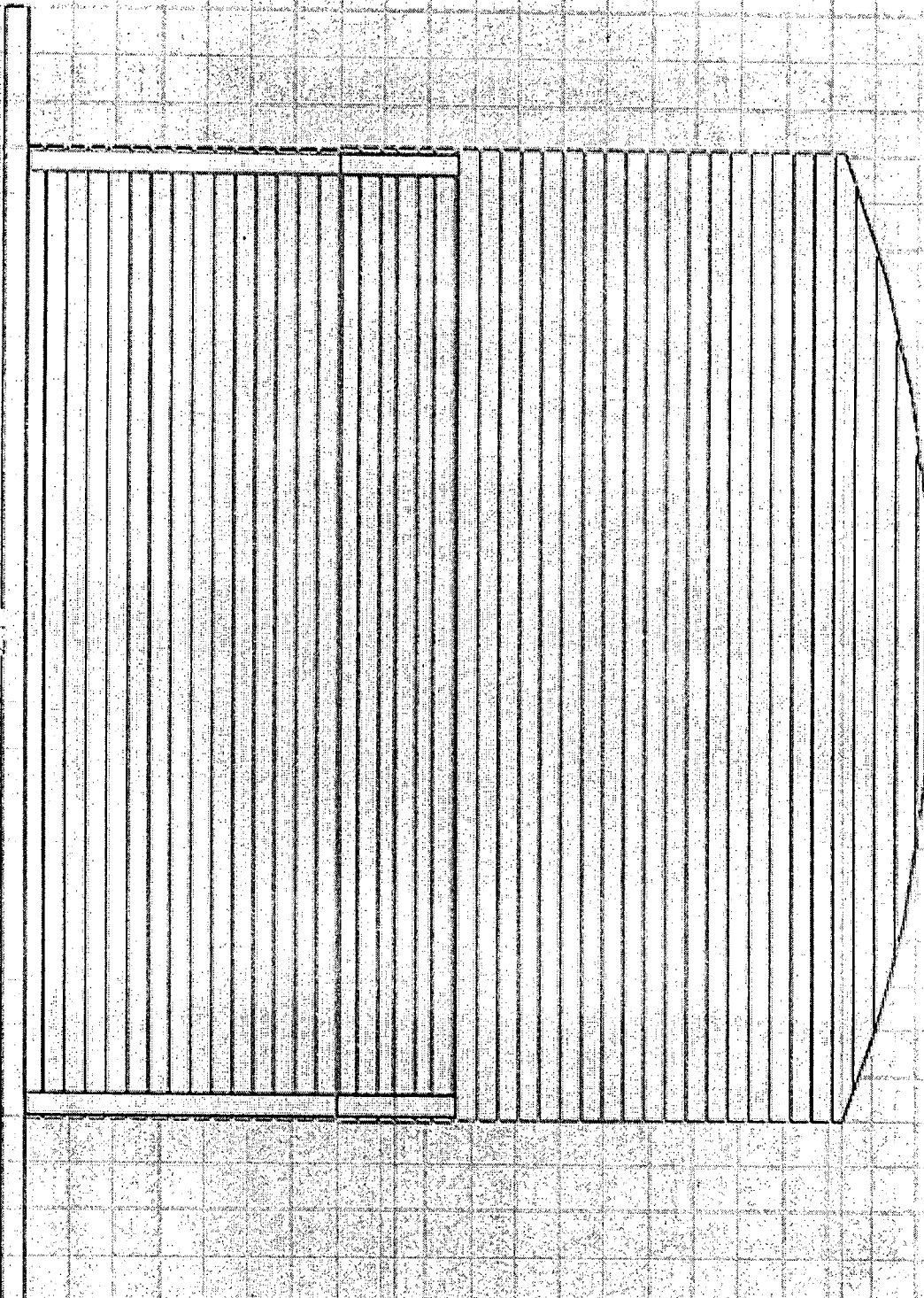
Date Submitted State ID# Exp. Date

Date Approved Signed Peter Nelson 5/1/06

Date of Permit PETER NELSON OWNER Architect, Owner, Builder





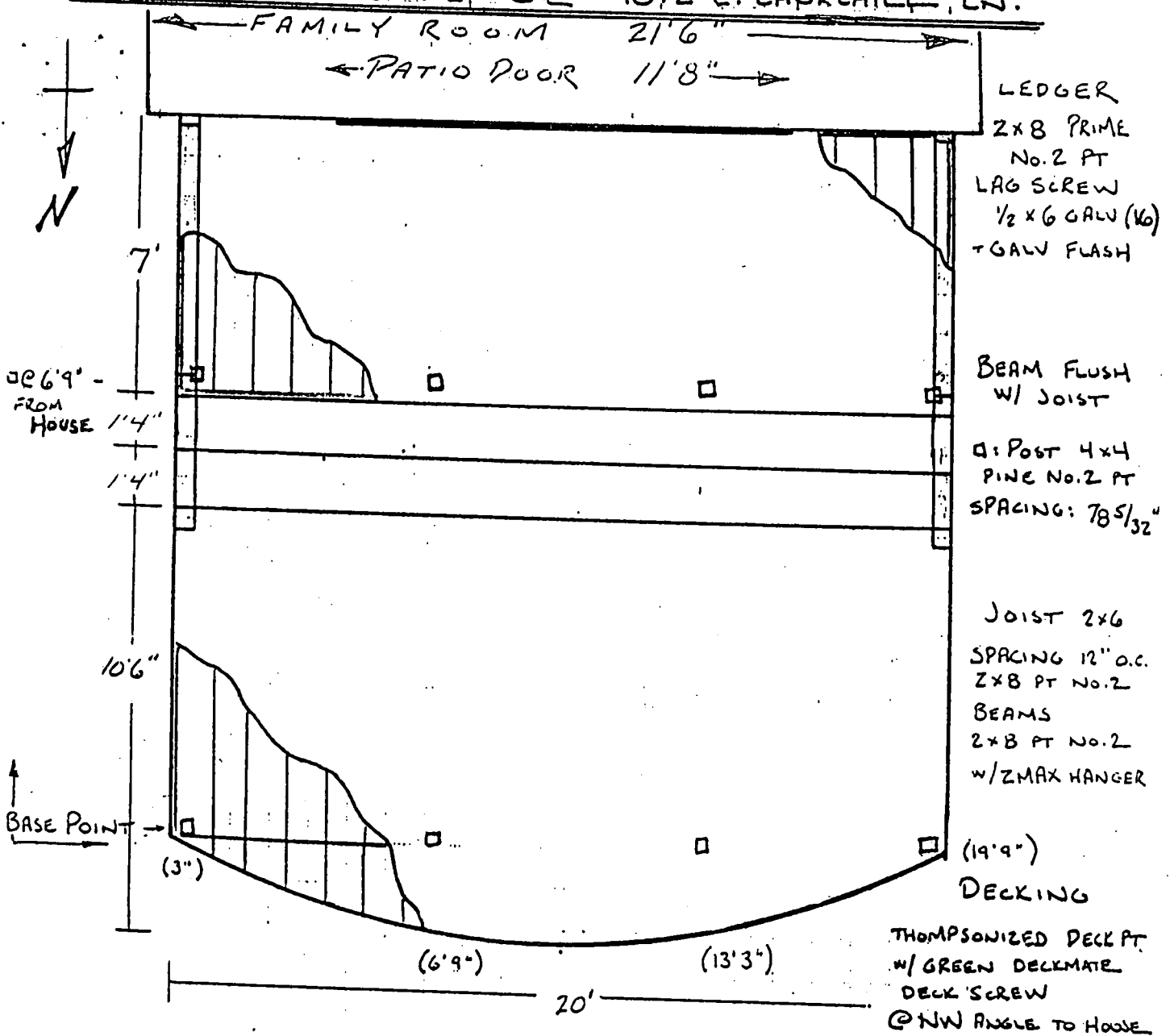


21'

7'

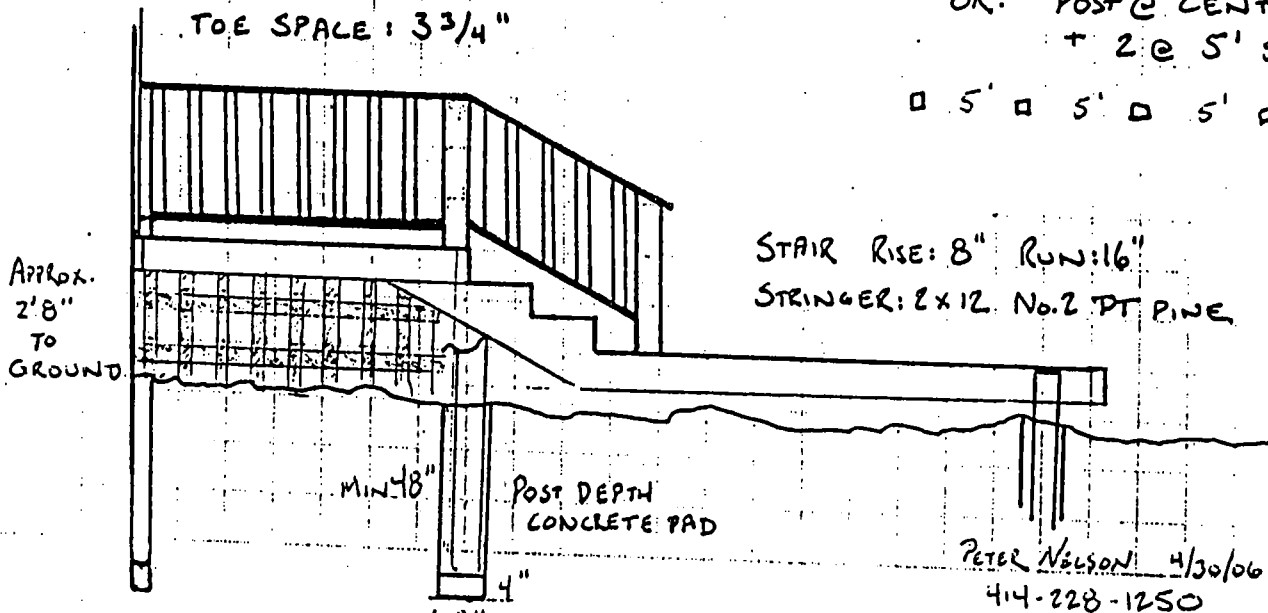
10'

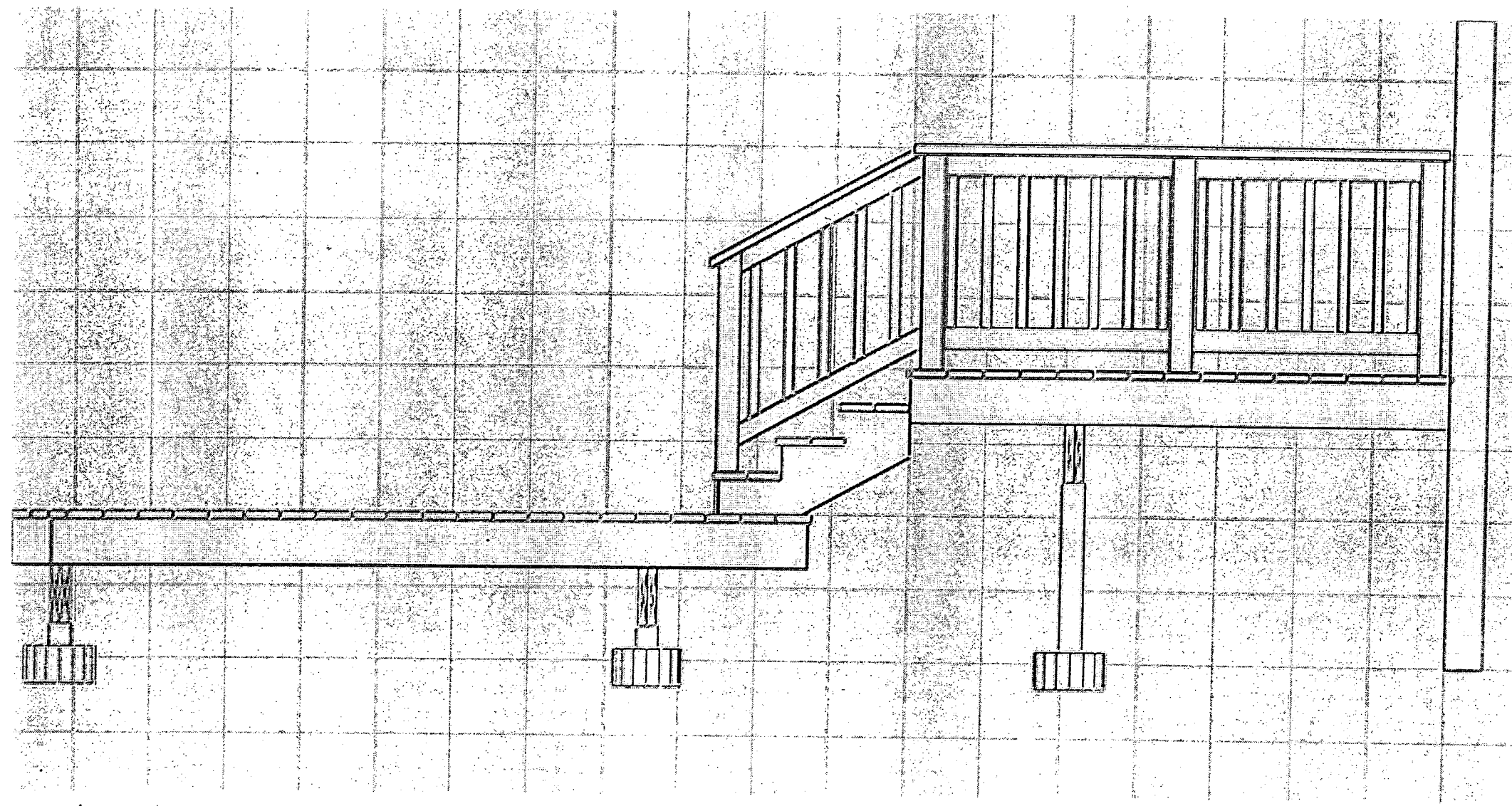
NELSON RESIDENCE : 1012 E. CHURCHILL, LN.

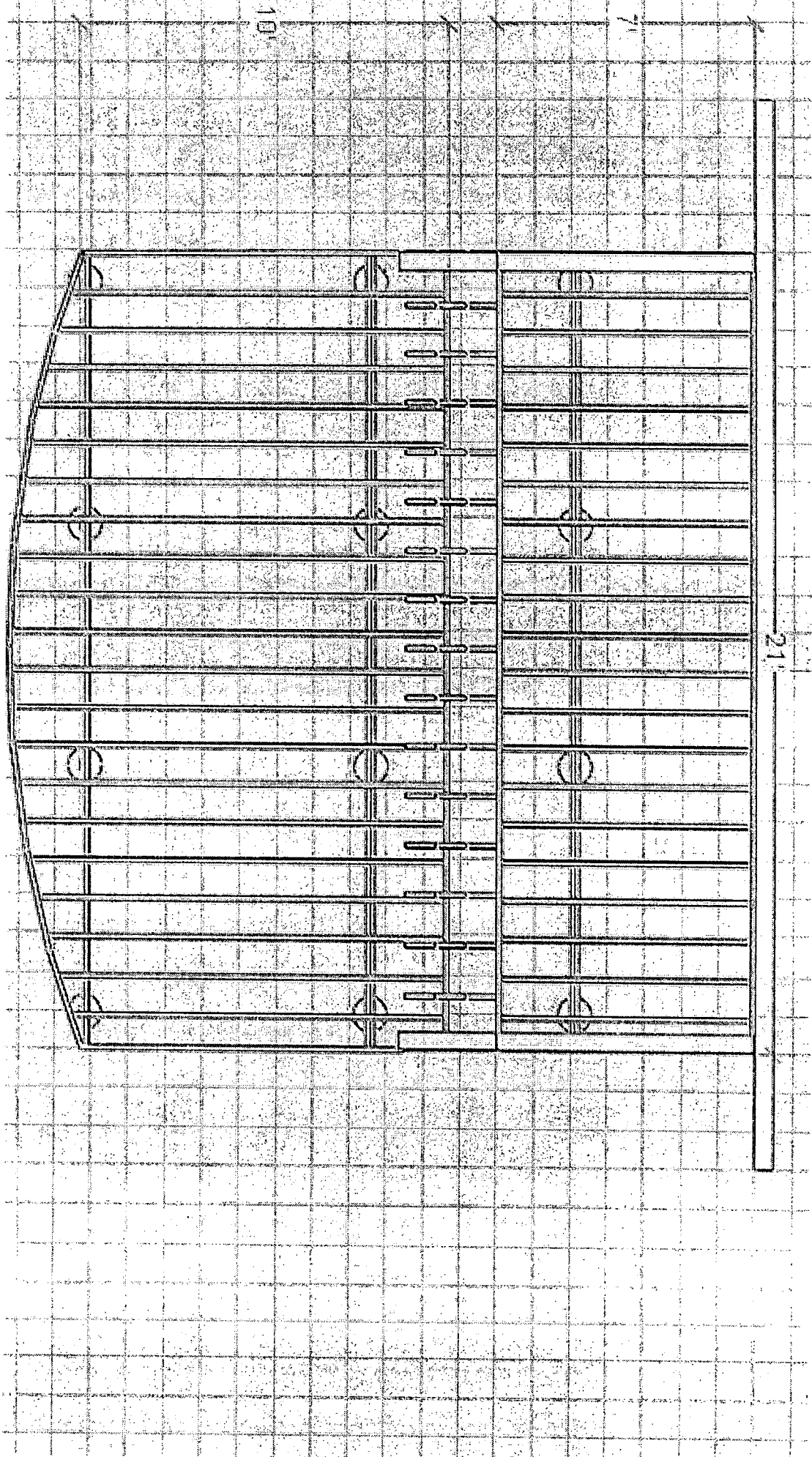


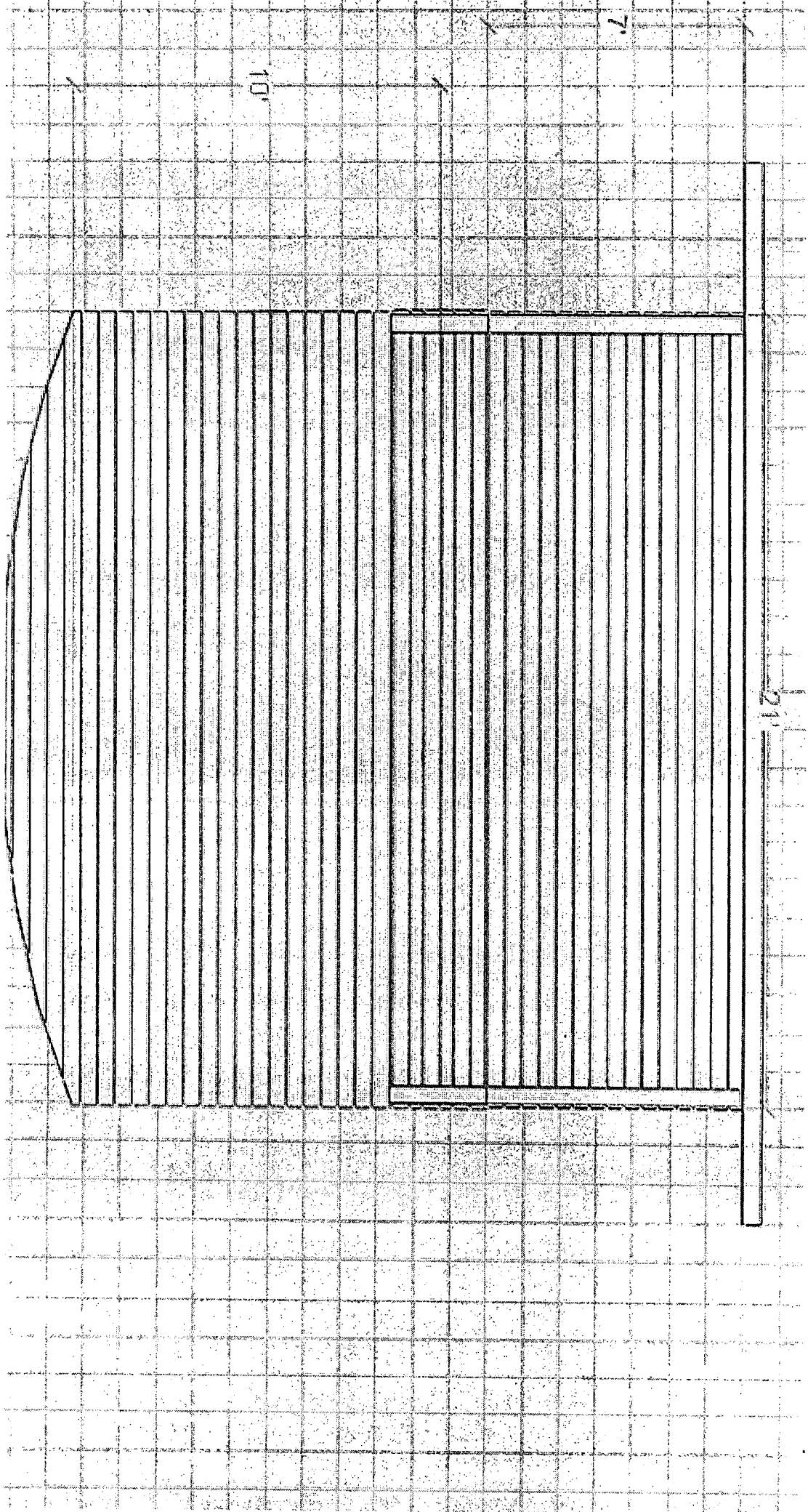
RAIL HEIGHT: 36"
 BALUSTER SPACE: 3 3/4"
 TOE SPACE: 3 3/4"

POST LAYOUT AS SHOWN
 OR: POST @ CENTER
 + 2 @ 5' SPACING
 5' 5' 5' 5'

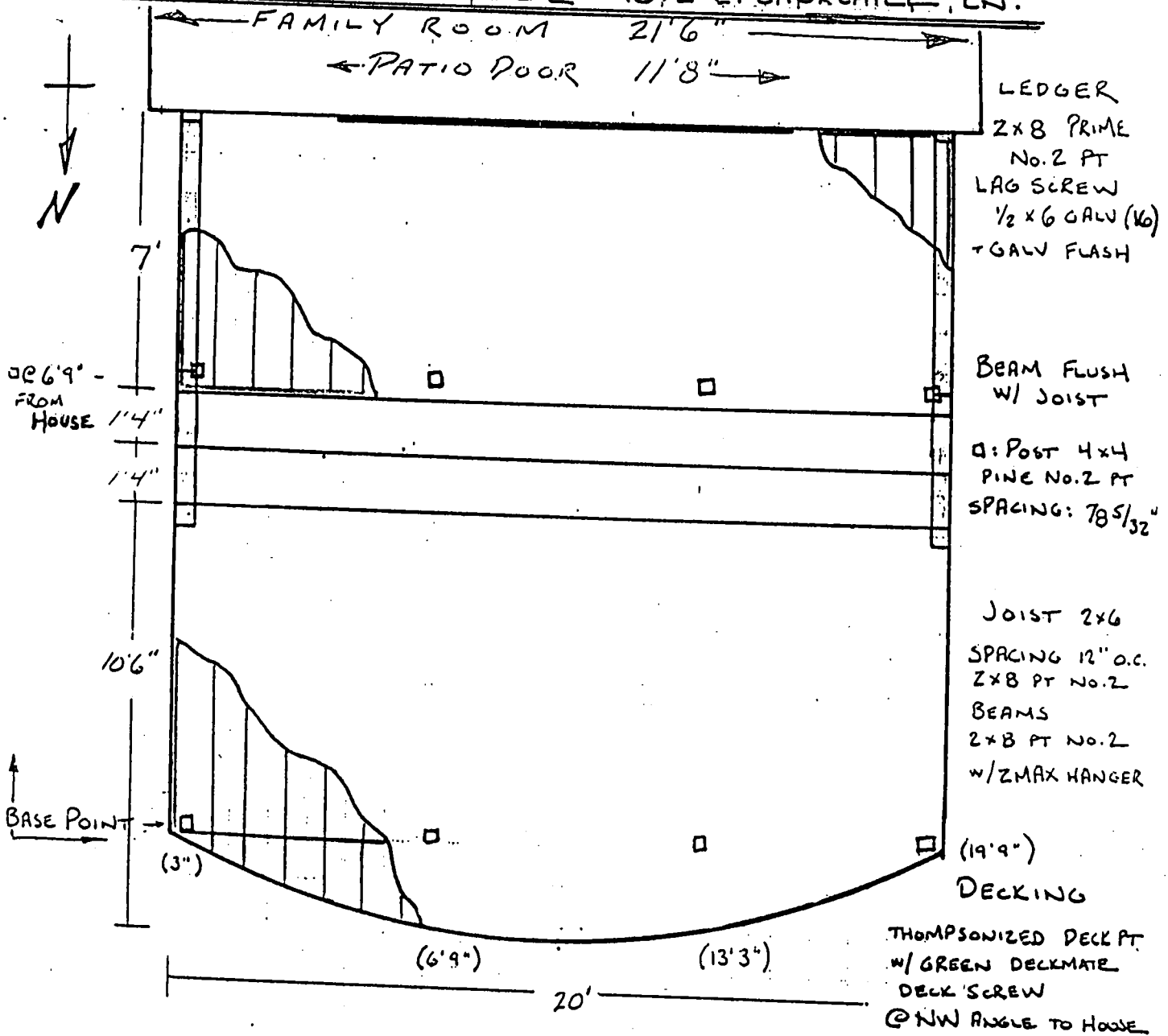








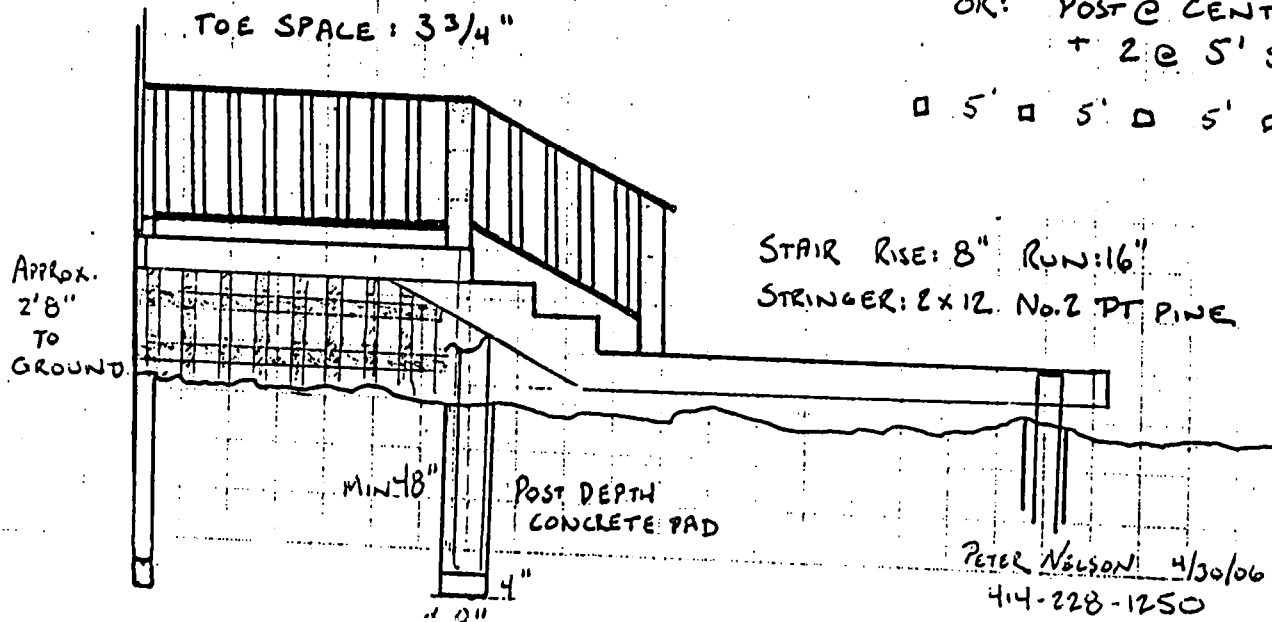
NELSON RESIDENCE : 1012 E. CHURCHILL LN.



RAIL HEIGHT: 36"
 BALUSTER SPACE: 3 3/4"
 TOE SPACE: 3 3/4"

POST LAYOUT AS SHOWN
 OR: POST @ CENTER
 + 2 @ 5' SPACING

□ 5' □ 5' □ 5' □ 5' □



PETER NELSON 4/30/06
 414-228-1250

40. - Receipt # 8292

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 6146C

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner Type _____
Forced Air, Radiant, Baseboard, Etc.

Fuel: Gas Oil Coal Elect. Other _____

Desc. of Heating Plant _____

Vented to _____

Fuel Tank : _____ Size _____ Location _____

Summer Air Conditioner Size 3 TON HEIL (Ton, H.P.)

Coolant R-22

Compressor Coolant: Air ; Water ;

If Water Cooled:
Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

REPLACEMENT OF PREVIOUS UNIT - CENTER OF PROPERTY @
REAR OF HOUSE

Incinerator Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels _____

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner PETER NELSON

Address of Work 1012 EAST CHURCHILL LN.

OFFICE USE ONLY
Application Approved: [Signature] 8/21/03
Installation Approved: [Signature] 9/4/03

[Signature]
Signed
AUGUST 19, 2003
Date

Contractor STECKER HEATING & COOLING

Address P.O. Box 700020 701 N. 10TH ST. Phone 920/564-3989

City OOSTBURG State WI Zip Code 53070

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No. <u>17125 C</u>	
Received <u>8/20/03</u>	
Service _____	
Rough-in _____	
Final <u>[Signature]</u>	

APPLICATION FOR ELECTRICAL PERMIT

Date 8/20/03
License No. 170785

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder <u>ROETHEL ELECTRIC LLC</u>	Owner <u>PETER NELSON</u>	Occupant <u>PETER NELSON</u>
Job Address <u>1012 E. CHURCHILL LN. FOX POINT, WI</u>		

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?
Describe _____

List Name of Installing Contractor
 HEATING STECKER HEATING/COOL
 AIR CONDITIONING _____
 PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP	/	5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: _____ How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		40.00 ea	<u>40</u>	<u>00</u>
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 8292
 TOTAL FEES 40 00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

Contractor <u>ROETHEL ELECTRIC LLC</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>8/19/03</u>
Address <u>761 N. 10TH ST.</u>		Telephone <u>920/564-3586</u>
City <u>COSTBURG</u>	State <u>WI</u>	Zip Code <u>53076</u>

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217

NONCOMPLIANCE NOTICE

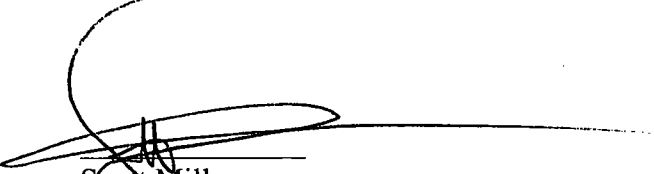
March 11, 2003

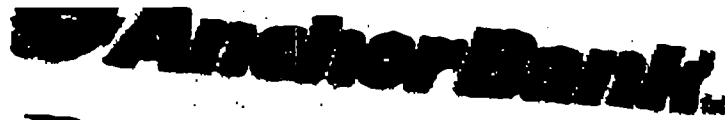
Issued to: Steven & Wendy Lewensohn

Address: 1012 E. Churchill Lane

An inspection of the premises located at 1012 E. Churchill Lane discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- ~~1.~~ Smoke detectors are required for each floor level including the basement.
- ~~2.~~ Provide backflow protection for all exterior hose bibs and laundry tub faucet.
- ~~3.~~ The basement dryer must vent to the exterior of the building by means of a code compliant metallic exhaust system.
- ~~4.~~ Please obtain a plumbing permit for your water heater installation. Also, please extend the relief valve piping to with 6" of the basement floor as per code.
- ~~5.~~ Please provide a code compliant waste/vent system for your basement laundry tub installation.
- ~~6.~~ Properly attach the electrical box in your garage as required by code.
- ~~7.~~ The garage door opener may not be supplied by an extension cord.
- ~~8.~~ Please provide a code compliant circuit breaker for the electrical supply of your furnace.
- ~~9.~~ Properly support the non metallic sheathed cable in your basement crawl space as per code.
10. The maximum rise for a step is 8 inches. Please bring your front entry steps into code compliance.
11. In checking Village records, I fail to find any evidence that your obtained a permit for the construction of your exterior deck. Please obtain this permit. Also, please submit documentation showing that your deck was constructed in accordance with the Village's Deck Ordinance.


Scott Miller
Building Inspector
Village of Fox Point



Fax Cover Sheet

To: *Scott*

Date: *April 21*

Number of Pages: *1*

From: *S. Lewerick*

Subject: *WASH*

Fax Number: *414-290-7278*

Phone # 11 290-7245

If you have not received all pages of this fax, please contact the sender at the number above.

The information contained in this facsimile message is privileged, confidential, intended only for the use of the individual or entity to which it is specifically addressed, and should not be read by, or delivered to, any other person. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering it to the intended recipient, you are hereby notified that any distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone (number above). Thank You.

Steven Lewensohn

From: <Swlewnsohn@aol.com>
To: <Slewnsohn@anchorbank.com>
Sent: Friday, April 18, 2003 3:39 PM
Subject: waiver/code certificate

Village Fox Point Building Inspector,
Scott, per inspection on 04/18/03 @ 1012 E Churchill Lane Fox Point, WI. The
1st of three risers to the front porch is only 5" high. The other risers are
each 8". However to correct the first riser would require extensive work.
The current walkway was present at the time of our purchase in 1986. Per your
recommendation we are requesting that the riser remain at 5" and allow a
waiver that the steps remain as is condition. Thank you for your suggestion
on this matter.

Steven & Wendy Lewensohn

4/21/03

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217

NON - COMPLIANCE NOTICE

April 25, 2003

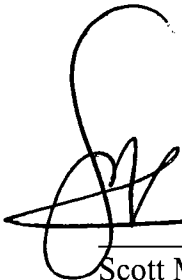
Issued to: Steven & Wendy Lewensohn

Address: 1012 E. Churchill Lane

An inspection of the premises located at 1012 E. Churchill Lane, discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

12. I have consulted with the Village Attorney at your request to waive # 10 of your Non Compliance Notice dated March 11, 2003. The Village Attorney advised that I may waive this item of non compliance subject to the following:

- A. You may identify the non compliant stairway with a permanent plaque, or
- B. You may permanently mark the bottom riser of your stairway so that anyone using this stairway will be able to see that the risers are not uniform. Please let me know how you plan on proceeding with this matter.



Scott Miller
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

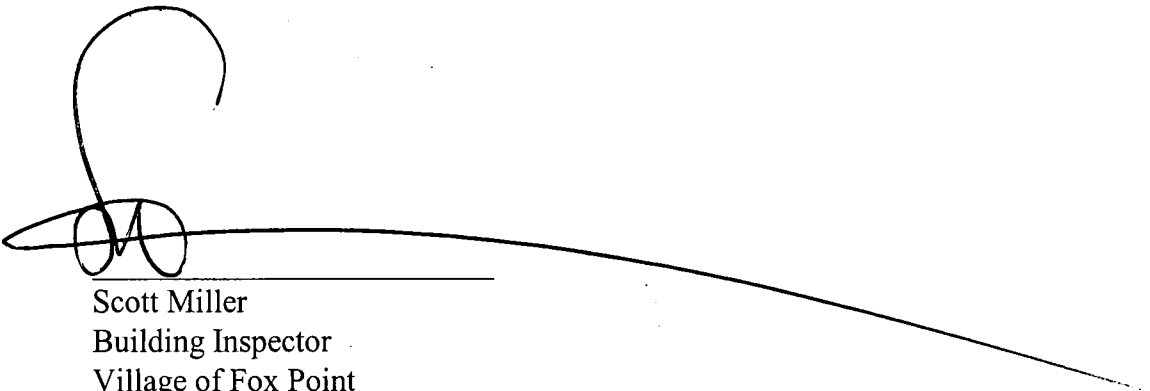
April 30, 2003

NO. 4995

Issued to: Steven and Wendy Lewensohn

Address: 1012 E. Churchill Lane

This Certificate of Compliance permits a change in the occupancy of the premises at 1012 East Churchill Lane, Fox Point, WI, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Scott Miller
Building Inspector
Village of Fox Point

*** ACTIVITY REPORT ***

TRANSMISSION OK

TX/RX NO. 3408
CONNECTION TEL 92907278
CONNECTION ID
START TIME 04/30 09:32
USAGE TIME 00'31
PAGES 1
RESULT OK

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

April 30, 2003

NO. 4995

Issued to: Steven and Wendy Lewensohn

Address: 1012 E. Churchill Lane

This Certificate of Compliance permits a change in the occupancy of the premises at 1012 East Churchill Lane, Fox Point, WI, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	16918C
Received	3/21/03
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 3/19/03

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. 146

Builder	Owner STEVEN LEWEN SOHN	Occupant
---------	-----------------------------------	----------

Job Address 1012 E Churchhill LN.

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?

Describe Garage & Basement

List Name of Installing Contractor

HEATING _____
 AIR CONDITIONING _____
 PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input checked="" type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		40.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

REMARKS:

*CORRECT
Electrical
REPAIR ORDER*

Recusst #6776
TOTAL FEES 40.00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor TEAM ELECTRIC CO. INC.			Supervising Electrician (Signature) <i>[Signature]</i>		Date <u>3/19/03</u>
Address <u>5326 S LaSalle Dr</u>			Telephone <u>414-425-4809</u>		
City <u>New Berlin</u>	State <u>WI</u>	Zip Code <u>53151</u>			

Receipt No: 1.006776

Mar 20, 2003

1012 E CHURCHILL LANE

LICENSES & PERMITS-ELECTRICAL PERMIT 40.00
24-44430 ELECTRICAL PERMIT

8050 N PORT WASHINGTON ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT 53.80
24-44430 ELECTRICAL PERMIT

Total: 93.80

CHECK Chk No: 5037 93.80
Total Applied: 93.80

Change Tendered: .00

03/21/03 11:33am

No. 994 C

Plumber HARRIS PLUMBING
Address 8945 N. NAVAJO Rd.
Tel. No. 414-351-4376

Application and Record

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

Owner LEWENSOHN
Address 1012 E. CHURCHILL
Date MARCH 26, 19 2003

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building
at

PERMITS USED	
Kind	No.
Sewer and Plumbing	994
Water	
Street	
Meter	
Water Usage	

1012 E. CHURCHILL LANE Fox Point, Wis.
Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP 226470 *Robert Harris* Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS	
No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters	Sprinkling System
Wash. Mach. Wastes	Urinals
Bidets	
Catch Basins	
	CODE COMPLIANCE

FEES	
Water Usage	\$
Building Sewer	.....
Water Service	.....
Building Drain	.....
Fixtures	.....
Water Meter	.....
Total Double Fee	\$80.00
Deposit to cover street repairs	Receipt # 6889

[Signature] Permit Clerk

A inch water service pipes laid in
Curb box is located feet of feet of
..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in
..... feet of manhole

A inch storm sewer connection was made in
..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved Application Approved 19
As Built Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

Receipt No: 1.006889

Apr 02, 2003

1012 E CHURCHILL

LICENSES & PERMITS-PLUMBING PERMIT	80.00
24-44470 PLUMBING PERMIT	

Total:	<u>80.00</u>
--------	--------------

CHECK	Chk No: 8256	80.00
Total Applied:		<u>80.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

04/02/03 09:33am

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Handrails / Deck
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 E Churchill Lane

LotBlock

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish

Frame, Brick-tile, Etc.

Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Garage

Estimated cost Building

Structure 400.00

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated

General construction

Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks:

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Steve H. Lenderman Arch. or Contr. Mr. Vandymen / Chuck

Address 1012 E Churchill Lane Address 5630 W. Miller Park Parkway

City Fox Point WI 53017 City Glendale WI 53209
State Zip State Zip

Phone 414 351 2539 Phone 414-351-2124

Size of Structure.....(sq. ft.) Permit Fee 80.00 #7176 herewith tendered

Date Submitted..... State ID#..... Exp. Date.....

Date Approved..... Signed.....

Date of Permit.....

Architect, Owner, Builder

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No.

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure DECK
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 E CHURCHILL LANE

Lot 5 Block 3

Subdivision FOX POINT

District SW 4 SECTION 9, TOWN NORTH, RANGE 22 EAST

Does contemplated structure violate the Village zoning ordinance? No

Height of Structure 3 FEET (stories or feet)

Width (parallel to highway) 16 (feet) Depth (perpendicular to highway) 7 (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction WOOD FRAME Exterior finish _____
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Estimated cost Garage _____
Building _____
Structure _____

Is there a private garage? YES

Does the contemplated garage violate the Village zoning ordinance? No

Size _____ Number of stalls _____

Where situated _____

General construction _____
Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans 2 in number, which I certify I will conform to in the work hereby applied for.

Remarks: Bringing deck up to code compliance.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure STEVE & WENDY LEWENSOHN Arch. or Contr. MR. HANDYMAN, LLC

Address 1012 E CHURCHILL LANE Address 5630 N MILWAUKEE RIVER PKWY

City FOX POINT WI 53217 City GLENDALE WI 53209
State Zip State Zip

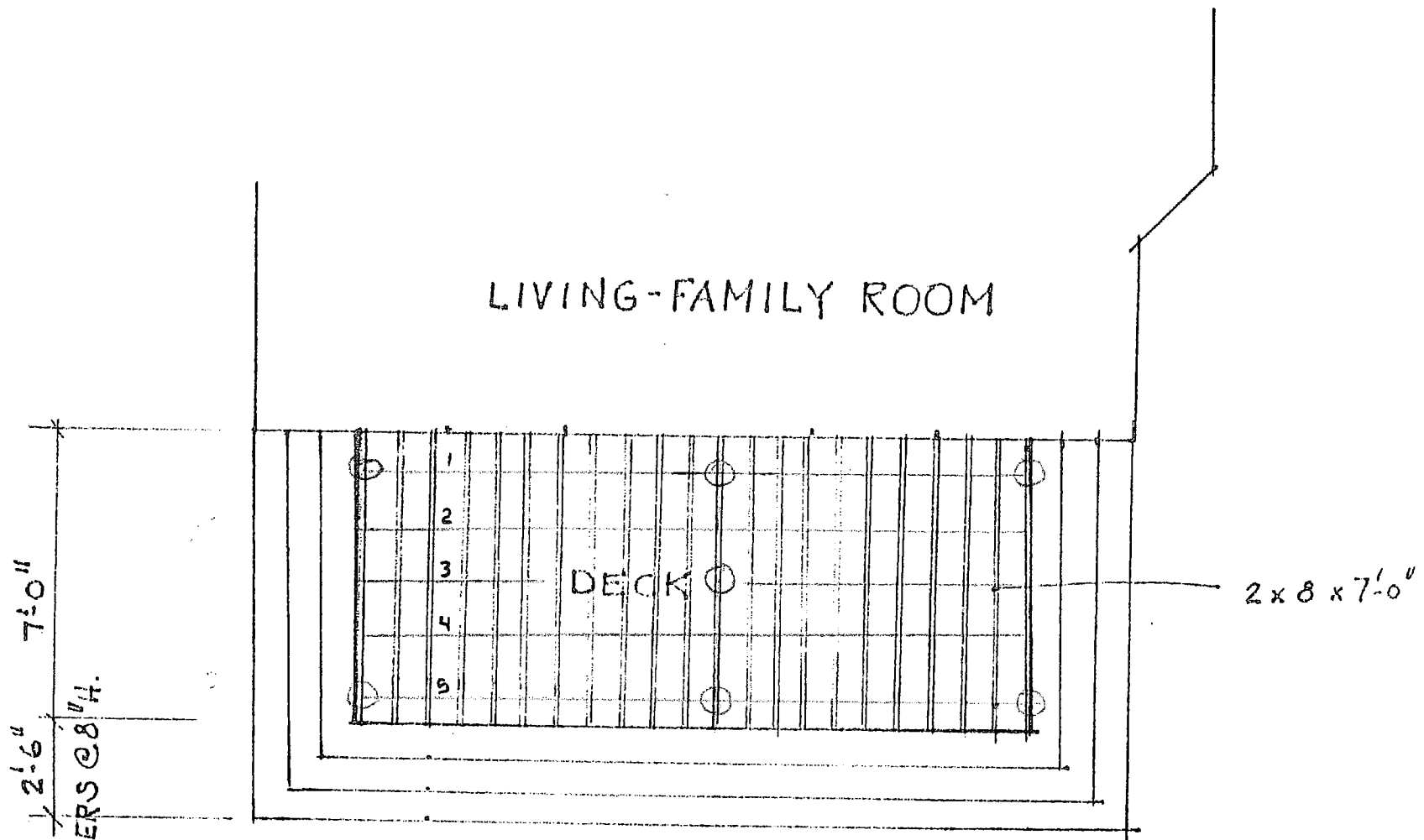
Phone (414) 351-2599 Phone (414) 688-5292

Size of Structure 200 (sq. ft.) Permit Fee \$80.00 herewith tendered

Date Submitted 4/21/03 State ID# _____ Exp. Date _____

Date Approved _____ Signed Charles S. Holzman
M. N. S. I. L. C.

Receipt # 7120



(5) 2 x 12 x 12 PRESSURE TREATED LUMBER OVERLAPPED IN THE CENTER AND ATTACHED WITH HEX HEAD 6" BOLTS

(7) ○ - 4 x 4" PRESSURE TREATED LUMBER ON 10" DEEP x 8" DIAMETER CONCRETE PILINGS

* ALL WOOD MATERIAL TO BE PRESSURE TREATED WOOD
 * NAILS TO BE GALV DECKING NAILS

1" x 4" PRESSURE TREATED
POSTS ATTACHED WITH 6" BOLTS

2" x 4" PRESSURE TREATED
LUMBER EXTENDS BETWEEN
POSTS

LIVING-FAMILY ROOM

(2) 4" x 4" PRESSURE TREATED
POSTS ATTACHED WITH
6" BOLTS

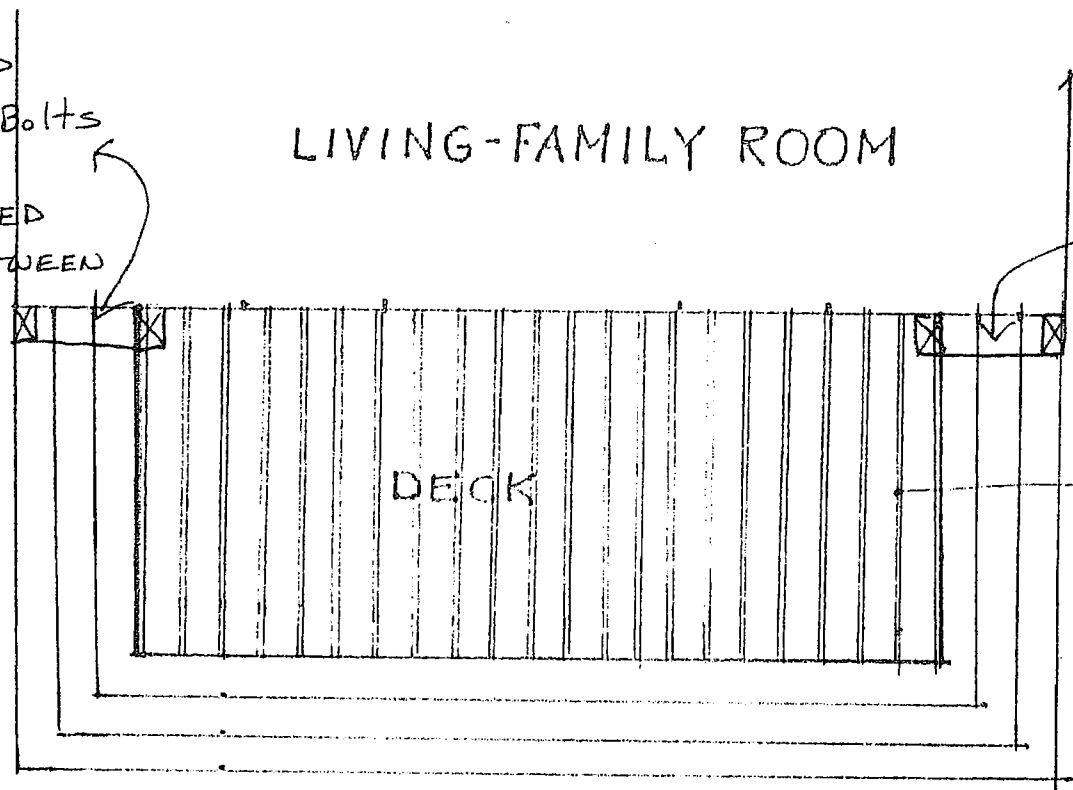
(1) 2" x 4" PRESSURE TREATED
LUMBER EXTENDS BETWEEN
POSTS

2 x 8 x 7'-0"

7'-0"

2'-6"

4 RISERS @ 8" H.



DECK

- * ALL WOOD MATERIAL TO BE PRESSURE TREATED WOOD
- * NAILS TO BE GALV. DECKING NAILS

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No.....

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure DECK
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 E CHURCHILL LANE

Lot 5 Block 3

Subdivision FOX POINT

District SW 1/4 SECTION 9, TOWN NORTH, RANGE 22 EAST

Does contemplated structure violate the Village zoning ordinance? No

Height of Structure 3 FEET (stories or feet)

Width (parallel to highway) 16 (feet) Depth (perpendicular to highway) 7 (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction WOOD FRAME Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure

Is there a private garage? YES

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction
Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans 2 in number, which I certify I will conform to in the work hereby applied for.

Remarks: Bringing deck up to code compliance.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure STEVE & WENDY LEWENSOHN Arch. or Contr. MR. HANDYMAN, LLC CHARLES HOLZMAN

Address 1012 E CHURCHILL LANE Address 5630 N MILWAUKEE PKWY

City FOX POINT WI 53817 City GLENDALE WI 53209
State Zip State Zip

Phone (414) 351-2599 Phone (414) 688-5292

Size of Structure 200 (sq. ft.) Permit Fee \$80.00 herewith tendered

Date Submitted 4/21/03 State ID# Exp. Date

Date Approved Signed Charles S. Norman Mr. Handyman, LLC

FAX TRANSMITTAL SHEET

DATE: 4/22/03

TO: Village of Fox Point

ATTENTION: Scott Miller

OF PAGES INCLUDING THIS ONE: 2

FROM: MR. HANDYMAN
5630 N MILWAUKEE RIVER PKWY.
MILWAUKEE, WI 53209

PHONE: (414) 688 - 5292

FAX: (414) 615-7810

1" x 4" PRESSURE TREATED
POSTS ATTACHED WITH 6" BOLTS

2" x 4" PRESSURE TREATED
LUMBER EXTENDS BETWEEN
POSTS

LIVING-FAMILY ROOM

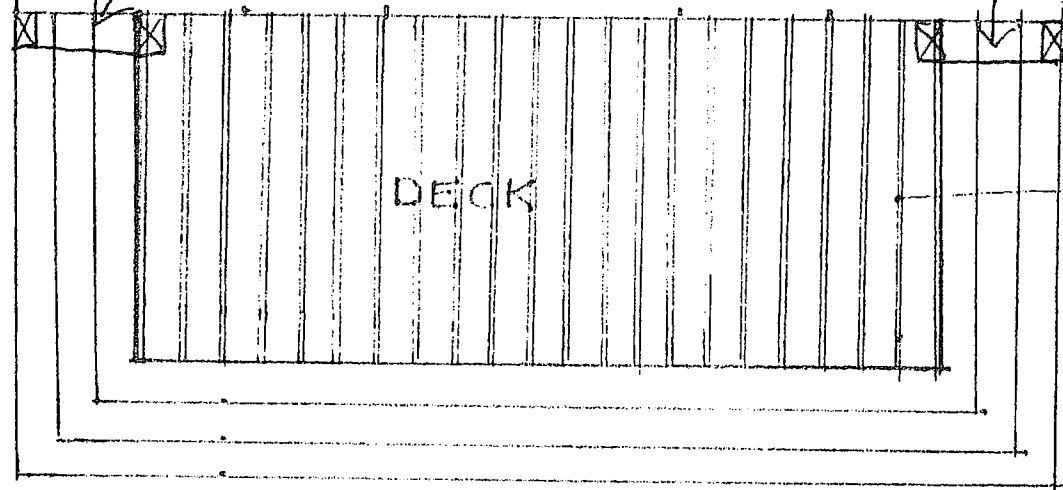
(2) 4" x 4" PRESSURE TREATED
POSTS ATTACHED WITH
6" BOLTS

(1) 2" x 4" PRESSURE TREATED
LUMBER EXTENDS BETWEEN
POSTS

7'-0"

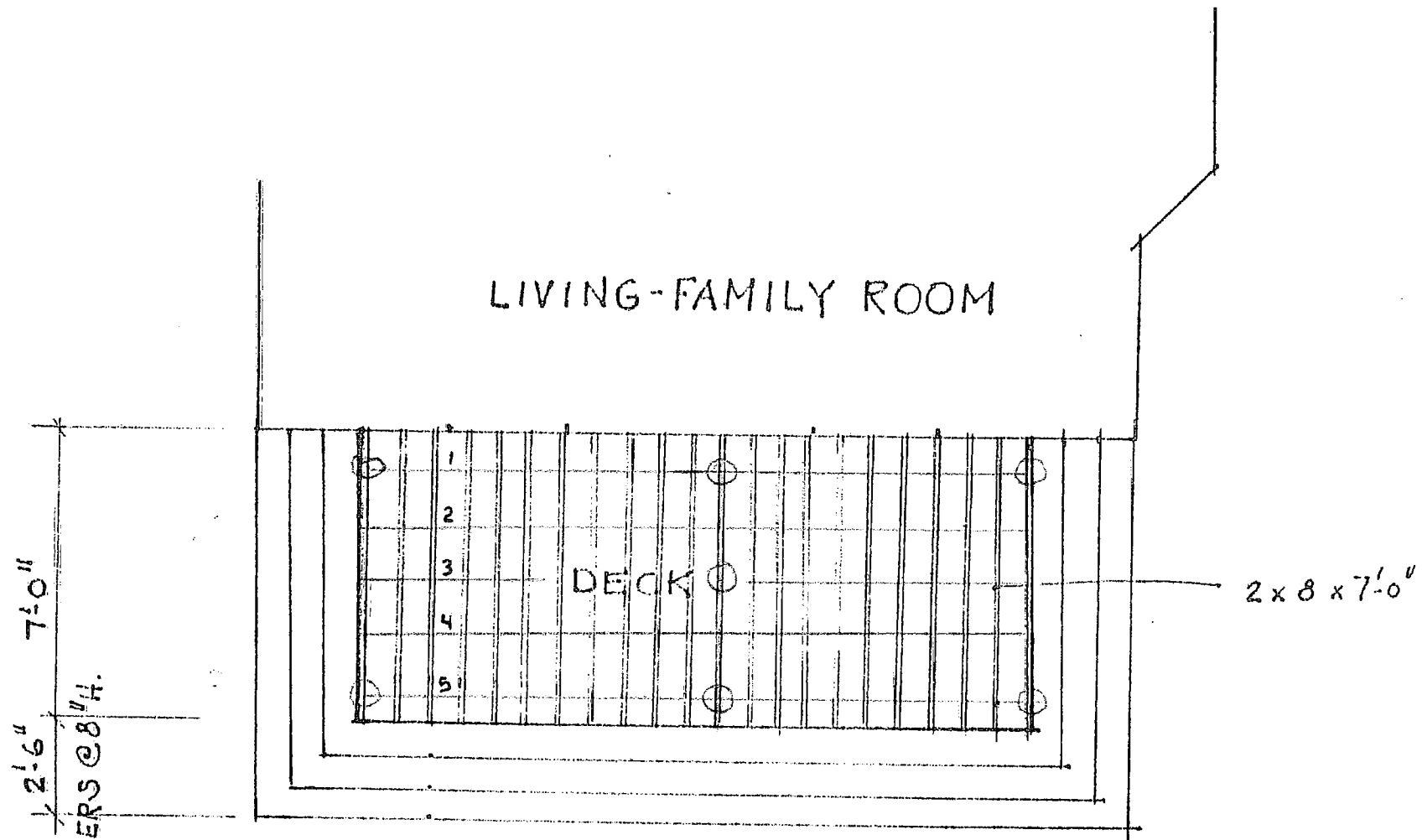
2'-6"

4 RISERS @ 8" H.



2 x 8 x 7'-0"

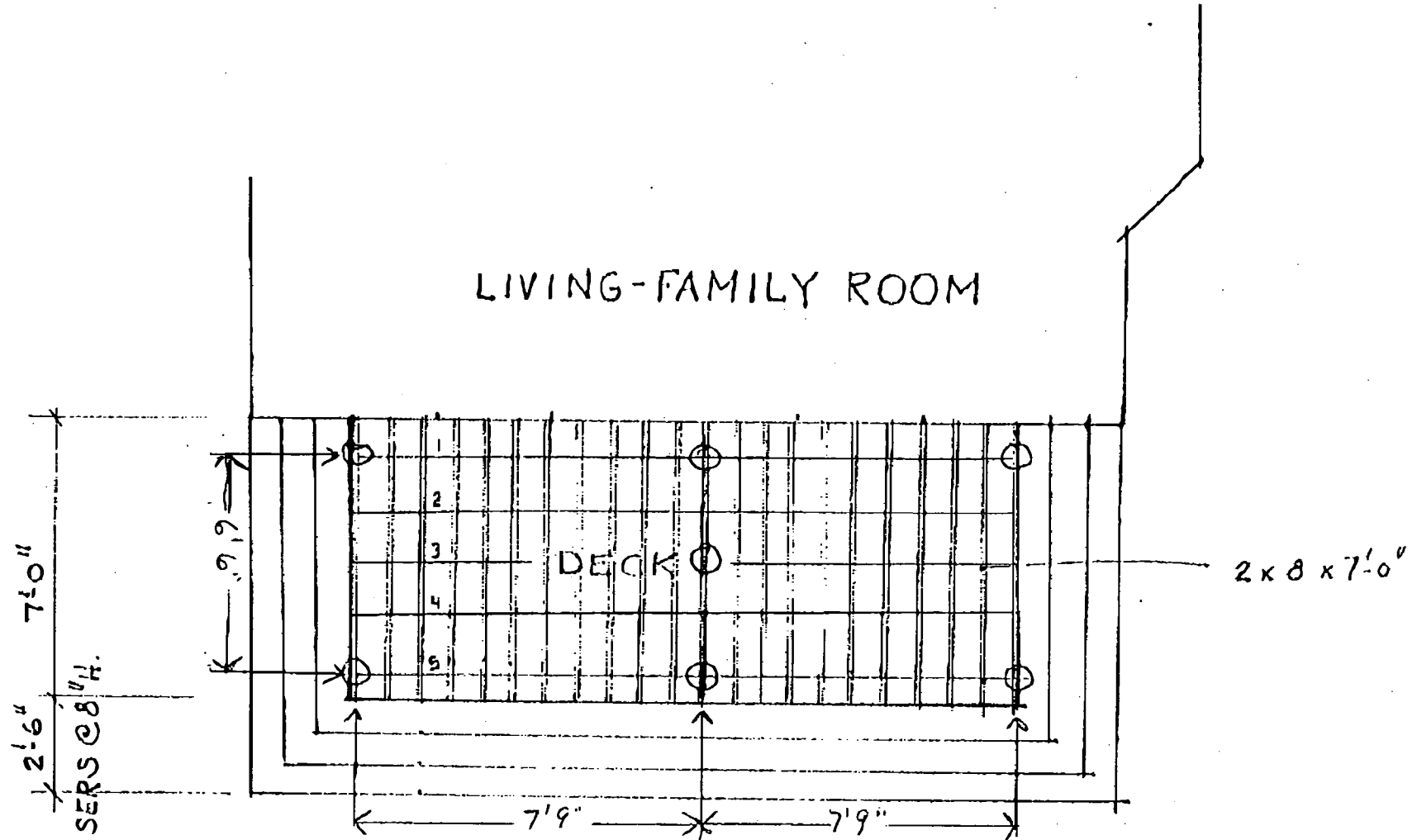
- * ALL WOOD MATERIAL TO BE PRESSURE TREATED WOOD
- * NAILS TO BE GALV. DECKING NAILS



(5) 2x12x12 PRESSURE TREATED LUMBER OVERLAPPED IN THE CENTER AND ATTACHED WITH HEX HEAD 6" BOLTS

(7) ○ - 4x4" PRESSURE TREATED LUMBER ON 12" DEEP X 8" DIAMETER CONCRETE PILINGS

* ALL WOOD MATERIAL TO BE PRESSURE TREATED WOOD
 * NAILS TO BE GALV DECKING NAILS



LIVING-FAMILY ROOM

DECK

2x8 x 7'-0"

2'-6"
7'-0"
4 RISERS @ 8" H.

7'9" 7'9"

(5) 2x12x12 PRESSURE TREATED LUMBER OVERLAPPED IN THE CENTER AND ATTACHED WITH HEX HEAD 6" BOLTS

(7) ○ - 4x4" PRESSURE TREATED LUMBER ON 10" DEEP X 8" DIAMETER CONCRETE PILINGS

* ALL WOOD MATERIAL TO BE PRESSURE TREATED WOOD
* NAILS TO BE GALV. DECKING NAILS

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 10007

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated

hereafter,

Type of Structure Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 E. Church Hill Lane

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction Exterior finish

Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure \$5000

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction

Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: REPLACING ROOF ON RESIDENCE + GARAGE

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Stan H. Delchall Arch. or Contr. Lay Rite Bfg

Address 1012 E Church Hill Lane Address 837 W Lincoln

City Fox Point WI 53017 City Port Washington WI 53074

State Zip State Zip

Phone Phone

Size of Structure (sq. ft.) Permit Fee \$600 Receipt # 6744 herewith tendered

Date Submitted 10/16/96

Date Approved Date of Permit Signed Stan H. Delchall

Architect, Owner, Builder

PROPOSAL

414-284-3466

LAY-RITE RFG.
837 W LINCOLN
PORT WASH. WIS.
53074

Proposal No.

Sheet No.

Date

Proposal Submitted To

Work To Be Performed At

Name STEVEN LEWENSON
Street 1012 E CHURCHILL LA.
City Milwaukee
State Wis
Telephone Number 351-2599

Street
City SAME State
Date of Plans
Architect

We hereby propose to furnish the materials and perform the labor necessary for the completion of

REMOVE ALL ROOFING MATERIAL TO ROOF BIRDS ON MAIN HOUSE
GARAGE & BREEZEWAY, ALL EXCEPT REAR NEW ADDITION
INSTALL ICE & WATER SHIELD ON EAVES OF HOUSE AND UP
VALLEYS AND AROUND CHIMNEY. RE-FELT VALLEYS OF ROOF
INCLUDING GARAGE & BREEZEWAY & STAIR STYLE METAL
VALLEYS AND METAL EDGE TO GARAGE EAVES. INSTALL NEW
LEAD VENT STACKS. INSTALL 240# ASPHALT GRANULE SHINGLES
SELF SEALING 25 YEAR COLOR TANKO BLACK TO MATCH ADJACENT
FLASH AND GUTS WHERE NECESSARY.
Supply Dumpster To Hold Rubbish. Curbside AND RAK =
YARD RUBBISH CAN BE KEPT

WARRANTY 2 YEAR WORKMANSHIP ON SHINGLES.
12) TWO YEAR WARRANTY ON LAB. LUBOR BY LAY-RITE RFG.

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of Dollars (\$ 5000.00) with payments to be made as follows:

Payment in full at completion (4250.00) = balance

Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance upon above work. Workman's Compensation and Public Liability Insurance on above work to be taken out by

Respectfully submitted
Per Jay Rite Rfg.

Note - This proposal may be withdrawn by us if not accepted within days.

ACCEPTANCE OF PROPOSAL
The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature
Date June 19, 1996
Signature

pls start date as early as possible

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No.	13372
Received	9/10/93
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date Sept. 1 93

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. _____

Builder	Owner <u>W. Lewensohn</u>	Occupant
Job Address <u>1012 E. Churchill Lane</u>		

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?

Describe WT Electric
A.C.R. Program

List Name of Installing Contractor

- HEATING
AIR CONDITIONING
PLUMBING

Date of Inspection

- Rough _____ Will Call
 Final _____ Will Call
 Service Approval Sent _____

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP	35	5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: _____ How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or trac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT	35	30.00 ea	1,050.00	
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

REMARKS:

You can keep these copies for your records

Receipt # 3297E
TOTAL FEES 1,050.00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor WESTER ELECTRIC INC.	Supervising Electrician (Signature) <i>[Signature]</i>
Address 666 Park Street Belgium, WI 53004	Telephone 285-3211
City (414) 285-3211 Metro (414) 344-0780	Date 9-1-93



Wisconsin Electric POWER COMPANY

WISCONSIN ELECTRIC POWER COMPANY INSTALLATION WORK ORDER

Contact History
Call Date 5-27-93 Time noon
Call Date 6-1-93 Time noon
Postcard sent date JUN 1 1993
Appt. Date 6-22-93 Time 9:00

Tuesday

Contractor Code 301 WESTER ELECTRIC Application # 193159672
Account Number 00-1131-0666-3 Date 05-24-93
WE Office 310 CALUMET (414) 354-8100 TOU Times

Table with 2 columns: INSTALLATION INFORMATION and APPLICANT INFORMATION. Rows include Name (LEWENSOHN, STEVEN & WENDY), Address (1012 E CHURCHILL LN), and City/State (MILWAUKEE WI 53217-0000).

Call for Appt: Home 414-351-2599 Work 000-000-0000 Best Time AM
Priority X Earliest Installation Date 00-00-00 Latest Date 06-12-93

Comments: CENTRAL AIR HAS NOW BEEN INSTALLED.
Brown Deer E
to Lake Dr - - 6 blocks S on La
Fox Point - Dean Rd - 1st street is

E=Electric G=Gas S=Solar O=Oil
Water heating type Strategy 2
Owner approval required? NO Attached?
Receiver ID # 769984
Churchill
Cape Cod - Fox Point

Table with 4 columns: # Requested, # Installed, # Not Installed, Reason (*). Row 1: Water Heater Timers. Row 2: Spa/Other Timers.

Table with 4 columns: # Requested, # Installed/Removed, # Not Installed/Removed, Reason (*). Row 1: Installation. Row 2: Removal.

WARRANTY SERVICE CALL ACR Timer LCR Reason (*)

Table with 4 columns: # Requested, # Installed/Removed, # Not Installed/Removed, Reason (*). Row 1: Installation (001, 001). Row 2: Removal. Row 3: Disconnect. Row 4: Number of Compressors (1).

Work indicated above has been completed to my satisfaction
Signature of Customer: [Signature] Date: 6/22/93 Time Work Completed: 9:15

\$25. Receipt # 30638

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 4560 C

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner Type _____
Forced Air, Radiant, Baseboard, Etc.

Fuel: Gas Oil Coal Elect. Other _____

Desc. of Heating Plant _____

Vented to _____

Fuel Tank : _____ Size _____ Location _____

Summer Air Conditioner Size 2 1/2 (Ton, H.P.)

Coolant F22

Compressor Coolant: Air ; Water ;

If Water Cooled: _____
Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Move Condenser from existing location to new location,
Rear of House - middle of lot.

Incinerator Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels _____

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Steve Lewensohn

Address of Work 1012 E Churchill

OFFICE USE ONLY
Application Approved: [Signature]
Installation Approved: _____

[Signature]
Signed _____
Oct 1 1992
Date

Contractor Sealy Heating Inc

Address 5640 N. 43 St Phone 462-3070

City Milw State WI Zip Code 53209

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	12956
Received	9/24/92
Service	
Rough in	<i>[Signature]</i>
Final	

APPLICATION FOR ELECTRICAL PERMIT

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Date 9/24/92
License No. 118

Builder	Owner <u>LEWENSOHN</u>	Occupant <u>SAME</u>
---------	------------------------	----------------------

Job Address 1012 E CHURCHILL

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?

Describe _____

List Name of Installing Contractor _____

HEATING _____

AIR CONDITIONING _____

PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets	17	.35 ea	5	95
2	Lighting Fixtures	4	.30 ea	1	20
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP	1	5.00 min	5	00
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or trac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		30.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 30560
TOTAL FEES 30 00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>TOG ELECTRIC</u>	Supervising Electrician (Signature) <i>[Signature]</i>	Date <u>9/24/92</u>
Address <u>570 FLOFF ST</u>	Telephone <u>994-4905</u>	
City <u>RANDOM LAKE</u>	State <u>WI</u>	Zip Code <u>53075</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 E. CHURCHILL LN

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Estimated cost Garage

Building

Structure \$25,000

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks:

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

125
40
1/5

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure MR & MRS S. LEWENSON Arch. or Contr. FORE # BUILDERS INC

Address 1012 E CHURCHILL LN Address 12545 N. WOODLAND DR.

City FOX POINT WI 53217 City MEQUON WI 53092
State Zip State Zip

Phone..... Phone 242-7536

Size of Structure.....(sq. ft.) Permit Fee \$1650 Receipt #30408 herewith tendered

Date Submitted.....

Date Approved.....

Date of Permit.....

Signed Fore # Builders Inc
L. Manning
Architect, Owner, Builder

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	12044 CC
Received	3-1-90
Service	
Rough-in	3-20-90
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 2-28-90

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. 70

Builder <u>WISC. KITCHEN MAAT</u>	Owner <u>LAWENSON</u>	Occupant _____
Job Address <u>1012 E. CHURCH HILL LN.</u>		

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?

Describe KITCHEN

List Name of Installing Contractor
 HEATING _____
 AIR CONDITIONING _____
 PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input checked="" type="checkbox"/>
Final _____	Will Call <input checked="" type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets	12	.35 ea	4	20
2	Lighting Fixtures	7	.30 ea	2	10
3	Fluorescent Fixtures - per tube	2	.30 ea		60
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit	1	3.00 ea	3	00
6	Dishwasher	1	4.00 ea	4	00
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		20.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

REMARKS:

*KITCHEN REMODELING
 GFCI Protection to
 OF Sink
 Homeowner to notify
 for final*

TOTAL FEES 20 00
 Rec # 24572

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

Contractor <u>MTE ELECTRICAL CONTRACTORS</u>	Supervising Electrician Signature <u>[Signature]</u>	Date <u>2-28-90</u>
Address <u>406 S. GRANDVIEW BLVD.</u>	Telephone <u>1544-5008</u>	
City <u>WAUKESHA</u>	State <u>WI</u>	Zip Code <u>53188</u>

No. 6685 CC

Application and Record

Plumber SHORELINE PLBG.
Address 290 PARKVIEW CT. PEWAUKEE
Tel. No. 691-3687

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

Owner LEWENSOHN
Address 1012 E. CHURCH HILL LA
Date 3-20, 1990

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building
at

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>6685</u>
Water	
Street	
Meter	
Water Usage	

1012 E. CHURCH HILL LA. Fox Point, Wis.
Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP. 5981 Joe Kuczewski Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS

	No.		No.
Hose Bibs		Dishwashers	<u>1</u>
Bath Tubs		Wash Basins	
Sump Pumps		Water Closets	
Laundry Trays		Showers	
Drinking Fountains		Floor Drains	
Sinks	<u>1</u>	Food Waste Grinders	<u>1</u>
Water Heaters		Sprinkling System	
Wash. Mach. Wastes		Urinals	
Bidets			
Catch Basins			

FEES

Water Usage	\$	.....
Building Sewer		.....
Water Service		.....
Building Drain		.....
Fixtures		.....
Water Meter		.....
Total		<u>20.-</u>
Deposit to cover street repairs		<u>Receipt # 24715</u>

Scott Hill Permit Clerk

A inch water service pipes laid in

Curb box is located feet of feet of

..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in

..... feet of manhole

A inch storm sewer connection was made in

..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
				<u>3-20-90</u> <u>AK</u>			

Installation Approved Application Approved 19

As Built Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

NO ONE home M-W-F
Tues, Th. someone home all day.

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

APPLICATION FOR INSPECTION AND ISSUANCE
OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)

No. 2045

Date December 10, 1985

Address 1012 E. Churchill Lane Fox Point, Wisconsin.

Type of Proposed Occupancy Single family residence

Owner of Building GARY TAMAN

Building Owner's Address:

1012 E. Churchill Lane

Building Owner's Telephone Number (414) 351-0027^(H) or 271-6500^(O)
area code

Proposed Occupant's Name (if known) UNKNOWN AT present

Proposed Occupant's Present Address:

Proposed Occupant's Telephone Number ()
area code

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner OX Proposed Occupant Other

Gary Taman
Applicant's Signature

1012 E. Churchill Ln.
Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

Application and fee received: Date 12-10-85

Received by J. Mack Res # 14049

Inspection made: Date 12-10-85

Signature Earl H. Plank

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

NONCOMPLIANCE NOTICE

December 11, 1985

Date

Issued to: Gary Taxman

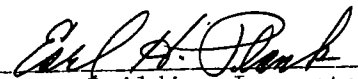
Address: 1012 E. Churchill Lane

An inspection of the premises located at 1012 E. Churchill Lane discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

1. Maximum uniform rise for a step is 8"; rise for steps at north and south breezeway doors and at door on north side of dining room are excessive.
2. Remove gas fuel line from defective incinerator and plug gas pipe at point of connection or tee.

The premises at the above address shall be brought in compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.

The occupant or proposed new occupant of the premises feeling aggrieved by the action of the Building Inspector may appeal to the Board of Appeals following the usual procedure on appeal from an order of the Building Inspector within thirty (30) days of the above date.



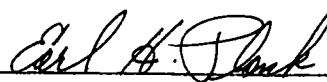
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

No. 1876 Date January 14, 1986
Issued to Gary Taxman
Address 1012 E. Churchill Lane

This Certificate of Compliance permits a change in the occupancy of the premises located at 1012 E. Churchill Lane in Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Building Inspector
Village of Fox Point

Rec # 13484

License No.

Permit No. 10776 *UC*

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date Aug 30/85

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1524 E Dean Rd
 (Give exact street and number. Do not give corner)

Elec. Contractor MJ Tomsa Elec Co Address P.O. Box 504
 Builder Jung & Ass's Address 1811 W. Selton St
 Owner C. Cooper Address 1524 E Dean Rd

What is occupancy of the building NEW EXIST residence

1. Outlets.....	<u>25</u>	each	\$.30	<u>7 50</u>
2. Fixtures.....		each .....	.25	
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....	<u>6</u>	each lamp .....	.25	<u>1 50</u>
4. Audible or visual devices.....		per device .....	.50	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each	2.00	
6. Built-in electric heaters; bathroom, nursery, etc.....		each	3.00	
7. Garbage Disposal.....		each	3.00	
8. Dishwasher.....	<u>1</u>	each	3.00	<u>3</u>
9. Clothes dryer.....		each	3.00	
10. Range or other receptacles over 150 volts.....	<u>1</u>	each	3.00	<u>3</u>
11. Water heater.....		each	3.00	
12. Automatic heating equipment — gas, oil, coal.....		each	3.00	
13. Automatic water systems.....		each	3.00	
14. Refrigerating, air conditioning, etc., machines.....		each	3.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft. ....	.10	
16. Dimmers or Time Clocks.....		each	2.00	
17. Vacuum and Inert-Gas tube sign.....		each transformer ...	3.00	
18. Incandescent Signs, studded lights.....		per socket .....	.25	
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each	1.00	
20. Motors, each horsepower or fraction thereof each motor.....		H.P. ....	.25	
21. Generators, rectifiers, transformers, etc.....		per K.W. ....	.25	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	5.00	
23. Raceways, wireways, busways, gutters.....		per ft. ....	.25	
24. Electric heating devices (other than those listed above).....		per K.W.	1.00	
25. Service equipment — 0-100 amps. new or overhauling.....		per disconnect	5.00	
Service equipment — 100 amps. to 600 amps.....		per disconnect	10.00	
Service equipment — over 600 amps.....		per disconnect	15.00	
26. Temporary service, etc. (3 month period).....		.....	10.00	
27. Motion picture, stereopticon and x-ray machines, etc.....		each	5.00	
28. Re-inspection after time limit on notice.....		.....	10.00	
29. Minimum fee for any permit requiring separate inspection.....		MINIMUM FEE	10.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....		FEES DOUBLE		

TOTAL FEES \$ 15 00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point.

REMARKS:.....

NOTE: Electrical contractor shall quote his permit number and the address of the job when requesting inspections.

Date Approved Signature Michael J. Tomsa
 (Supervising Electrician)

Roughing in 9-9-85 Address P.O. Box 504

Temp. City Hales Corners Zip Code 53130

Final 1-17-86 Telephone 425 6320

Make check Payable to Treasurer, Village of Fox Point.

No Carbon Required

VILLAGE OF FOX POINT MILWAUKEE COUNTY, WISCONSIN

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure CHAIN LINK FENCE (USED AS DOG PEN) Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 1012 E. CHURCH HILL LN

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance? NO

Height of Structure 6 feet (stories or feet)

Width (parallel to highway) 20 feet (feet) Depth (perpendicular to highway) 8 feet (feet)

Distance: Street Line to Front Line of Structure 61.2 feet (feet)

Distance: Side Lot Line to Structure 10.3 feet

Type of Construction Chain Link Exterior finish galvanized Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure \$50.00

Is there a private garage? Y.S.

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks:

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure GARY TAXMAN Arch. or Contr. MR. RAY SANDS

Address 1012 E. Church Hill LN Address

Phone 351-0027 Phone # 20.99

Size of Structure (sq. ft.) Permit Fee herewith tendered

Date Submitted Aug. 9, 1987

Date Approved 8-9-83 Signed

Date of Permit Architect, Owner, Builder

lec # 7035

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

APPLICATION FOR INSPECTION AND ISSUANCE
OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)

No. 1425 Date 8-24-82

Address 1012 E. Churchill Lane Fox Point, Wisc.

Type of Proposed Occupancy: Single Family

Owner of Building Virginia D. Kelly

Building Owner's Address:
4501 Sequoia Drive Harrisburg, Penna.
No. Apt. A201 Street City State Zip

Building Owner's Telephone No. (717) ?
area code

Proposed Occupant's Name (if known) Gary and Marcia Taxman

Proposed Occupant's Present Address:

No. Street City State Zip

Proposed Occupant's Telephone No. ()
area code

If a certificate of compliance will not be issued unless repairs or alter-
ations are performed, they will be made by:

Michael and Anne
Owner Ziarnik Proposed Occupant _____ Other _____

Anne Ziarnik Ziarnik Applicant's signature
1012 E. Churchill dr, Fox Point Applicant's address 53217

NOTE: A copy of certificate of compliance or noncompliance will be given to
all persons named above.

Application and fee received: Date 8-24-82
Signature Elsie Conroy

Inspection Made: Date 8-26-82
Signature Carl H. Plank

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

CERTIFICATE OF NONCOMPLIANCE

August 27, 1982

Date

Issued to Virginia D. Kelly

Address 4507 Sequoia Drive, Apt. # A201, Hamburg, Pennsylvania 19526

An inspection of the premises located at 1012 E. Churchill Lane

discloses noncompliance with codes
or ordinances of the Village of Fox Point as hereafter listed.

1. Repair or replace fireplace damper so that it has a handle with which
to (control) - open and close.

2. Water closet on first floor shall flush properly.

3. Maximum uniform rise for a step is 8".

4. Code complying gas pipe required to water heater.

5. Code complying discharge pipe required on water heater temperature and
pressure relief valve.

The premises at the above address shall be brought into compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.

cc: Michael and Anne Ziarnik
1012 C. Churchill Lane
Fox Point, WI 53217

E. J. H. Plank
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

No. 1307

Date September 1, 1982

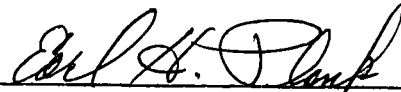
Issued to Virginia D. Kelly

Address 4507 Sequoia Drive, Hamsburg, Pennsylvania Apt. A201 19526

This Certificate of Compliance permits a change in the occupancy of the premises located at 1012 E. Churchill Lane

in Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.

cc: Anne Ziarnik
1012 E. Churchill Lane
Fox Point, WI 53217



Building Inspector
Village of Fox Point

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

10-10-52
No. 2964 ^{check} _{est.}

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

1. Location 1012 Churchill Lane
(Give exact street and number. Do not give corner.)
2. Owner Fredrick C Marsh
3. Lot _____ Block _____ Subdivision _____
4. Building or structure _____
5. Contractor Reidenbender Licence No. 58

	Number	Rate of Fees	Fees
6. Lighting Outlets	8	@ \$.10	80
7. Fixtures	3	" .05	15
8. Range Circuit or Outlet		" 1.00	
9. Range Connection		" 1.00	
10. Water Heaters & other Heating Devices	1st Kilowatt	" 1.00	
	Each Additional Kilowatt	" .10	
11. Refrigerating Machines		" 2.00	
12. Oil Burners and Stokers		" 1.00	
13. Temporary Permits	Inspection per Hour	" 2.00	
14. Motors	H.P.-H.P.-H.P. per H.P.	" .10	
15. Studded Lights including their Individual Outlets		" .05	
16. Rectifiers and Transformers		" 1.00	

Estimated cost \$ _____ Total fees 1.00

Date of inspection { Wiring Oct 9 19 52 Note: Minimum Fee \$1.00
Fixtures Oct 9 19 52

Enclosed please find \$ _____

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Olmer Hollnager
Address 4756 - 7th - 20th St

after 12 noon

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

APPLICATION FOR INSPECTION AND ISSUANCE
OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)

No. 925 Date 12-7-79

Address 1012 E. Churchill Lane Fox Point, Wisc.

Type of Proposed Occupancy: Residence

Owner of Building J. Martin Kelly

Building Owner's Address:

Same
No. Street City State Zip

Building Owner's Telephone No. (414) 352-1012
area code

Proposed Occupant's Name (if known) Unknown

Proposed Occupant's Present Address:

?
No. Street City State Zip

?
Proposed Occupant's Telephone No. ()
area code

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner Proposed Occupant Other

J. Martin Kelly
Applicant's signature

Same
Applicant's address

NOTE: A copy of certificate of compliance or noncompliance will be given to all persons named above.

Application and fee received: Date 5.00 cash Dec 7 Rec # 2265

Signature Mary Wrench

Inspection Made: Date 12-7-79

Signature Earl H. Plank

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

CERTIFICATE OF NONCOMPLIANCE

December 13, 1979

Date

Issued to J. Martin Kelly

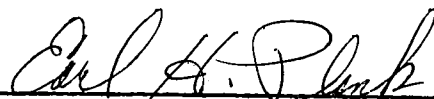
Address 1012 E. Churchill Lane

An inspection of the premises located at 1012 E. Churchill Lane

discloses noncompliance with codes
or ordinances of the Village of Fox Point as hereafter listed.

- ^{O.K.}
₁₂₋₂₀₋₇₉ 1. Code complying steps & railings required at exit on north side of residence from kitchen.
- ^{O.K.}
₁₂₋₁₇₋₇₉ 2. Eliminate clear water from sanitary sewer.
- ₁₂₋₂₀₋₇₉ 3. Remove, replace or repair all non-code complying electrical wiring or components.
- ^{O.K.}
₁₂₋₁₇₋₇₉ 4. Remove wood form boards from below fireplace hearth.

The premises at the above address shall be brought into compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.



Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

No. 873 Date December 21, 1979

Issued to J. Martin Kelly

Address 1012 E. Churchill Lane

This Certificate of Compliance permits a change in the occupancy of the premises located at 1012 East Churchill Lane in Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.

Earl H. Plank

Building Inspector
Village of Fox Point

License No. 104

SHEET 1 - ELECTRICAL INSPECTOR'S COPY

Permit No. 9525

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR: Date 12/18/79

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1012 Churchill Ln
(Give exact street and number. Do not give corner)

Elec. Contractor The Home Repairs Address 4438 N Audmore

Builder _____ Address _____

Owner J m Kelly Address same

What is occupancy of the building NEW OLD

1. Outlets	2	each	\$.20	.40
2. Fixtures		each	.15	
3. Fixtures - fluorescent, cold cathode, lumiline, mercury vapor		each lamp	.15	
4. Audible or visual devices		per device	.20	
5. Exhaust and ventilating fans and their control (below 1 H.P.)		each	.50	
6. Built-in electric heaters; bathroom, nursery, etc.		each	2.00	
7. Garbage Disposal		each	2.00	
8. Dishwasher		each	2.00	
9. Clothes dryer		each	2.00	
10. Range or other receptacles over 150 volts		each	3.00	
11. Water heater		each	3.00	
12. Automatic heating equipment - gas, oil, coal		each	3.00	
13. Automatic water systems		each	2.00	
14. Refrigerating, air conditioning, etc., machines		each	2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.		per ft.	.05	
16. Dimmers or Time Clocks		each	1.00	
17. Vacuum and Inert-Gas tube sign		each transformer	1.00	
18. Incandescent Signs, studded lights		per socket	.10	
19. Arc and mercury lamps, spot and floodlights (mogul base)		each	.50	
20. Motors, each horsepower or fraction thereof each motor		H.P.	.20	
21. Generators, rectifiers, transformers, etc.		per K.W.	.15	
22. Feeders or subfeeders No. 3 B & S gauge or larger		each	5.00	
23. Raceways, wireways, busways, gutters		per ft.	.10	
24. Electric heating devices (other than those listed above)		per K.W.	.50	
25. Service equipment - 0-100 amps. new or overhauling		per disconnect	2.00	
Service equipment - 100 amps. to 600 amps.		per disconnect	6.00	
Service equipment - over 600 amps.		per disconnect	8.00	
26. Temporary service, etc. (3 month period)			3.00	
27. Motion picture, stereopticon and x-ray machines, etc.		each	3.00	
28. Re-inspection after time limit on notice			2.00	
29. Minimum fee for any permit requiring separate inspection		MINIMUM FEE	5.00	5.00
30. Double fee shall be charged for any work started before filing an application for a permit		FEES DOUBLE		
TOTAL FEES				5.00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS: outlet for sump pump, switched circuit for yard light.

Date for Inspection	Date Approved	Signature
		(Supervising Electrician)
Roughing in		Address
Temp		City
Final	<u>12-20-79</u>	Zone
		Telephone

Make check Payable to Treasurer, Village of Fox Point.

Rec. # 25277
6-6-68

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 4882

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure GARAGE & FREEZEWAY ADDITION
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

House Number 1012 E. CHURCHILL LANE

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance? NO

Height of Structure ONE STORY (stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction: FRAME Exterior finish SIDING
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Estimated cost { Garage & FREEZEWAY \$4500.00
Building
Structure.....

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance? NO

Size 22 x 24 Number of stalls TWO

Where situated WEST OF RESIDENCE

General construction FRAME
Frame — Brick — Stucco — Etc.

Have you applied to the Industrial Commission for a permit under the State Building Code? NO

Has the permit been granted?.....

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks:

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure J. MARTIN KELLY Arch. or Contr. BOB SCHULZ & SONS

Address 1012 E. CHURCHILL LANE Address 8209 NO. SANTA MONICA

Phone..... Phone FL. 2. 9644

Size of Structure.....(sq. ft.) Permit Fee \$15.00 herewith tendered

Date Submitted 6-2-68

Date Approved 6-3-68

Signed.....

Date of Permit.....

Architect, Owner, Builder

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 3576
16167
4/20/60
CJH

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Designation Swimming Pool - Portable
Duplex, Residence, Apartment, Store, Garage, Theatre
House Number 1012 E. Churchill Lane
Lot 5 Block 3
Subdivision Fox Point Subdivision
District B-Residential
Does contemplated building violate the Village zoning ordinance? no
Height of Building 4 ft. (stories or feet)
Width (parallel to highway) 30 (feet) Depth (perpendicular to highway) 20 (feet)
Distance: Street Line to Front Line of Porch _____ (feet)

Distance: Side Lot Line to Structure 10 ft
Type of Construction plastic liner Exterior finish aluminum
Frame, Brick-tile Stucco-Siding-Brick Veneer

Height of front yard above street sidewalk grade _____
Number of rooms _____ Baths _____

Estimated cost { ~~Garage~~ Building \$850 app. total

Is there a private garage? _____
Does the contemplated garage violate the Village zoning ordinance? _____
Size _____ Number of stalls _____

Where situated _____
General construction _____
Frame-Brick-Stucco

Have you applied to the Industrial Commission for a permit under the State Building Code? _____
Has the permit been granted? _____
Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

Remarks: _____

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the residence is occupied.

Owner of Structure Mrs. J. Martine Kelly Arch. or Contr. Mr. Ralph Johnston
Address 1012 E. Churchill Lane Address Edwards Swimming Pool
Phone FL 2-1012 Phone BR 6-0430

Size of Structure _____ (sq. ft.) Permit Fee \$3.00 herewith tendered

Date Submitted June 17, 1960
Date Approved June 17, 1960 Signed Mrs. J. Martine Kelly
Date of Permit _____
Architect, Owner, Builder

OK
645

Issued 8/6/47

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 1445 ✓

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

- 1. Location 1012 E. Churchill Lane
(Give exact street and number. Do not give corner.)
- 2. Owner Mr. Marsh
- 3. Lot Block Subdivision
- 4. Building or structure residence
- 5. Contractor Howard L. Lewis License No.

	Number	Rate of Fees	Fees
6. Lighting Outlets	53	@ \$.10	5.30
7. Fixtures	14	" .05	70
8. Range Circuit or Outlet	1	" 1.00	1.00
9. Range Connection		" 1.00	
10. Water Heaters & other Heating Devices	1st Kilowatt	" 1.00	
	Each Additional Kilowatt	" .10	
11. Refrigerating Machines		" 2.00	
12. Oil Burners and Stokers		" 1.00	
13. Temporary Permits	Inspection per Hour	" 2.00	
14. Motors	H.P.-H.P.-H.P. per H.P.	" .10	
15. Studded Lights including their Individual Outlets		" .05	
16. Rectifiers and Transformers		" 1.00	
Estimated cost \$		Total fees	7.00

Date of inspection { Wiring Aug. 5 1947 Note: Minimum Fee \$1.00
 { Fixtures 19..... **Make Checks payable to**
V. N. GUTHRIE, Building Inspector

Enclosed please find \$.....

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Howard Lewis
Address 3927 N. Port Washington Ave.

Issued 11/18/47

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

11

No. 1508

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

1. Location 1012 E. Churchill Lane
(Give exact street and number. Do not give corner.)
2. Owner Mr. Frederick Marsh
3. Lot Block Subdivision
4. Building or structure residence
5. Contractor Howard L. Lewis Electrical Co. License No.

	Number	Rate of Fees		Fees
6. Lighting Outlets		@	\$.10	
7. Fixtures		"	.05	
8. Range Circuit or Outlet		"	1.00	
9. Range Connection		"	1.00	
10. Water Heaters & other Heating Devices		1st Kilowatt	" 1.00	
		Each Additional Kilowatt .....	.10	
11. Refrigerating Machines		"	2.00	
12. Oil Burners and Stokers		"	1.00	
13. Temporary Permits	1	Inspection per Hour.....	" 2.00	2 00
14. Motors		H.P.-H.P.-H.P. per H.P. "	.10	
15. Studded Lights including their Individual Outlets		"	.05	
16. Rectifiers and Transformers		"	1.00	
Estimated cost \$.....		Total fees		2 00

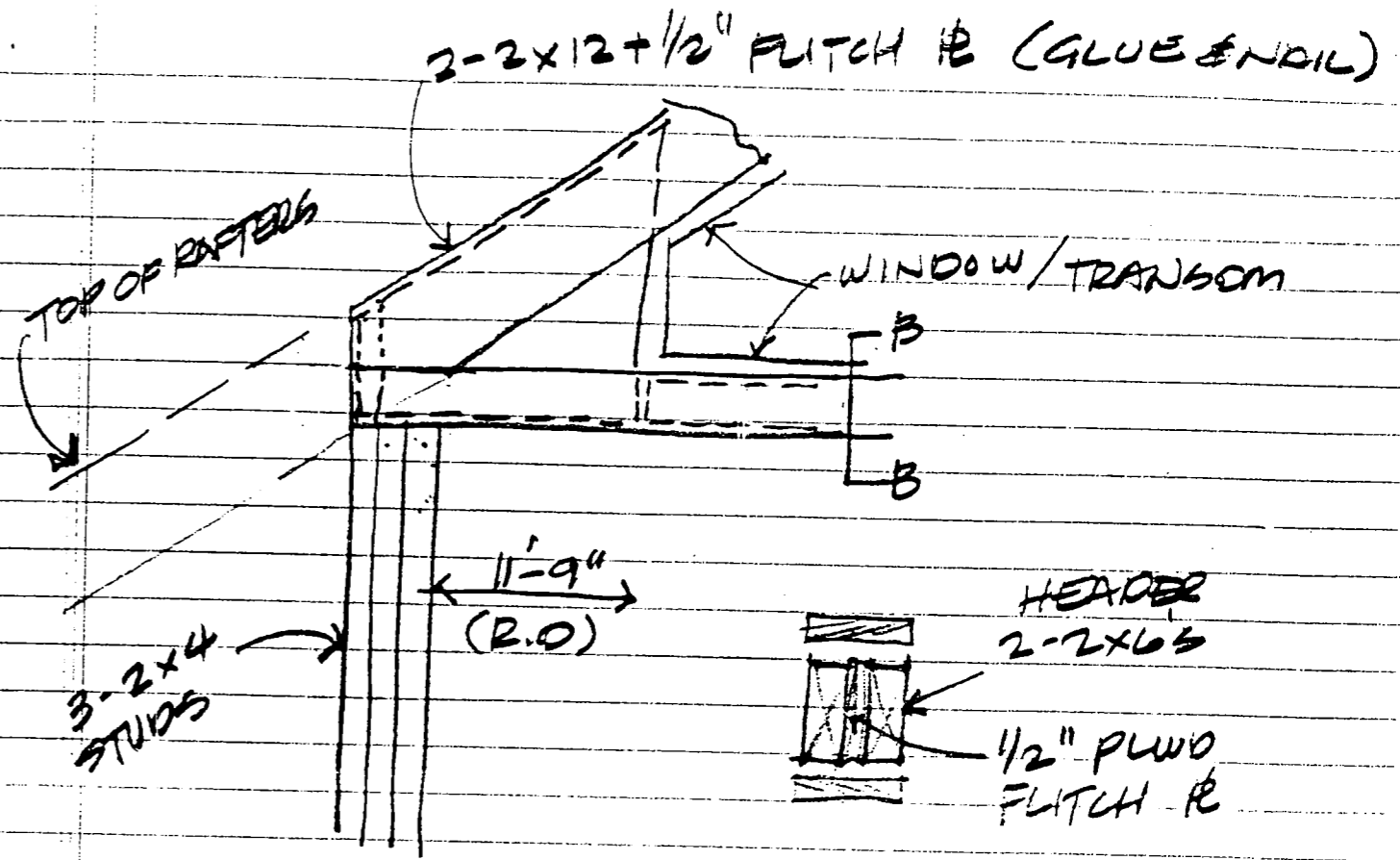
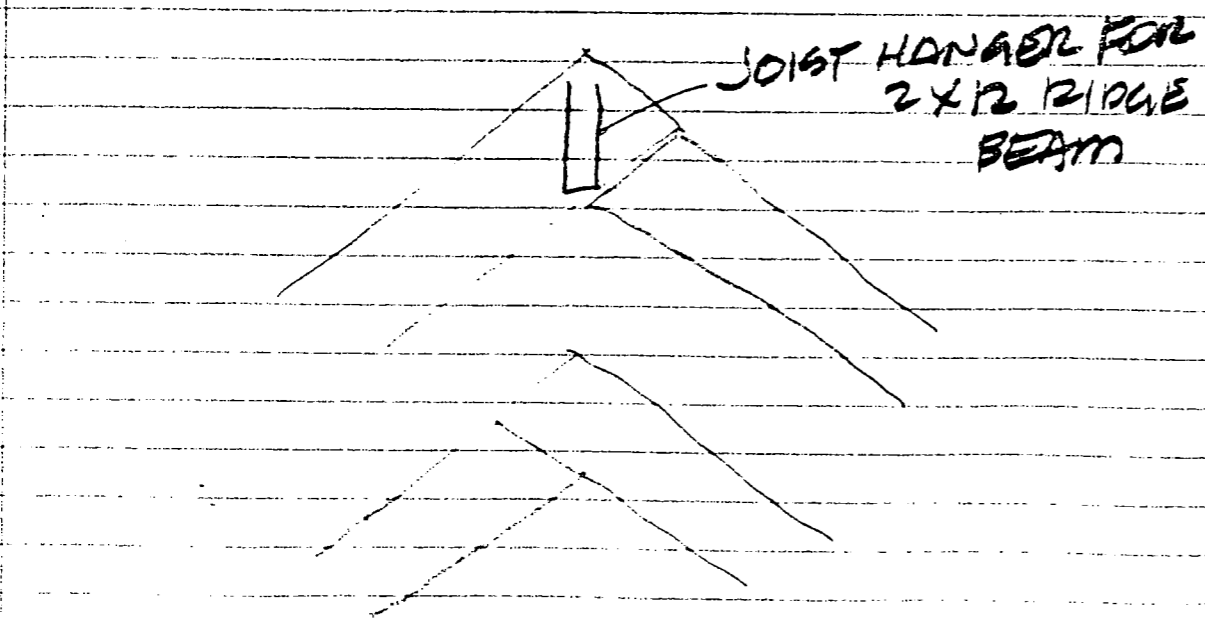
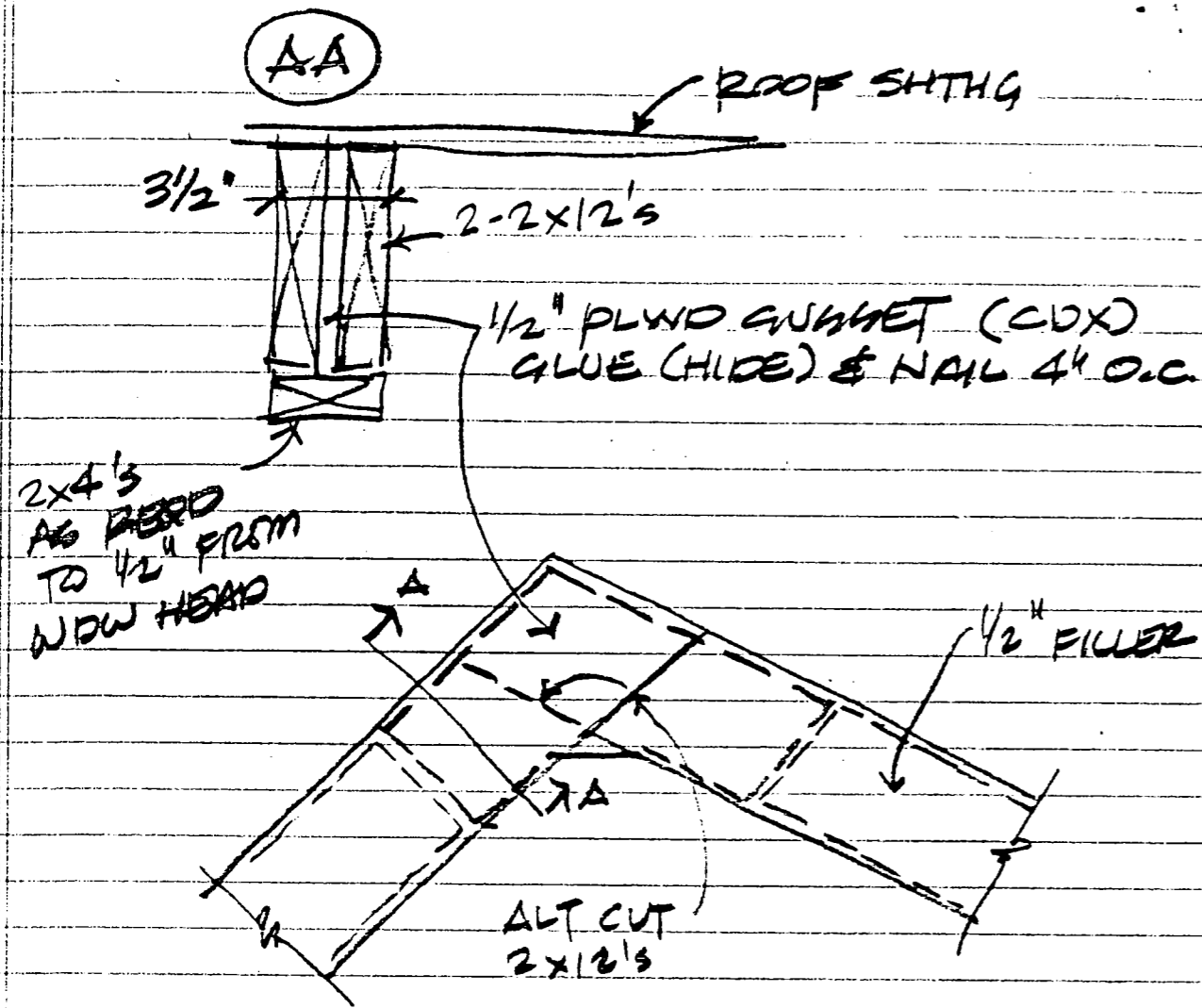
Date of inspection { Wiring **Nov. 18** 19 **47** Note: Minimum Fee \$1.00
 { Fixtures 19..... Make Checks payable to
 I. N. GUTHRIE, Building Inspector

This is in addition to permit #1445 of August 6, 1947

Enclosed please find \$.....
.....
.....

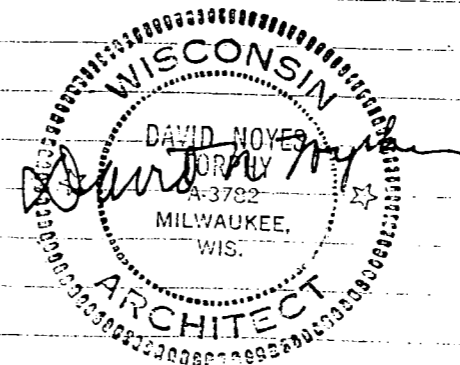
It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Howard Lewis
Address 3927 N. Port Washington Ave.



ALL RAFTERS/HEADER SHOWN
DOUG FIR #2 OR BETTER

SHEATH ENTIRE H. WALL IN
1/2" COX PLWD MIN



STRUCTURAL DETAILS
FOR LEWENSCHN RESIDENCE

FOR FORE II BUILDERS

8.26.92

LEWENSOHN RESIDENCE - STRUCTURAL DETAILS
(FORE II BUILDERS)
(1012 E CHURCHILL)

RIDGE BEAM (ASSUME BM CARRIES 1/2 ROOF LOAD)
W = 30# LIVE + 15# DEAD = 45 psf x (21'-4" x .5) = 480 plf
SPAN = 15'-6"

$R_L = R_R = 15.5(480)/2 = 3720\#$

$M = 480(15.5)^2(1.5) = 172,980\text{ IN}\#$

USE 1 3/4 x 11 7/8 MICROLAMs $S_x = bd^2/6 = 41.13$
 $I_x = bd^3/12 = 245$ } PER MICROLAM

$M_{ALLOW} = 115,200\text{ IN}\#$ $f_b = 2500\text{ psi}$

$V_{ALLOW} = 3950\#$ $E = 2 \times 10^6\text{ psi}$

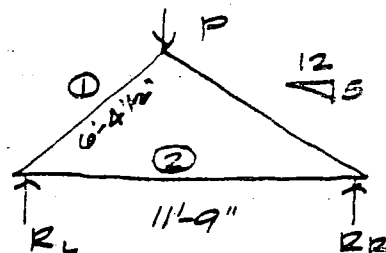
USE 2-1 3/4 x 11 7/8 MICROLAMs $\Delta = \frac{5(480)(15.5)^2(1728)}{384(2 \times 10^6)(490)} = 1.636"$

CONNECTOR

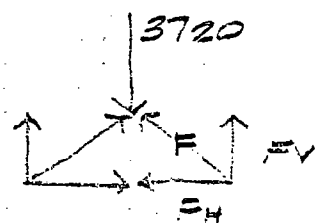
SIMPSON: HHUS 410 DOUBLE SHEAR JOIST HANGER
14 GA, GALV.
MAX LOAD 5900# (> 3720#)

"HEADER" OVER WINDOW WALL (DESIGNED AS 1-PANEL TRUSS)

$P = 3720\#$
 $R_L = R_R = 1860\#$



MEMBER ① (TOP CHORD) *



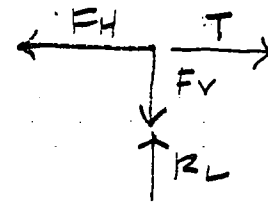
$EF = 0$
 $F_V = 1860 = P/2$
 $F_H = 1860(12/5) = 4464$
 $F = (1860^2 + 4464^2)^{1/2} = 4836\#$ (COMPRESSION)

USE 2-2x12's DOUG-FIR #2

$A = 3 \times 11.25 = 33.75\text{ sq}$ $F_c \parallel = 1050\text{ psi}$
 $C = 33.75(1050) = 35,437 > 4836$

* TOP CHORD IS CONTINUOUSLY BRACED BY ROOF/CEILING DIAPHRAGM. ALL ROOF LOADS HAVE BEEN REDUCED TO POINT LOAD 'P' FROM RIDGE BEAM

MEMBER ② BOTTOM CHORD



$SF = 0$ $F_V = R_L = 1860\#$
 $F_H = 4464\#$ (TENSION)

USE 2-2x6's DOUG FIR #2

$F_c = 650\text{ psi}$
 $A = 3 \times 5.5 = 16.5\text{ sq}$
 $T_{ALL} = 16.5(650) = 10725 > 4464$

STUD COLUMNS * (2x4 SPF, STUD GRADE)

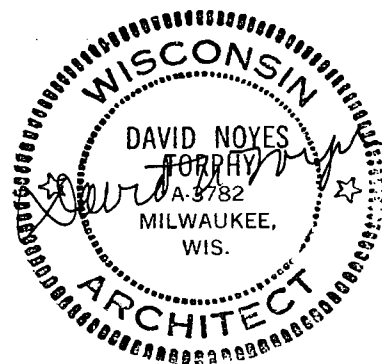
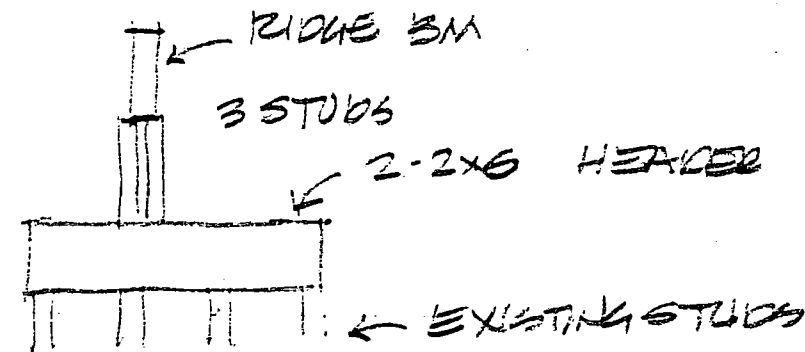
1) @ TRUSS $P = 1860$
 $A = 2(1.5)(3.5) = 10.5$ (2 STUDS)
 $P/A = 177\text{ psi}$
 $F_c \parallel = 425\text{ psi} > 177$

2) @ SOUTH RIDGE **

$P = 3720$
 $A = 3(1.5)(3.5) = 15.75$ (3 STUDS)
 $P/A = 236\text{ psi} < 425$

* COLUMNS ARE Laterally BRACED BY WALL SHEATHING

** RIDGE BEAM @ SOUTH TO BEAR ON 3-2x4 STUDS TO FLOOR OR TO 2x HEADER TO REST ON MINIMUM OF 4 EXISTING STUDS



↓ 675

Village of Fox Point Water Works

METER DEPARTMENT

PERMIT NO. 127

~~TAP NO.~~

Installed 6/14/66

SIZE OF METER

3/4"

KIND

Badger

METER NO.

S-9238553 - easy read

TYPE OF SERVICE

LOCATION OF METER

Basement

OWNER

J. Martin Kelly

NO.

1012 E. Churchill Lane

NAME OF PLUMBER

F. P. W. D.

METER INSTALLATION

(Original, Replace, Transfer)

Replaced old 01-2986471

with new easy read meter

Old meter leaking. B. Okei

Receipt No: 1.008292

Aug 19, 2003

1012 E CHURCHILL

LICENSES & PERMITS-HEATING PERMIT 24-44450 HEATING PERMIT	40.00
LICENSES & PERMITS-ELECTRICAL PERMIT 24-44430 ELECTRICAL PERMIT	40.00
Total:	<u>80.00</u>
CHECK Chk No: 1383	80.00
Total Applied:	<u>80.00</u>
Change Tendered:	<u>.00</u>

Duplicate Copy

Receipt No: 1.008292

Aug 19, 2003

1012 E CHURCHILL

LICENSES & PERMITS-HEATING PERMIT 40.00

24-44450 HEATING PERMIT

LICENSES & PERMITS-ELECTRICAL PERMIT 40.00

24-44430 ELECTRICAL PERMIT

Total: 80.00

CHECK Chk No: 1383 80.00

Total Applied: 80.00

Change Tendered: .00

Duplicate Copy



7401 West Greenfield Avenue • West Allis, WI 53214-4614

Steven H. Lewensohn

Residential Mortgage Loan Officer

Phone: 414/290-7245 • FAX: 414/290-7278

E-mail: slewensohn@anchorbank.com

WATER PERMIT

Permit No. 490

Application No. 780

Fox Point, Wis. 1/16 1947

Permission is hereby given to do the work necessary to supply with water the premises of

F. C. Marsh

described as follows:

Description	Lot	Blk.
<u>Fox Point Subd.</u>	<u>5</u>	<u>3</u>

being No. 1012 on the N side of E. Churchill

The above named is permitted to employ D. Paterson a Licensed Plumber for the purpose of laying a 1 inch Copper service pipe from Main to

Curb: a inch service pipe from curb to building at 1012

E. Churchill

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 66 of the Village of Fox Point and amendments.

Settlement \$41.00

Received for Permit \$..... Dollars

Received for Fixtures \$..... Dollars

Returns must be made on all work done.

J. Plank

WATER INSPECTOR

J. Plank

PERMIT CLERK

SEWER AND PLUMBING DEPARTMENT

Permit No. 723 Application No. 780 Fox Point, Wis. Jan 16 1947

Permission is hereby given to do the necessary draining and plumbing work on the premises of F. C. Marsh described as follows:

Description	Lot	Blk.	Subd.
<u>Fox Point subd.</u>	<u>5</u>	<u>2</u>	

being No. 1012 on the N side of E. Churchill L.

The above named is permitted to employ Watson a Licensed Plumber for the purpose of laying a 6 inch Clay Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in Main 47.6 feet of W. of 1st Main

Or of laying a Intersect inch of E. Churchill Lane Storm Sewer Drain pipe

Fixtures with drain or water connection

	No.		No.		No.
Bath tubs	<u>1</u>	Urinals		Wash Basins	<u>1</u>
Laundry tubs	<u>1</u>	Sinks		Water Closets	<u>1</u>
Basement drains	<u>1</u>		<u>1</u>	<u>Hot Water Heat</u>	<u>1</u>

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 56 of the Village of Fox Point and amendments.

64 Received for Permit \$ 5.70
Hot Water Heat Received for Fixtures \$ 1.00 Dollars
6 @ .50 3.00 Dollars
9.70
J. Plavch
 PLUMBING INSPECTOR
J. Plavch
 PERMIT CLERK

SEWER AND PLUMBING DEPARTMENT

5498

Permit No. Application No. 5666 ... Fox Point, Wis. Dec. 17, 1979

Permission is hereby given to do the necessary draining and plumbing work on the premises of J. Martin Kelly described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

being No. 1012 on the North side of E. Churchill Lane

The above named is permitted to employ Norman Binder a Licensed Plumber for the purpose of laying a _____ inch _____ Sanitary Sewer drain pipe from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Or of laying a _____ inch _____ Storm Sewer Drain pipe _____

Fixtures with drain or water connection

	No.		No.		No.
Hose Bibs		Drinking Fountains		Wash Mach. Waste	
Bath Tubs		Sump Pumps	1	Wash Basins	
Laundry Trays		Sinks		Water Closets	
Floor Drains		Showers		Water Heaters	
Dishwashers		Bidets		Food Waste Grinders	
Catch Basins		Sprinkling System		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Received for Permit \$ 5.00 Dollars
 Received for Fixtures \$ _____ Dollars

Earl H. Plank
 PLUMBING INSPECTOR

SEWER AND PLUMBING DEPARTMENT

Permit No. 9948 Application No. 9994 Fox Point, WI 4/1/03 20

Permission is hereby given to do the necessary plumbing work on the premises of _____ described as follows:

Lot _____ Block _____ Subdivision _____

Located at 1012 E Church Hill Lane

The above named is permitted to employ Greg Harris

License No. 226470 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters	<u>1</u>	Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays	<u>1</u>	Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

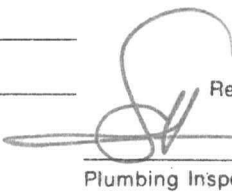
as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ 80⁰⁰

Building Drain \$ _____

Rec'd for Permit \$ Receipt # 20889


Plumbing Inspector

SEWER AND PLUMBING DEPARTMENT

Permit No. 115 Application No. 62 Fox Point, WI _____ 19

Permission is hereby given to do the necessary plumbing work on the premises of _____ described as follows:

_____ Lot _____ Block _____ Subdivision _____

Located at River Hill

The above named is permitted to employ J. J. ...

License No. 115 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	/
Drinking Fountains		Dishwashers	/	Sprinkling Systems	
Sinks	/	Wash Basins		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____ Fixtures \$ _____

Building Drain \$ _____ Rec'd for Permit \$ 115

Plumbing Inspector

SEWER AND PLUMBING DEPARTMENT

Permit No. 5745 Application No. 5915 Fox Point, Wis. August 27, 1982

Permission is hereby given to do the necessary draining and plumbing work on the premises of Ann Gornabe described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

being No. 1012 on the North side of E. Churchill Lane

The above named is permitted to employ Carroll Romens a Licensed Plumber for the purpose of laying a _____ inch _____ Sanitary Sewer drain pipe from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Or of laying a _____ inch _____ Storm Sewer Drain pipe _____

Fixtures with drain or water connection

No.	No.	No.
Hose Bibs	Drinking Fountains	Wash Mach. Waste
Bath Tubs	Sump Pumps	Wash Basins
Laundry Trays	Sinks	Water Closets
Floor Drains	Showers	Water Heaters
Dishwashers	Bidets	Food Waste Grinders
Catch Basins	Sprinkling System	Urinals

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Received for Permit \$ 10.00 Dollars

Received for Fixtures \$ _____ Dollars

Earl H. Plank
PLUMBING INSPECTOR

SEWER AND PLUMBING DEPARTMENT

Permit No. 11504 Application No. 11550 Fox Point, WI 6/27/08 20

Permission is hereby given to do the necessary plumbing work on the premises of _____ described as follows:

Lot	Block	Subdivision

Located at 1012 E (Avicell.) N

The above named is permitted to employ MIKE CUSTAW

License No. 224936 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

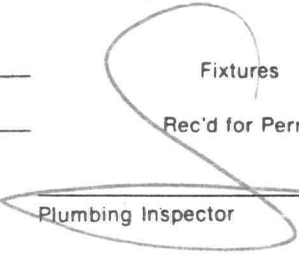
as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ _____

Building Drain \$ _____

Rec'd for Permit \$ 50.00

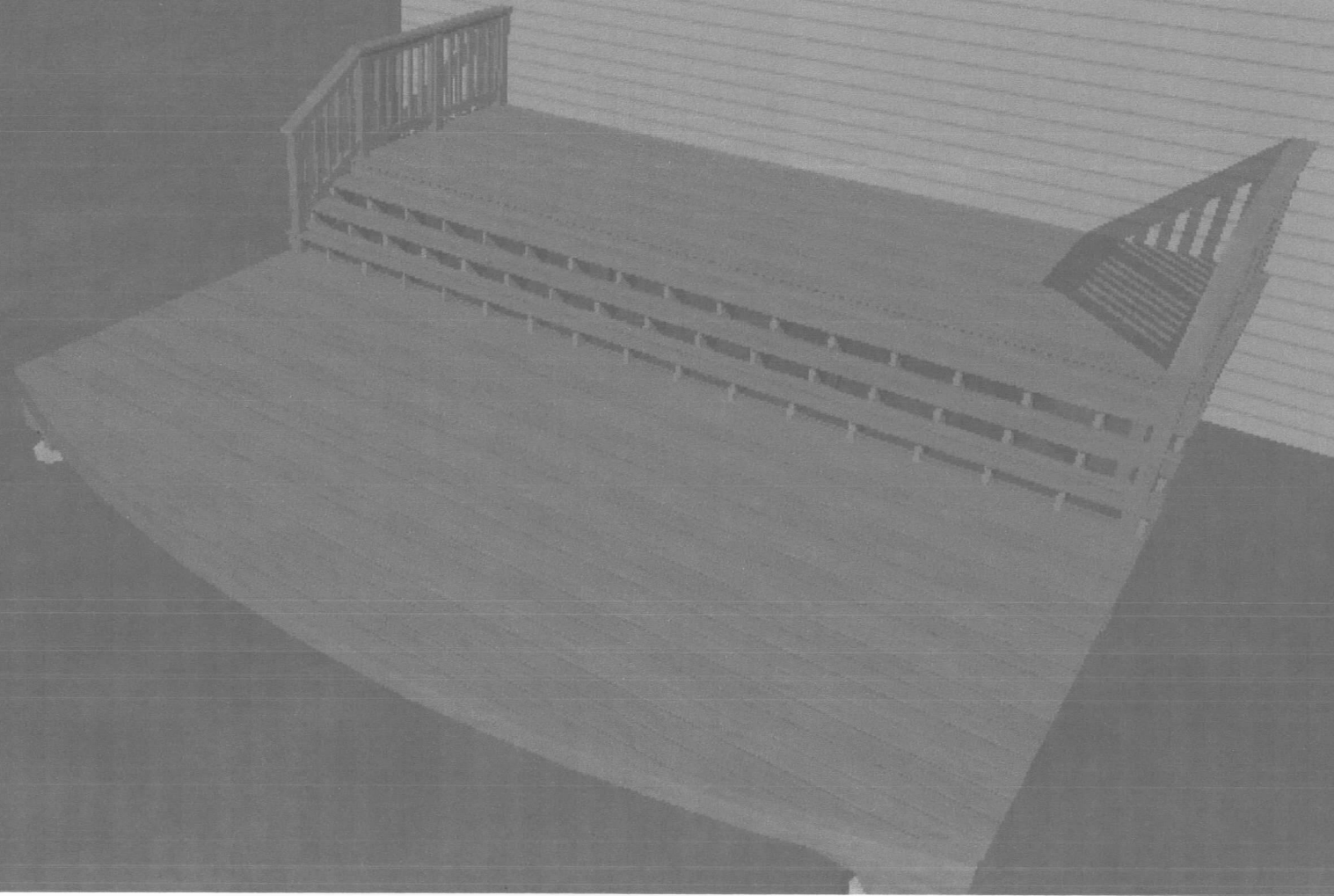


 Plumbing Inspector

 Receipt # 25818

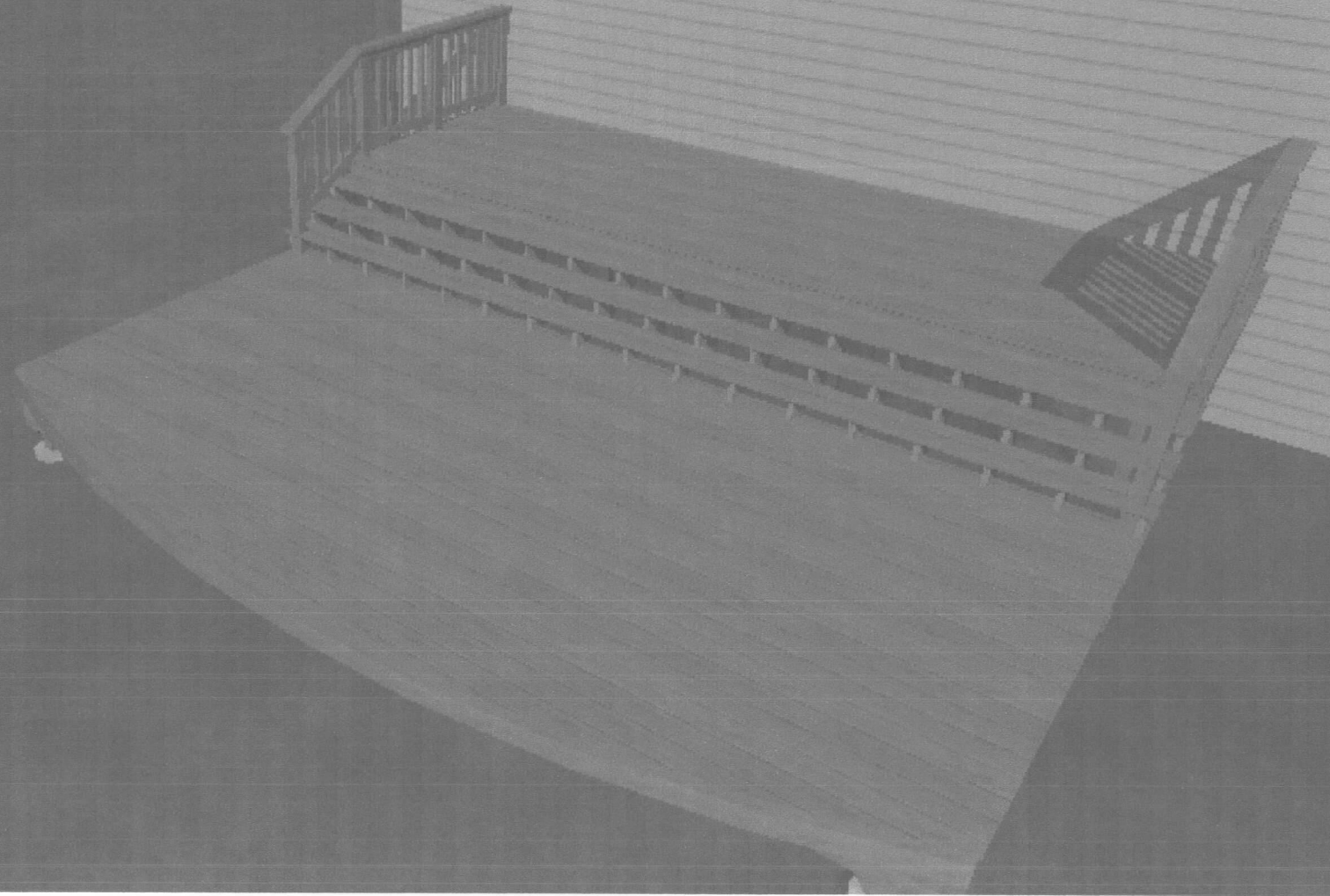
PROPOSED REPLACEMENT DECK

PETER NELSON : 1012 E. CHURCHILL LN.



PROPOSED REPLACEMENT DECK

PETER + KATY NELSON : 1012 E. CHURCHILL LN.



Rec. # 25288
6-10-68

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date June 5, 1968

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 1012 E. Churchill Lane
(Give exact street and number. Do not give corner)

Elec. Contractor Warren Electrical Service Address 3131A W. Mill Rd.

Builder P. Schuld Address _____

Owner J. M. Kelly Address 1012 E. Churchill Lane

What is occupancy of the building NEW OLD

1. Outlets.....	<u>7</u>	each	..... \$ .15	1.05
2. Fixtures.....	<u>2</u>	each	..... .10	<u>.20</u>
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp	..... .10	
4. Audible or visual devices.....		per device	..... .10	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each	..... .50	
6. Built-in electric heaters; bathroom, nursery, etc.....		each	..... .50	
7. Garbage Disposal.....		each	..... .50	
8. Dishwasher.....		each	..... .50	
9. Clothes dryer.....		each	..... .50	
10. Range or other receptacles over 150 volts.....		each	..... .50	
11. Water heater.....		each	..... .50	
12. Automatic heating equipment — gas, oil, coal.....		each	..... 2.00	
13. Automatic water systems.....		each	..... 1.00	
14. Refrigerating, air conditioning, etc., machines.....		each	..... 2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft.	..... .03	
16. Dimmers or Time Clocks.....		each	..... .50	
17. Vacuum and Inert-Gas tube sign.....		each transformer.....	..... .50	
18. Incandescent Signs, studded lights.....		per socket	..... .05	
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each	..... .25	
20. Motors, each horsepower or fraction thereof each motor.....		H. P.	..... .15	
21. Generators, rectifiers, transformers, etc.....		K. W.	..... .10	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	..... 1.00	
23. Raceways, wireways, busways, gutters.....		per ft.	..... .05	
24. Electric heating devices (other than those listed above).....		first kilowatt	..... .50	
25. Service equipment — 0-100 amps. new or overhauling.....		per disconnect	..... 1.00	<u>1.00</u>
Service equipment — 100 amps. to 600 amps.....		per disconnect	..... 2.00	
Service equipment — over 600 amps.....		per disconnect	..... 4.00	
26. Temporary service, etc. (3 month period).....			..... 2.00	
27. Motion picture, stereopticon and x-ray machines, etc.....		each	..... 2.00	
28. Re-inspection after time limit on notice.....			..... 2.00	
29. Minimum fee for any permit requiring separate inspection.....		MINIMUM FEE	..... 2.00	
30. Double fee shall be charged for any work started before filing an application for a permit.....		FEE DOUBLE	.....
31. Final inspection for permit number.....			..... .50	
TOTAL FEES.....				2.25

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS: _____

Date for Inspection	Date Approved	Signature <u>[Signature]</u> (Supervising Electrician)
Roughing in.....		Address <u>3131A W. Mill Rd.</u>
Temp.....		City <u>Milwaukee, Wisconsin</u>
Final.....		Zone <u>53209</u> Telephone <u>351-0053</u>

Make check Payable to Treasurer, Village of Fox Point.

7314
Sept 8

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Designation Garage & Breezeway
Duplex, Residence, Apartment, Store, Garage, Theatre

House Number 1012 E. Churchill Lane STREET

Lot 5 Block 3

Subdivision _____

District B

Does contemplated building violate the Village zoning ordinance? _____

Height of Building 17' (stories or feet)

Width (parallel to highway) 32' (feet)

Depth (perpendicular to highway) 24' (feet)

Distance: Street Line to Front Line of Porch _____ (feet)

Type of Construction: Siding
Frame, Brick-tile

Exterior finish _____
Stucco-Siding-Brick Veneer

Height of front yard above street sidewalk grade _____

Number of rooms _____

Estimated cost { Garage _____
Building \$2800

Is there a private garage? Yes

Does the contemplated garage violate the Village zoning ordinance? No

Size 24 X 32 Number of stalls 2 stalls

Where situated Side of House

General construction Frame
Frame-Brick-Stucco

Have you applied to the Industrial Commission for a permit under the State Building Code? _____

Has the permit been granted? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

Remarks: _____

This permit issued subject to
Federal controls and regulations

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the residence is occupied.

Owner of land J. A. Goetz Owner of Building J. A. Goetz

Permit fee \$ 11.07 herewith tendered.

Signed Hub Bishop

Dated September 8, 1952

2315 W. Hampton Ave
Architect, Owner, Builder

Rec no 7314
Sept 8, 1952
check

No. 5950C

Rec # 7053

Plumber Romens Pby
Address 4380 N Greenway
Tel. No. 264-9882

Application and Record

Owner Ann Zarnike
Address 1012 E Churchill La
Date Aug 27, 1982

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
building sewer from Main to Lot line water service from Main to Lot line
to Building to Building

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	5745
Water	—
Street	—
Meter	—
Water Usage	—

at
1012 E Churchill La Fox Point, Wis.
Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP 3670 Carol Romens Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS	
No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters <u>1</u>	Sprinkling System
Wash Mach. Wastes	Urinals
Bidets	
Catch Basins	

FEES	
Water Usage	\$ <u> </u>
Building Sewer	<u> </u>
Water Service	<u> </u>
Building Drain	<u> </u>
Fixtures	<u>10.00</u>
Water Meter	<u> </u>
Total	<u>10.00</u>
Deposit to cover street repairs	<u> </u>

Carl H. Plank Permit Clerk

A inch water service pipe was laid in
Curb box is located feet of feet of
..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in
..... feet of manhole

A inch storm sewer connection was made in
..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
						<u>B-31-82</u>	<u>O.K.</u>

Installation Approved B Application Approved B-27-82, 19.....
As Built Carl H. Plank Water and Plumbing Inspector

REMARKS
Code Corrections on
ex heater

DISCREPANCY RECORD

Owner Ann Zarnke

Address 1012 E. Churchill Lane

Permit No. 5915

Plumber Carroll Romens

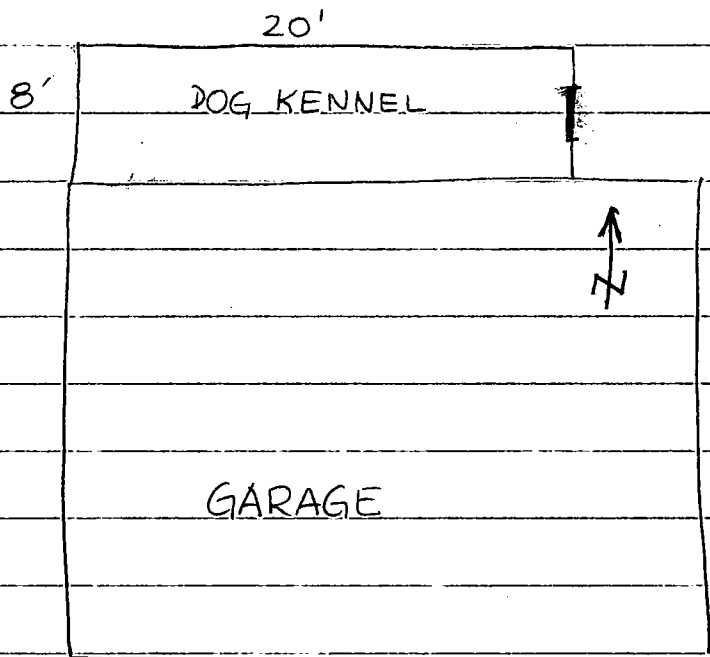
Owner M. Kelly

Address 1012 E. Churchill Lane

Permit No. 5666

Plumber Norman Binder

(KENNEL IS 6' HIGH)



1
19.8
22.6
11.2

43.6
33.1

76.7

87.0

76.7
10.3

22
40.80

13.50

19.60

7.30

61.20

40.85

~~18.3~~

24.9

87

VILLAGE OF FOX POINT
INSPECTION DEPARTMENT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217
(414) 351-8900

APPLICATION FOR INSPECTION AND
ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date 3/5/03
Building Address 1012 E. Churchill Ln
Owner of Building Steven + Wendy Lewensohn
Owner's Address if different than above N/A
Owner's Telephone (414) 351-2599
Owner's forwarding address 1021W Duchess Ct. Bayside
Proposed Occupant's Name (if known) _____
Proposed Occupant's Address _____
Proposed Occupant's Telephone () _____

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by: undetermined at this point
Owner _____ Proposed Occupant _____ Other _____

Wendy Lewensohn
Applicant's Signature

1012 E. Churchill Ln
Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

For Office Use Only:	
No. <u>5057</u>	Date Received <u>3/5/2003</u>
Amount <u>\$100.00</u>	Receipt <u>1.006633</u>
Inspection Made <u>3/11/03</u>	
Signature _____	

- ~~1) [unclear]~~
- ~~2) [unclear]~~
- ~~3) [unclear]~~
- ~~4) [unclear]~~
- ~~5) [unclear]~~
- ~~6) [unclear]~~
- ~~7) [unclear]~~
- ~~8) [unclear]~~
- ~~9) [unclear]~~
- ~~10) [unclear]~~
- ~~11) [unclear]~~

Plumber: D. Paterson
 Drainlayer
 Address: 3949 N. R. 4. St
Milwaukee - 6 - Wis.

No. 750 ✓

Application and Record

Owner: F. Marsh
 Address: 1012 E. Churchill Lane

Fox Point, Wis., Jan. 16 1947

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of Plumbing consisting of

laying a 6 inch Clay drain pipe from Main to Curb
 laying a 1 inch Copper service pipe from Main to Curb;
 to lot line to premises at a 1 inch service pipe from curb to building at

PERMITS ISSUED

Kind	No.
Sewer and Plumbing	<u>723</u>
Water	<u>480</u>
Street	<u>489</u>
Meter	<u>482</u>

No. 1012 E. Churchill Lane No. 1012 E. Churchill Lane

Remarks: _____ Remarks: _____

the following premises owned by F. Marsh 1012 E. Churchill Lane
 Name of owner Address

Description	Lot	Block
<u>Fox Point Sub.</u>	<u>5</u>	<u>3</u>

In the performance of this work the undersigned Plumber or Drain Layer hereby agree to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. R.445 D. Paterson Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Bath Tubs <u>1</u>	Wash Basins <u>1</u>
Ice Box _____	Water Closets <u>1</u>
Laundry Tubs <u>1</u>	Showers _____
Sanitary Bubblers _____	Basement Drains <u>1</u>
Sinks <u>1</u>	Hot water heater <u>1</u>
Urinals _____	

FEES	
Storm Sewer Connection	<u>1.00</u>
Sanitary Sewer Connection	<u>5.70</u>
Water Connection	<u>1.00</u>
Fixtures <u>6 @ 50</u>	<u>3.00</u>
Water Meter <u>3/4 Meter</u>	<u>2.00</u>
Total	<u>12.70</u>
Deposit to cover street repairs	<u>25.00</u>

D. Paterson Permit Clerk

A 1 inch Copper water service pipe was laid in E. Churchill Lane
 Curb box is located 146 feet E of Hyd 237 feet of _____

A 6 inch Clay sanitary sewer connection was made in 47.6 ft. of _____
 feet of manhole. 1 manhole E of intersection
S. G. Linkway and E. Churchill Lane

A 1 inch Copper storm sewer connection was made in E. Churchill Lane
 feet of manhole _____

Outside Drain	House Drain	Report	Inspection Soil and Under Floor	Report	Final Inspection	Return	Water
			<u>10 Inspected</u>		<u>1/21/48</u>		On
							On
							Off
							Off

Installation Approved D. Plank 1/21/48 Application Approved D. Plank 1/16 1947
As Built Plan W365.76 D. Plank Water and Plumbing Inspector

REMARKS

3/4" Barger Meter 2986471
64 Trunk
50 — 500
14 — 70
5.70
 Water for Cost of Work by
11:39 Permit 340

COMPLAINT RECORD

Top Sewer 8/11/47
Stop Box 8 1/2 S of lot line
10' or 4' of wall on
set meter 1-21/48
 Sewer Water

Owner **F. C. Marsh**

Entered

Plumber **D. Paterson**

Permit No. **S - 723**

W - 490 **730**

Street **1012 E. Churchill Lane**

645

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 645

APPLICATION FOR BUILDING PERMIT
TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Designation Residence
Duplex, Residence, Apartment, Store, Garage, Theatre

House Number 1012 E. Churchill Lane STREET

Lot 5 Block 3

Subdivision Fox Point Subdivision

District B Residence

Does contemplated building violate the Village zoning ordinance? No

Height of Building 1 1/2 Story (stories or feet)

Width (parallel to highway) 33' 4" (feet)

Depth (perpendicular to highway) 33' (feet)

Distance: Street Line to Front Line of Porch 30' (feet)

Type of Construction: Frame
Frame, Brick-Tile

Exterior finish Brick Veneer & Wood Siding
Stucco-Siding-Brick Veneer

Height of front yard above street sidewalk grade

Number of rooms 6 rooms - 2 baths - 1 lavatory

Estimated cost { Garage
Building \$10,000

Is there a private garage? No

Does the contemplated garage violate the Village zoning ordinance?

Size..... Number of stalls.....

Where situated.....

General construction.....
Frame-Brick-Stucco

Have you applied to the Industrial Commission for a permit under the State Building Code?

Has the permit been granted?..... Specifications later

Herewith are filed the following duplicate plans..... 1 set in number, which I certify I will conform to in the work hereby applied for.

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.

Deed Restrictions.....

Remarks: Approved incinerator or garbage consumer to be installed

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point.

Owner of land Frederick C. Marsh Owner of building Frederick C. Marsh

Permit fee \$ 11.08 herewith tendered.

Signed Frank Kirkpatrick Inc.
E.R.H.

Dated March 21, 19 46

Architect/Owner, Builder.

645 Entered

10

This applicant hereby gives express author-
 ization to the Village of Fox Point, its officers, agents
 and employees, to enter upon the above premises for
 which this building permit is sought to inspect and to
 fill up any excavation, or tear down, remove or enclose
 any unfinished structure in the event of cessation of the
 building program, whenever the Building Inspector shall
 determine that such premises are dangerous to members of
 the public, including children, even though trespassers.
 I hereby further waive all statutory notices and consent
 to the determination and levy by the Village Board and
 the placing upon the tax roll of a special assessment
 in the amount of the cost to the Village, including
 customary Village overhead charges, of filling up any
 such excavation or tearing down, removing or enclosing
 any such unfinished structure.

Signed Frederick C. March

March 30, 1946
 Date

over 194
 to permit