

Filing Fee
Rec# 45575

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

Date Submitted 12-2-13

No. 15642

APPLICATION FOR BUILDING

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Project RESIDENCE / WINDOWS Address 8425 N. PORT WASHINGTON RD.
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Underground Storage Tank, Etc.

Lot _____ Block _____ Subdivision _____ District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____ (feet)

Type of Construction: _____ Exterior finish _____

Frame, Brick-tile, etc.

Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Estimated cost Garage _____ Building \$15,000 TBD \$8,500.00 Structure _____

Is there a private garage? 2F

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of Stalls _____ Where Situated _____

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work

hereby applied for:

Remarks: NEW WINDOW & PATIO DOOR CONFIGURATIONS ON REAR YARD

FACADE. NEW SIDING ON SECOND FLOOR FORMER.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures

and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents

and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished

structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine

that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though

trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy

and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges

incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15

days after the structure is occupied.

Owner of Structure JEFF TREDO Arch. or Contr. SEBALD MILLWORK, LLC

Address 8425 N. PORT WASHINGTON RD. Address 3750 WYOMING WAY

City FOX POINT State WI Zip 53217 City RACINE State WI Zip 53404

Phone (414) 254-0498 Phone (414) 339-1704

Size of Structure _____ (sq. ft.) Permit Fee 113.28 Receipt 45740 12/6/13

Dwelling Contractor Certification No. 1073107 Expires 3/27/2014

Dwelling Contractor Qualifier Certification No. 1073108 Expires 4/8/2014

Building Contractor Certification No. _____ Applicant Signature Jeff Tredo

Date of Approved 12/2/13 Architect, Owner, Builder

Builder Inspector



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Dec. 10, 2013 09:44

6 8 second floor.wwb

Design Check Calculation Sheet
Sizer 7.0

LOADS (lbs, psf, or plf) :

Load	Type	Distribution	Magnitude Start End	Location [ft] Start End	Units
Load1	Dead	Full UDL	160.0		plf
Load2	Wind	Full UDL	240.0		plf

MAXIMUM REACTIONS (lbs) and BEARING LENGTHS (in) :

Dead	579		579
Live	616		616
Total	1188		1188
Bearing:			
Load Comb	#2		#2
Length	0.50*		0.50*

*Min. bearing length for beams is 1/2" for exterior supports

LVL n-ply, 1.8E, 2600Fb, 1-3/4x5-1/2", 2-Plys

Self-weight of 5.55 plf included in loads;

Lateral support: top= full, bottom= at supports;

Analysis vs. Allowable Stress (psi) and Deflection (in) using NDS 2005 :

Criterion	Analysis Value	Design Value	Analysis/Design
Shear	$f_v = 81$	$F_v' = 456$	$f_v/F_v' = 0.18$
Bending(+)	$f_b = 1423$	$F_b' = 5144$	$f_b/F_b' = 0.28$
Live Defl'n	$0.11 = L/771$	$0.23 = L/360$	0.47
Total Defl'n	$0.26 = L/320$	$0.35 = L/240$	0.75

per contractor/owner
(1) King stud installed.
(1) King stud is acceptable

ADDITIONAL DATA:

FACTORS:	F/E	CD	CM	Ct	CL	CV	Cfu	Cr	Cfrr	Ci	Cn	LC#
Fv'	285	1.60	-	1.00	-	-	-	-	1.00	-	1.00	2
Fb'+	2600	1.60	-	1.00	1.000	1.11	-	1.00	1.00	-	-	2
Fcp'	750	-	-	1.00	-	-	-	-	1.00	-	-	-
E'	1.8 million	-	-	1.00	-	-	-	-	1.00	-	-	2
Emin'	0.93 million	-	-	1.00	-	-	-	-	1.00	-	-	2

Shear : LC #2 = .6D+W, V = 1195, V design = 1039 lbs

Bending(+): LC #2 = .6D+W, M = 2092 lbs-ft

Deflection: LC #2 = .6D+W EI= 44e06 lb-in²/ply

Total Deflection = 1.50(Dead Load Deflection) + Live Load Deflection.

(D=dead L=live S=snow W=wind I=impact C=construction CLD=concentrated)

(All LC's are listed in the Analysis output)

Load combinations: ICC-IBC

DESIGN NOTES:

- Please verify that the default deflection limits are appropriate for your application.
- SCL-BEAMS (Structural Composite Lumber): the attached SCL selection is for preliminary design only. For final member design contact your local SCL manufacturer.
- Size factors vary from one manufacturer to another for SCL materials. They can be changed in the database editor.
- BUILT-UP SCL-BEAMS: contact manufacturer for connection details when loads are not applied equally to all plys.

STRUCTURAL CALCULATIONS

for

TREDO RESIDENCE

by



PIERCE ENGINEERS INC

CONSULTING STRUCTURAL ENGINEERS
241 Broadway Ave, Suite 500 | Milwaukee, WI 53202
Phone: 414.278-6020 | Fax: 414.278.6060

December 16, 2013



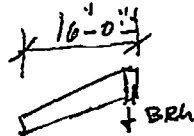
PIERCE ENGINEERS INC.
CONSULTING STRUCTURAL ENGINEERS

Project Name <u>Tredo Residence</u>				
Calculation Section <u>Wall Headers</u>			Job No.	
Calculated by <u>PR</u>	Date	Checked by	Date	Sheet No.

Roof DL = 20 psf
SL = 20 psf

Wall Height = 12 psf

FLOOR DL = 20 psf
LL = 40 psf



Roof Headers

$$\text{TRIB WIDTH} = \frac{16'-0''}{2} = 8'-0''$$

$$\text{DL} = 8 (20) = 160 \text{ p/f}$$

$$\text{LL} = 8 (30) = 240 \text{ p/f}$$

Header 1 = 6'-8" R.O.
design 7'-0" (2) $1\frac{3}{4} \times 5\frac{1}{2}$ LVL

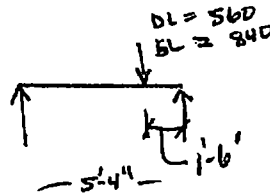
Header 2 = 2'-0" R.O.
design 2'-3"
(2) 2x4

FLOOR Headers

$$\text{TRIB FLOOR} = 5.5'$$

$$\text{DL} = 20 (5.5) = 110 \text{ p/f} + 5(10) = 160$$

$$\text{LL} = 40 (5.5) = 220 \text{ p/f}$$



(2) 2x8

(1) KIRK

(1) BRH

BY inspection - existing window requires
(2) 2x6 min -

Porch window

$$\text{TRIB} = 7.5$$

$$\text{DL} = 20 (7.5) = 150$$

$$\text{LL} = 30 (7.5) = 225$$

$$\text{R.O.} = 10'-7"$$

$$\text{design} = 11'-0"$$

(2) $1\frac{3}{4} \times 9\frac{1}{4}$ LVL

(1) BRH STUD

(2) KIRK STUD



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Dec. 10, 2013 09:45

2 0 second floor.wwb

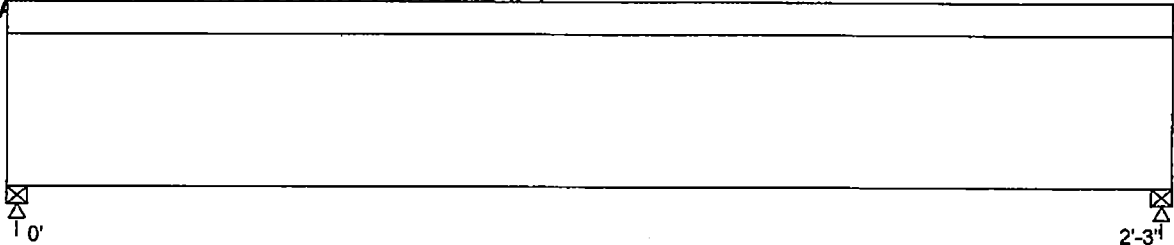
Design Check Calculation Sheet

Sizer 7.0

LOADS (lbs, psf, or plf) :

Load	Type	Distribution	Magnitude Start End	Location [ft] Start End	Units
Load1	Dead	Full UDL	160.0		plf
Load2	Wind	Full UDL	240.0		plf

MAXIMUM REA



Dead	182		182
Live	198		198
Total	379		379
Bearing:			
Load Comb	#2		#2
Length	0.50*		0.50*

*Min. bearing length for beams is 1/2" for exterior supports

Lumber n-ply, S-P-F, No.1/No.2, 2x4", 2-Plys

Self-weight of 2.12 plf included in loads;

Lateral support: top= full, bottom= at supports;

Analysis vs. Allowable Stress (psi) and Deflection (in) using NDS 2005 :

Criterion	Analysis Value	Design Value	Analysis/Design
Shear	$f_v = 40$	$F_v' = 216$	$f_v/F_v' = 0.19$
Bending(+)	$f_b = 419$	$F_b' = 2100$	$f_b/F_b' = 0.20$
Live Defl'n	$0.01 = < L/999$	$0.07 = L/360$	0.09
Total Defl'n	$0.02 = < L/999$	$0.11 = L/240$	0.14

ADDITIONAL DATA:

FACTORS:	F/E	CD	CM	Ct	CL	CF	Cfu	Cr	Cfrt	Ci	Cn	LC#
F_v'	135	1.60	1.00	1.00	-	-	-	-	1.00	1.00	1.00	2
F_b'	875	1.60	1.00	1.00	1.000	1.500	1.00	1.00	1.00	1.00	-	2
F_{cp}'	425	-	1.00	1.00	-	-	-	-	1.00	1.00	-	-
E'	1.4 million	1.00	1.00	-	-	-	-	-	1.00	1.00	-	2
E_{min}'	0.00 million	1.00	1.00	-	-	-	-	-	1.00	1.00	-	2

Shear : LC #2 = .6D+W, V = 380, V design = 282 lbs

Bending(+): LC #2 = .6D+W, M = 214 lbs-ft

Deflection: LC #2 = .6D+W EI= 8e06 lb-in²/ply

Total Deflection = 1.50 (Dead Load Deflection) + Live Load Deflection.

(D=dead L=live S=snow W=wind I=impact C=construction CLd=concentrated)

(All LC's are listed in the Analysis output)

Load combinations: ICC-IBC

DESIGN NOTES:

- Please verify that the default deflection limits are appropriate for your application.
- Sawn lumber bending members shall be laterally supported according to the provisions of NDS Clause 4.4.1.
- BUILT-UP BEAMS:** it is assumed that each ply is a single continuous member (that is, no butt joints are present) fastened together securely at intervals not exceeding 4 times the depth and that each ply is equally top-loaded. Where beams are side-loaded, special fastening details may be required.



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Dec. 10, 2013 09:44

6 8 second floor.wwb

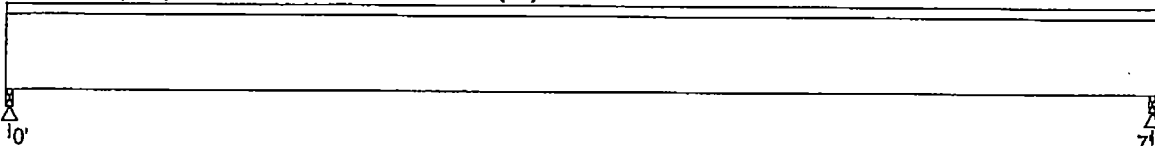
Design Check Calculation Sheet

Sizer 7.0

LOADS (lbs, psf, or plf) :

Load	Type	Distribution	Magnitude Start End	Location [ft] Start End	Units
Load1	Dead	Full UDL	160.0		plf
Load2	Wind	Full UDL	240.0		plf

MAXIMUM REACTIONS (lbs) and BEARING LENGTHS (in) :



Dead	579		579
Live	616		616
Total	1188		1188
Bearing:			
Load Comb			
Length	0.50*	#2 1 bng stud (2) King studs	#2 0.50*

*Min. bearing length for beams is 1/2" for exterior supports

LVL n-ply, 1.8E, 2600Fb, 1-3/4x5-1/2", 2-Plys

Self-weight of 5.55 plf included in loads;

Lateral support: top= full, bottom= at supports;

Analysis vs. Allowable Stress (psi) and Deflection (in) using NDS 2005 :

Criterion	Analysis Value	Design Value	Analysis/Design
Shear	$f_v = 81$	$F_v' = 456$	$f_v/F_v' = 0.18$
Bending(+)	$f_b = 1423$	$F_b' = 5144$	$f_b/F_b' = 0.28$
Live Defl'n	$0.11 = L/771$	$0.23 = L/360$	0.47
Total Defl'n	$0.26 = L/320$	$0.35 = L/240$	0.75

ADDITIONAL DATA:

FACTORS:	F/E	CD	CM	Ct	CL	CV	Cfu	Cr	Cfrt	Ci	Cn	LC#
F_v'	285	1.60	-	1.00	-	-	-	-	1.00	-	1.00	2
$F_b' +$	2600	1.60	-	1.00	1.000	1.11	-	1.00	1.00	-	-	2
F_{cp}'	750	-	-	1.00	-	-	-	-	1.00	-	-	-
E'	1.8 million	-	-	1.00	-	-	-	-	1.00	-	-	2
E_{min}'	0.93 million	-	-	1.00	-	-	-	-	1.00	-	-	2

Shear : LC #2 = .6D+W, V = 1195, V design = 1039 lbs

Bending(+): LC #2 = .6D+W, M = 2092 lbs-ft

Deflection: LC #2 = .6D+W EI= 44e06 lb-in²/ply

Total Deflection = 1.50 (Dead Load Deflection) + Live Load Deflection.

(D=dead L=live S=snow W=wind I=impact C=construction CLD=concentrated)

(All LC's are listed in the Analysis output)

Load combinations: ICC-IBC

DESIGN NOTES:

1. Please verify that the default deflection limits are appropriate for your application.
2. SCL-BEAMS (Structural Composite Lumber): the attached SCL selection is for preliminary design only. For final member design contact your local SCL manufacturer.
3. Size factors vary from one manufacturer to another for SCL materials. They can be changed in the database editor.
4. BUILT-UP SCL-BEAMS: contact manufacturer for connection details when loads are not applied equally to all plys.



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first floor 5 1.wwb

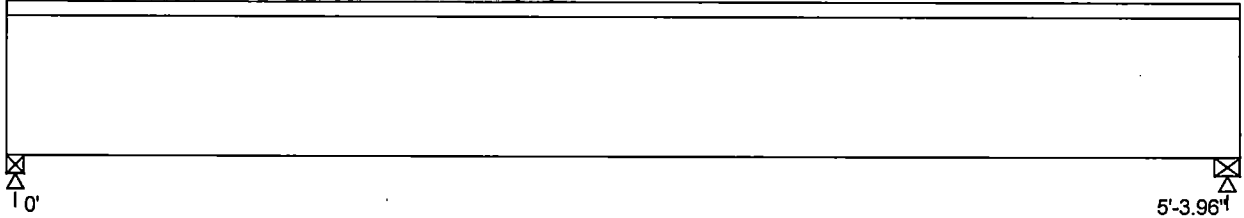
Design Check Calculation Sheet

Sizer 7.0

LOADS (lbs, psf, or plf) :

Load	Type	Distribution	Magnitude Start End	Location [ft] Start End	Units
Load1	Dead	Full UDL	160.0		plf
Load2	Live	Full UDL	220.0		plf
Load3	Dead	Point	560	3.83	lbs
Load4	Snow	Point	840	3.83	lbs

MAXIMUM REACTIONS (lbs) and BEARING LENGTHS (in) :



Dead	596		841
Live	617		892
Total	1213		1733
Bearing:			
Load Comb	#3		#3
Length	0.95		1.36

Lumber n-ply, S-P-F, No.1/No.2, 2x8", 2-Plys

Self-weight of 4.39 plf included in loads;
Lateral support: top= full, bottom= at supports;

Analysis vs. Allowable Stress (psi) and Deflection (in) using NDS 2005 :

Criterion	Analysis Value	Design Value	Analysis/Design
Shear	$f_v = 106$	$F_v' = 155$	$f_v/F_v' = 0.68$
Bending(+)	$f_b = 1019$	$F_b' = 1207$	$f_b/F_b' = 0.84$
Live Defl'n	$0.04 = < L/999$	$0.18 = L/360$	0.24
Total Defl'n	$0.10 = L/630$	$0.27 = L/240$	0.38

ADDITIONAL DATA:

FACTORS:	F/E	CD	CM	Ct	CL	CF	Cfu	Cr	Cfrr	Ci	Cn	LC#
Fv'	135	1.15	1.00	1.00	-	-	-	-	1.00	1.00	1.00	3
Fb'+	875	1.15	1.00	1.00	1.000	1.200	1.00	1.00	1.00	1.00	-	3
Fcp'	425	-	1.00	1.00	-	-	-	-	1.00	1.00	-	-
E'	1.4 million	1.00	1.00	-	-	-	-	-	1.00	1.00	-	3
Emin'	0.51 million	1.00	1.00	-	-	-	-	-	1.00	1.00	-	3

Shear : LC #3 = $D+0.75(L+S)$, $V = 1733$, $V_{design} = 1534$ lbs
 Bending(+): LC #3 = $D+0.75(L+S)$, $M = 2232$ lbs-ft
 Deflection: LC #3 = $D+0.75(L+S)$ $EI = 67e06$ lb-in²/ply
 Total Deflection = 1.50(Dead Load Deflection) + Live Load Deflection.
 (D=dead L=live S=snow W=wind I=impact C=construction CLd=concentrated)
 (All LC's are listed in the Analysis output)
 Load combinations: ICC-IBC

DESIGN NOTES:

- Please verify that the default deflection limits are appropriate for your application.
- Sawn lumber bending members shall be laterally supported according to the provisions of NDS Clause 4.4.1.
- BUILT-UP BEAMS: it is assumed that each ply is a single continuous member (that is, no butt joints are present) fastened together securely at intervals not exceeding 4 times the depth and that each ply is equally top-loaded. Where beams are side-loaded, special fastening details may be required.



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Dec. 16, 2013 10:14

first floor 2.25.wwwb

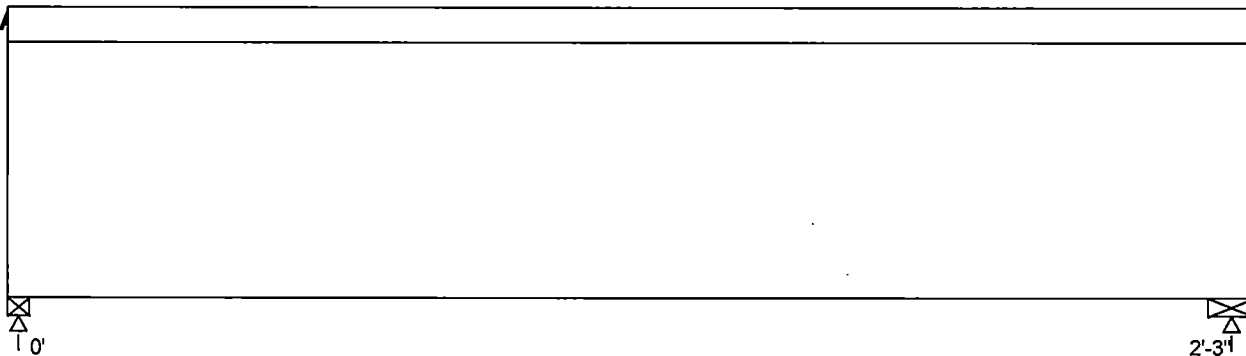
Design Check Calculation Sheet

Sizer 7.0

LOADS (lbs, psf, or plf) :

Load	Type	Distribution	Magnitude Start End	Location [ft] Start End	Units
Load1	Dead	Full UDL	160.0		plf
Load2	Live	Full UDL	220.0		plf
Load3	Dead	Point	560	1.75	lbs
Load5	Snow	Point	840	1.75	lbs

MAXIMUM REA



Dead	308		619
Live	326		676
Total	634		1295
Bearing:			
Load Comb	#3		#3
Length	0.50*		1.02

*Min. bearing length for beams is 1/2" for exterior supports

Lumber n-ply, S-P-F, No.1/No.2, 2x6", 2-Plys

Self-weight of 3.33 plf included in loads;

Lateral support: top= full, bottom= at supports;

Analysis vs. Allowable Stress (psi) and Deflection (in) using NDS 2005 :

Criterion	Analysis Value	Design Value	Analysis/Design
Shear	$f_v = 109$	$F_v' = 155$	$f_v/F_v' = 0.70$
Bending(+)	$f_b = 489$	$F_b' = 1308$	$f_b/F_b' = 0.37$
Live Defl'n	$0.00 = < L/999$	$0.08 = L/360$	0.06
Total Defl'n	$0.01 = < L/999$	$0.11 = L/240$	0.09

ADDITIONAL DATA:

FACTORS:	F/E	CD	CM	Ct	CL	CF	Cfu	Cr	Cfrt	Ci	Cn	LC#
F_v'	135	1.15	1.00	1.00	-	-	-	-	1.00	1.00	1.00	4
$F_b'+$	875	1.15	1.00	1.00	1.000	1.300	1.00	1.00	1.00	1.00	-	4
F_{cp}'	425	-	1.00	1.00	-	-	-	-	1.00	1.00	-	-
E'	1.4 million	1.00	1.00	-	-	-	-	-	1.00	1.00	-	3
E_{min}'	0.00 million	1.00	1.00	-	-	-	-	-	1.00	1.00	-	3

Shear : LC #4 = D+S, V = 1273, V design = 1198 lbs

Bending(+): LC #4 = D+S, M = 616 lbs-ft

Deflection: LC #3 = D+.75(L+S) EI= 29e06 lb-in²/ply

Total Deflection = 1.50(Dead Load Deflection) + Live Load Deflection.

(D=dead L=live S=snow W=wind I=impact C=construction CLd=concentrated)

(All LC's are listed in the Analysis output)

Load combinations: ICC-IBC

DESIGN NOTES:

- Please verify that the default deflection limits are appropriate for your application.
- Sawn lumber bending members shall be laterally supported according to the provisions of NDS Clause 4.4.1.
- BUILT-UP BEAMS: it is assumed that each ply is a single continuous member (that is, no butt joints are present) fastened together securely at intervals not exceeding 4 times the depth and that each ply is equally top-loaded. Where beams are side-loaded, special fastening details may be required.



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Dec. 16, 2013 10:15

patio header.wwb

Design Check Calculation Sheet

Sizer 7.0

LOADS (lbs, psf, or plf) :

Load	Type	Distribution	Magnitude		Location [ft]		Units
			Start	End	Start	End	
Load1	Dead	Full UDL	150.0				plf
Load2	Snow	Full UDL	225.0				plf

MAXIMUM REACTIONS (lbs) and BEARING LENGTHS (in) :

Dead	876					876	
Live	1237					1237	
Total	2114					2114	
Bearing:							
Load Comb	#2					#2	
Length	0.81					0.81	

LVL n-ply, 1.8E, 2600Fb, 1-3/4x9-1/4", 2-Plys

Self-weight of 9.33 plf included in loads;
Lateral support: top= full, bottom= at supports;

Analysis vs. Allowable Stress (psi) and Deflection (in) using NDS 2005 :

Criterion	Analysis Value	Design Value	Analysis/Design
Shear	$f_v = 84$	$F_v' = 328$	$f_v/F_v' = 0.26$
Bending(+)	$f_b = 1398$	$F_b' = 3209$	$f_b/F_b' = 0.44$
Live Defl'n	$0.18 = L/739$	$0.37 = L/360$	0.49
Total Defl'n	$0.37 = L/358$	$0.55 = L/240$	0.67

ADDITIONAL DATA:

FACTORS:	F/E	CD	CM	Ct	CL	CV	Cfu	Cr	Cfrt	Ci	Cn	LC#
F_v'	285	1.15	-	1.00	-	-	-	-	1.00	-	1.00	2
F_b'	2600	1.15	-	1.00	1.000	1.04	-	1.00	1.00	-	-	2
F_{cp}'	750	-	-	1.00	-	-	-	-	1.00	-	-	-
E'	1.8 million	-	-	1.00	-	-	-	-	1.00	-	-	2
E_{min}'	0.93 million	-	-	1.00	-	-	-	-	1.00	-	-	2

Shear : LC #2 = D+S, V = 2114, V design = 1818 lbs

Bending(+): LC #2 = D+S, M = 5813 lbs-ft

Deflection: LC #2 = D+S EI= 208e06 lb-in²/ply

Total Deflection = 1.50(Dead Load Deflection) + Live Load Deflection.

(D=dead L=live S=snow W=wind I=impact C=construction CLd=concentrated)

(All LC's are listed in the Analysis output)

Load combinations: ICC-IBC

DESIGN NOTES:

- Please verify that the default deflection limits are appropriate for your application.
- SCL-BEAMS (Structural Composite Lumber): the attached SCL selection is for preliminary design only. For final member design contact your local SCL manufacturer.
- Size factors vary from one manufacturer to another for SCL materials. They can be changed in the database editor.
- BUILT-UP SCL-BEAMS: contact manufacturer for connection details when loads are not applied equally to all plys.

VILLAGE OF FOX POINT
BUILDING BOARD MINUTES
DECEMBER 20, 2013

A meeting of the Fox Point Building Board was held in Schwemer Hall, 7200 N. Santa Monica Blvd., on Friday, December 20, 2013 at 7:42 a.m. Those present included:

Michael Casper
David Seno
Mike West

Scott Miller, Building Inspector

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meetings laws and posted on the official bulletin boards.

Approval of the Minutes of the December 6, 2013 Building Board Meeting

On motion of Mike West, seconded by Michael Casper and unanimously carried, the Building Board Members approved the minutes of the December 6, 2013 meeting.

Jeff Tredo, 8425 N. Port Washington Road, proposed new exterior window, door, and other exterior building alterations. (Tabled from the December 6, 2013 Building Board meeting). It was the consensus of the Building Board to approve this application.

Sumith Matugama, 8307 N. Greenvale Road, proposed sunroom addition and exterior renovations. (Tabled from the October 25, 2013 and December 6, 2013 Building Board meetings). Contractor: Sunroom Design Group. It was the consensus of the Building Board to table this application because of the following reasons:

1. The application does not include a full size floor plan of the first and second floors showing what is existing and what is being proposed.
2. The application does not include a building section drawn thru the proposed sunroom addition.
3. The application does not show that this project will comply with the Village's ceiling height requirements.
4. The application does not include a complete set of construction details.
5. The application does not include a header schedule showing that these structural members are properly sized.
6. The application does not show that this project will comply with Village code.
7. The Building Board is concerned that the existing second story windows may not comply with the egress requirements of the Village code because they are opening into the new sunroom addition. The Board is requesting the Building Inspector to research this issue to determine code compliance. Also, the Board is requesting the

Plum DAVE KNIGHT PLUMBING
Address 4536 W. HILLTOP LN
City, State, Zip FRANKLIN, WI 53132
Tel. No. 414-423-7376

No. 12917

Owner JEFF TREDO
Address 8425 N. PORT WASHINGTON RD. (2)
Date 11-11-13, 20 13

Application and Record

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

TO THE VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT:

The undersigned hereby make application to do the work of plumbing consisting of
laying a _____ inch _____ laying a _____ inch _____
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building
at

8425 N. PORT WASHINGTON RD. Fox Point, WI
Address at which work is to be done

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>12871</u>
Water	
Street	
Meter	
Water Usage	

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bound by and submit to all statutes, Village ordinances and rules and regulations prescribed by the Village Board for Plumbers.

State Master Lic.# 230579 Expir. 3/30/14 Building Contractor Reg# _____ Expir. _____

HVAC Contractor Reg# _____ Expir. _____ Signature _____ Applicant

FIXTURE WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs <u>2</u>	Dishwashers <u>1</u>
Bath Tubs <u>1</u>	Wash Basins <u>2</u>
Sump Pumps	Water Closets <u>2</u>
Laundry Trays	Showers <u>1</u>
Drinking Fountains	Floor Drains
Sinks <u>1</u>	Food Waste Grinders <u>1</u>
Water Heaters <u>1</u>	Sprinkling System
Wash. Mach. Wastes	Urinals
Bidets	
Catch Basins	

FEES

Water Usage _____ \$ _____
Building Sewer _____
Water Service _____
Building Drain _____
Fixtures 12 x 8 # 96
Water Meter _____
Total \$96.00

Deposit to cover street repairs Receipt # 45471
(A current certificate of insurance must be provided when doing work in road right of way (ROW)).

Permit Clerk

A _____ inch _____ water service pipes laid in _____

Curb box is located _____ feet _____ of _____ feet _____ of _____

_____ inch _____ Water Meter No. _____ Date Installed _____

A _____ inch _____ sanitary sewer connection was made in _____
_____ feet _____ of manhole _____

A _____ inch _____ storm sewer connection was made in _____
_____ feet _____ of manhole _____

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved _____ Application Approved _____, 20 _____

As Built _____

Water and Plumbing Inspector

Search for Individual or Company by Credential ID here:Specific Credential ID

3 record(s) were returned by your search.

ID	Name	City,State,Zip	Credential Type	Expiration
230579	<u>KNIGHT,</u> <u>DAVID P</u>	FRANKLIN WI 53132	Journeyman Plumber	03/31/06
230579	<u>KNIGHT,</u> <u>DAVID P</u>	FRANKLIN WI 53132	Master Plumber	03/31/16
230579	<u>KNIGHT,</u> <u>DAVID P</u>	FRANKLIN WI 53132	Plumbing Apprentice	12/31/98

Receipt No: 1.045471

Nov 12, 2013

8425 N PORT WASHINGTON ROAD

LICENSES & PERMITS-PLUMBING PERMIT	96.00
24-44470 PLUMBING PERMIT	

Total:	96.00
--------	-------

CHECK	Chk No: 1168	96.00
Total Applied:		96.00

Change Tendered:	.00
------------------	-----

11/12/13 12:29pm

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

CONTRACTOR USE	
Date	11/13/13
State Master Electrician Lic. No.	993664
State Elect. Contractor Cert. No.	1117521
Village Elect. Contractor Cert. No.	

VILLAGE OF FOX POINT

7200 N. Santa Monica Blvd.
Fox Point 53217
414-351-8900

APPLICATION FOR ELECTRICAL PERMIT

PLEASE TYPE OR PRINT WITH BALL POINT PEN

OFFICE USE ONLY	
Permit No.	206666
Received	11/13/13
Service	
Rough-In	
Final	

Builder	3 PHASE POWER	Owner	JEFF TREDO	Occupant	JEFF TREDO
Job Address	8425 N. PORT WASHINGTON RD.				

ESTIMATED COST OF JOB

- Buildings ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☒ Remodeling
☐ New Occupancy

Where on Premises?

Describe KITCHEN, FT FL BATH
2ND FL BATH, 2ND FL BED

List Name of Installing Contractor

HEATING

AIR CONDITIONING

PLUMBING

Date of Inspection

- Rough ☐ Will Call ☐
 Final ☐ Will Call ☐
 Service Approval Sent ☐

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch, and convenience outlets	11	.70 ea	7	70
2	Lighting Fixtures	8	.70 ea	5	60
3	Fluorescent Fixtures - per tube		.70 ea		
4	Range, Electric	1	8.00 ea	8	00
5	Garbage Grinding and Disposal Unit	1	8.00 ea	8	00
6	Dishwasher	1	8.00 ea	8	00
7	Clothes Dryer		8.00 ea		
8	Water Heaters, Electric		8.00 ea		
9	Gas Burner, Oil Burner, or Stoker		8.00 ea		
10	Refrigerating, Air Cooling, or similar machine - .25 per HP		8.00 min		
11	Feeders - No. 6 A.W.G. or Larger		10.00 ea		
12	Temporary Service Permit for: How Long?		30.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		25.00 ea		
	2. 101 through 400 amps.		40.00 ea		
	3. 401 through 600 amps.		40.00 ea		
	4. 601 through 1000 amps.		60.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.70 per HP or frac.		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers, and Generators		2.00 per KW		
17	Space Heating Systems, per circuit		4.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps.		3.00 ea		
19	2. Over 30 amps.		5.00 ea		
20	Wireways, busways, underfloor raceways, or auxiliary gutters		.50 per ft.		
21	Strip Lighting, Plug-in Strip, Trol-E Duct, or similar system		.50 per ft.		
22	Signs, Electric-.75 ea. socket, plus 2.00 ea. add'l transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		40.00		
25	Spas, Hot-Tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		60.00	60	00
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 45491

TOTAL FEES 60 00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor	3 PHASE POWER	Supervising Electrician (Signature)	11/13/13
Address	221 N. 66TH ST.	Telephone	414-356-9793
City	MELWAQUKE	State	WI
Zip Code	53213		

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.045491

Nov 13, 2013

8425 N PORT WASHINGTON ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT	60.00
24-44430 ELECTRICAL PERMIT	

Total:	<u>60.00</u>
--------	--------------

CHECK	Chk No: 1459	60.00
Total Applied:		<u>60.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

11/13/13 11:44am

Receipt No: 1.045491

8425 N PORT WASHINGTON ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT

24-44430 ELECTRICAL PERMIT

Total:

Change Tendered:

11/13/13 11:44am

Receipt No: 1.045491

8425 N PORT WASHINGTON ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT

24-44430 ELECTRICAL PERMIT

Total:

Change Tendered:

11/13/13 11:44am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

Date Submitted 11/12/2013

No. 15604

APPLICATION FOR BUILDING

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter.

Type of Project Interior Remodeling Address 8425 N. Port Washington Rd.
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Underground Storage Tank, Etc.

Lot _____ Block _____ Subdivision _____ District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: _____ Exterior finish _____

Frame, Brick-tile, etc.

Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Garage _____

Estimated cost Building \$54,600

Structure _____

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of Stalls _____ Where Situated _____

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work

hereby applied for:

Remarks: 1. Exterior Siding & Windows will occur under a

separate application.

2. No load-bearing wall alterations or removal.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures

and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents

and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished

structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine

that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though

trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy

and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges

incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15

days after the structure is occupied.

Owner of Structure JEFF TREPO

Arch. or Contr. SEBARD MILLWORK, LLC

Address 8425 N. Port Washington Rd.

Address 3700 WYOMING WAY

City FOX POINT State WI Zip 53217

City RACINE State WI Zip 53404

Phone (414) 254-0498

Phone 41519

Size of Structure _____ (sq. ft.) Permit Fee 45499

Receipt 45499

Dwelling Contractor Certification No. 1073107 Expires 3/27/2014

Dwelling Contractor Qualifier Certification No. 1073108 Expires 4/10/2014

Building Contractor Certification No. _____

Applicant Signature [Signature]

Architect, Owner, Builder

Date of Approved 11/13/13

Builder Inspector [Signature]

Search for Individual or Company by Credential ID here:

Specific Credential ID 1073107

1 record(s) were returned by your search.

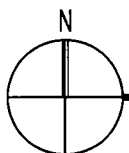
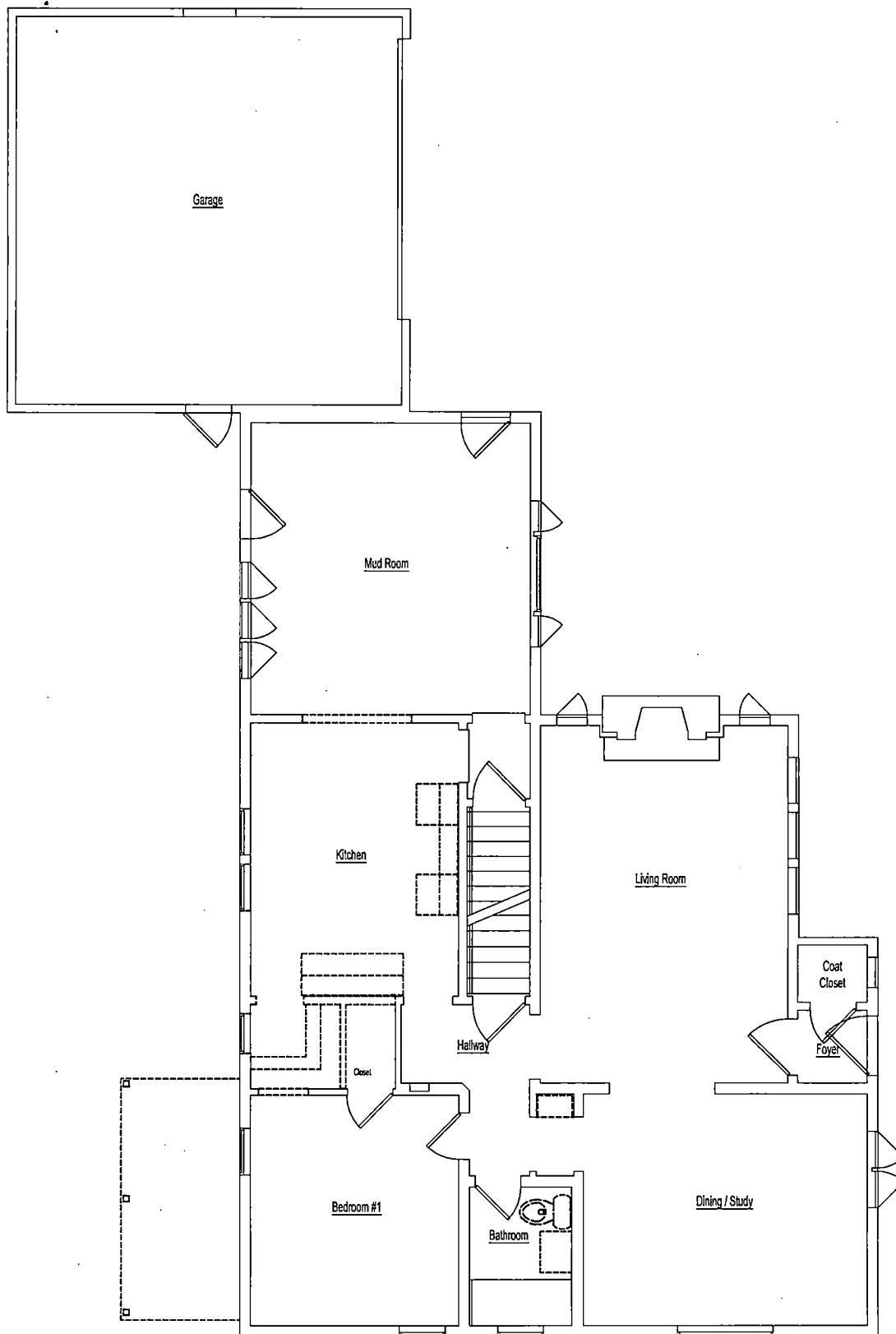
ID	Name	City,State,Zip	Credential Type	Expiration
1073107	SEBALD MILLWORK LLC.	MILWAUKEE WI 53212	Dwelling Contractor	03/27/14

Search for Individual or Company by Credential ID here:

Specific Credential ID 1073108

1 record(s) were returned by your search.

ID	Name	City,State,Zip	Credential Type	Expiration
1073108	SEBALD, NATHAN	MILWAUKEE WI 53212	Dwelling Contractor Qualifier	04/08/14



A200

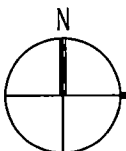
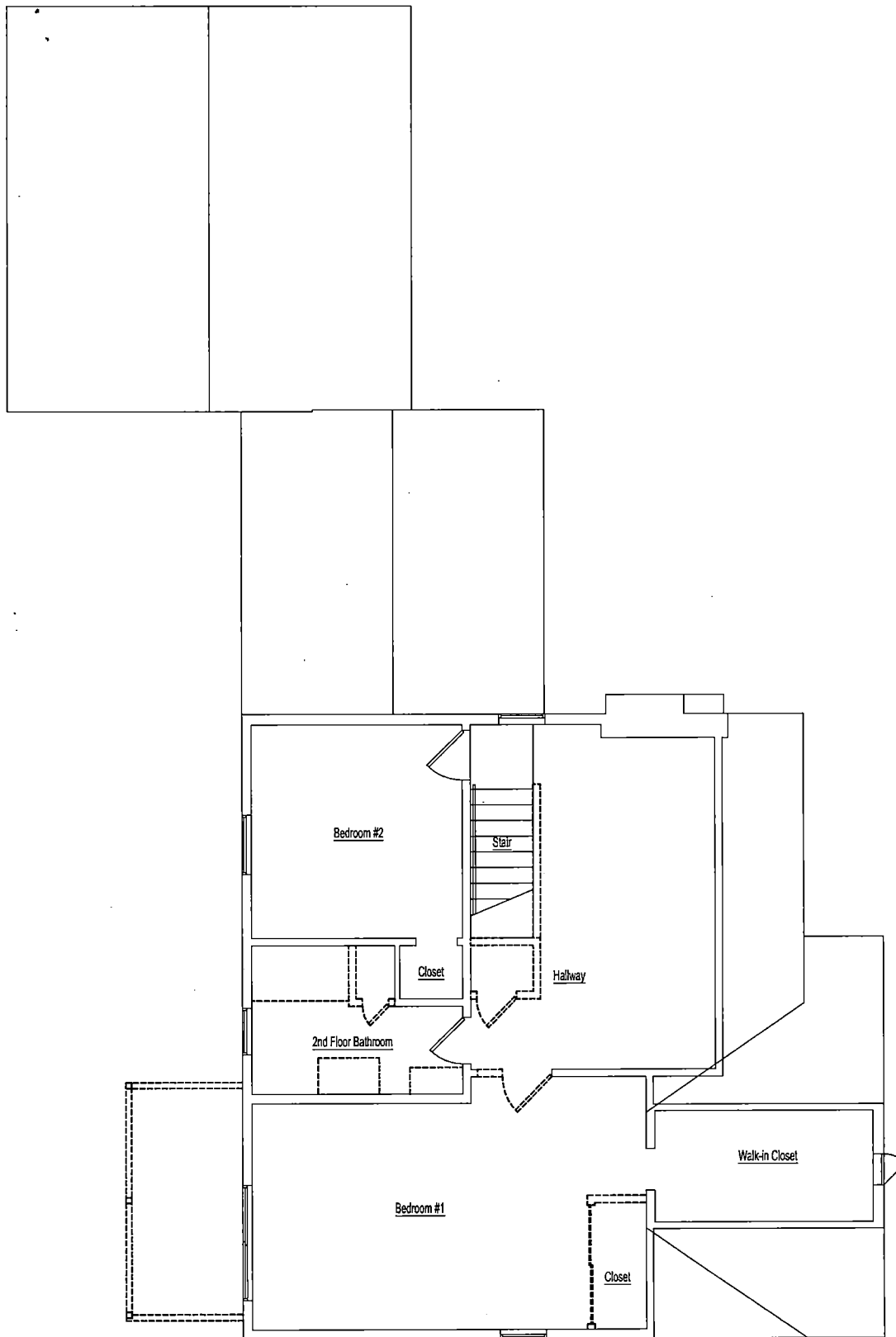
Scale: 1/8" = 1' - 0"

MAIN FLOOR DEMO

November 12, 2013

Tredo Residence Remodeling

8425 N. Port Washington Rd. Fox Point, WI 53217



A201

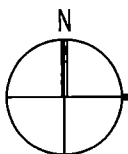
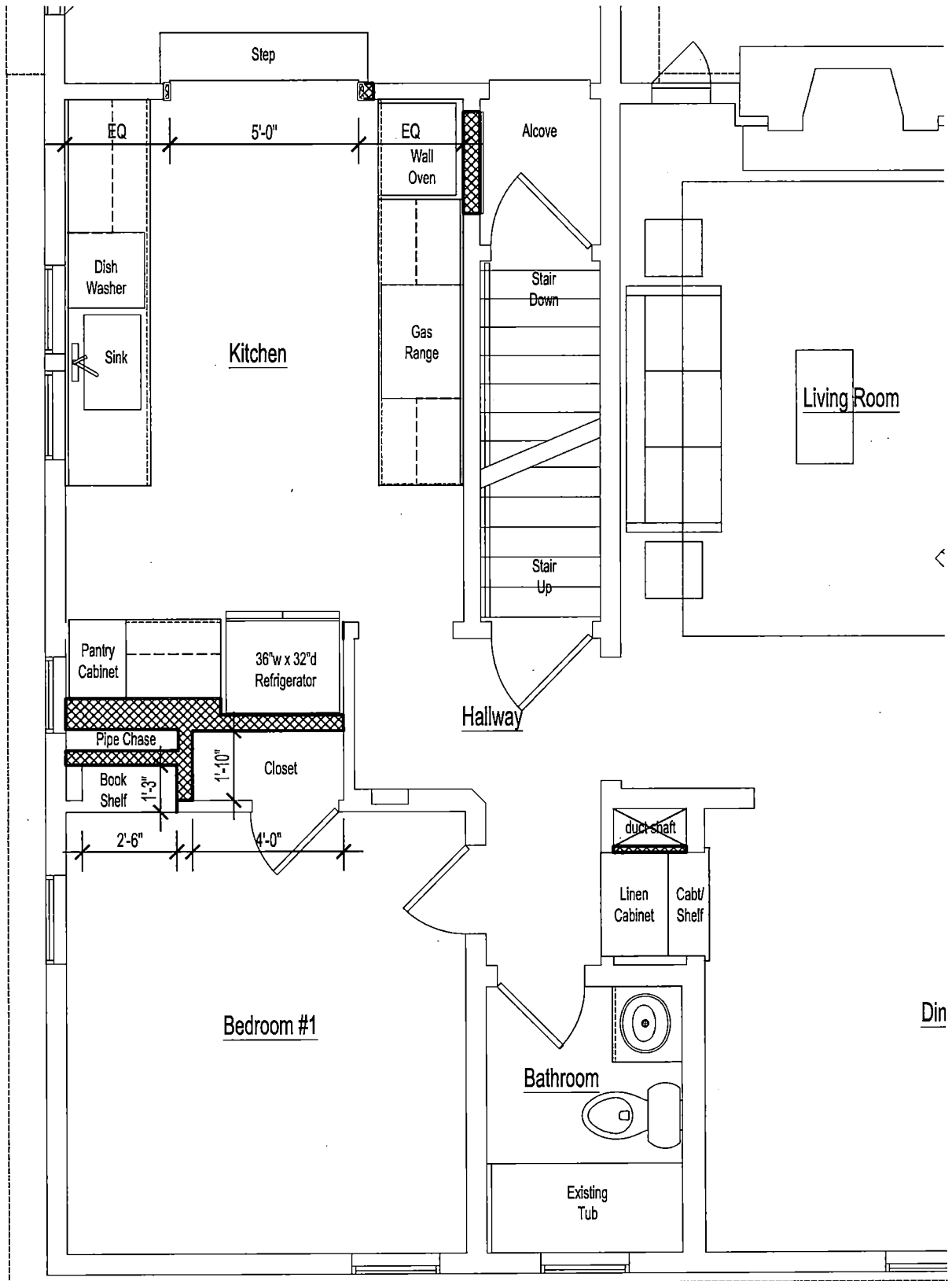
Scale: 1/8" = 1' - 0"

SECOND FLOOR DEMO

November 12, 2013

Tredo Residence Remodeling

8425 N. Port Washington Rd. Fox Point, WI 53217



A204

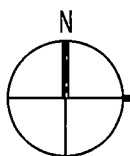
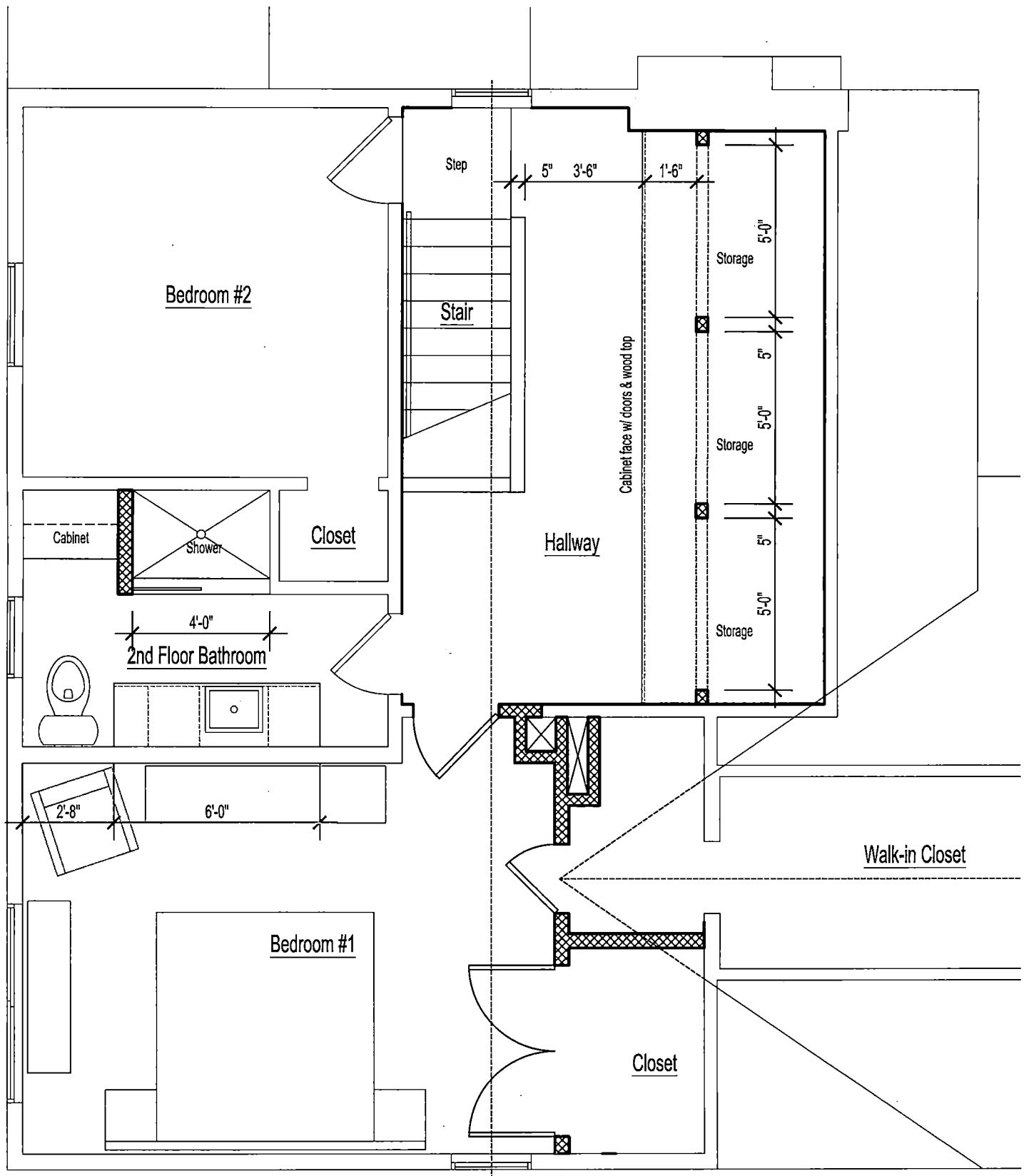
KITCHEN / BATH PLAN

Tredo Residence Remodeling

Scale: 1/4" = 1' - 0"

November 12, 2013

8425 N. Port Washington Rd. Fox Point, WI 53217



A205

SECOND FLOOR PLAN

Tredo Residence Remodeling

Scale: 1/4" = 1'-0"

November 12, 2013

8425 N. Port Washington Rd. Fox Point, WI 53217

Date Submitted 11-5-09

No. 14108

APPLICATION FOR BUILDING PERMIT

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence Address 8425 N. Port Washington
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.
Lot _____ Block _____ Subdivision _____ District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure 20ft. (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: _____ Exterior finish _____
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Garage _____
Estimated cost Building \$8300.00
Structure _____

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of Stalls _____ Where Situated _____

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for:

Remarks: Tear off existing roof. Installing GAF 30year HD Dimensional Shingles, approx.
134 A. Birch Aluminum gutters - gutter guard. Installing Ridge Vent - Snow Country.
1cc + water left from gutterline - all new metal - valleys/d. edge

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Jeffrey Trede Arch. or Contr. Erik - Export Roofing

Address 8425 N. Port Washington Address 3044 S 92nd

City Fox Point State WI Zip 53217 City Milwaukee State WI Zip 53221

Phone 414-254-0492 Phone 414-614-1202

Size of Structure 15 (sq. ft.) Permit Fee \$795 Receipt 30999

Dwelling Contractor Certification No. _____ Expires _____

Dwelling Contractor Qualifier Certification No. 1041470 Expires 2/19/10

Date of Permit Approved 11/5/09 Applicant Signature [Signature]

Date Approved _____ Architect, Owner, Builder

Building Inspector



Customer Details	
Name	MICHAEL ONEILL COLEY
Contact Info	MILWAUKEE, WI 53227 Specific contact information is not available for this customer.

Credentials listed for COLEY, MICHAEL ONEILL

The continuing education information displayed here may not be accurate due to reporting, entry, or web retrieval errors.

It is a credential holder's responsibility to keep track of their continuing education credits.

Black=Approved Yellow=In Renewal Process
Red=Expired or Not Valid

Credential Type	Expiration	CE Hours Needed	CE Needed By
Dwelling Contractor Qualifier	02/18/10	12	11/19/09

ID: 1041470

EXPERT ROOFING II INC

Certification, License, or Registration Name

Dwelling Contractor Certification

Expires

02/19/10

Wisconsin Department of Commerce

Signature:



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT 53217-3505
414-351-8900
FAX 414-351-8909

October 20, 2005

Jim Buecchel
Lyons Electric, Inc.
75 Enterprise Road
Delafield, WI 53018

8/7/08
WLC [Signature]

RE: Electrical Permit #17892
Jeff Tredo Property
8425 N. Port Washington Road
Fox Point, WI 53217

I am writing to inform you that the new overhead electrical service you installed at the above property is in violation of code.

On October 20, 2005, I inspected this installation for code compliance. The inspection revealed that the overhead service-drop conductors are located approximately thirty (30) inches from an existing second story window. This is contrary to section 230.9(A) of the National Electrical Code (NEC) which requires that you provide a three (3) foot clearance from the service-drop conductors and a window that is "designed to be opened."

For the foregoing reasons, I am hereby requesting that you bring this installation into code compliance.

Please feel free to contact me should you have any questions concerning this letter.

Sincerely,

Scott Miller
Inspector

cc Village Manager
Village Attorney
Jeff Tredo
File

26528

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No.	17892 C
Received	8/8/05
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 8/08/05
License No. _____

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder	Owner <u>Jeff Tredo</u>	Occupant
---------	-------------------------	----------

Job Address 8425 N. Port Washington Rd.

ESTIMATED COST OF JOB

- Buildings ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises?

Describe _____

List Name of Installing Contractor _____

HEATING _____

AIR CONDITIONING _____

PLUMBING _____

Date of Inspection

- Rough _____ Will Call ☐
 Final _____ Will Call ☐
 Service Approval Sent _____ ☐

REMARKS:

Left message for
final on 8/8/05

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric	1	4.00 ea	4 00	
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea	10 00	
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxiliary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT	50.00	40.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

TOTAL FEES

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

Contractor <u>Lyons Electric Co Inc.</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>8/8/05</u>
Address <u>75 Enterprise Rd.</u>	Telephone <u>262-646-6828</u>	
City <u>DeKalb</u>	State <u>WI</u>	Zip Code <u>53018</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.014649

Aug 09, 2005

8425 N PORT WASHINGTON ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT	50.00
24-44430 ELECTRICAL PERMIT	
LYONS ELECTRIC	

LICENSES & PERMITS-ELECTRICAL CONTRACTORS	50.00
LICENSE	

24-44110 ELECTRICAL CONTRACTORS LICEN

Total:	100.00
--------	--------

CHECK	Chk No: 17913	100.00
-------	---------------	--------

Total Applied:	100.00
----------------	--------

Change Tendered:	.00
------------------	-----

Duplicate Copy

08/09/05 10:53am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

Plumber Thiessenhausen Plumbing No. 10750 C
Address 17640 W National
Tel. No. 262 786 2400
Application and Record
Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

Owner Jeffrey Tredo Rd.
Address 8425 N. Port Washington
Date Sept 2005

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building
at

..... Fox Point, Wis.
Address at which work is to be done

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>16704</u>
Water	
Street	
Meter	
Water Usage	

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bound by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP 221325 Joe Thiessenhausen Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks <u>gtd</u>	Food Waste Grinders
Water Heaters <u>gtd</u>	Sprinkling System
Wash. Mach. Wastes	Urinals
Bldets	
Catch Basins	

FEES

Water Usage \$
Building Sewer
Water Service
Building Drain
Fixtures
Water Meter
Total \$50.00
Deposit to cover street repairs Receipt # 15197

Permit Clerk

A inch water service pipes laid in
Curb box is located feet of feet of
..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in
..... feet of manhole

A inch storm sewer connection was made in
..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved Application Approved 20

As Built
Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

Receipt No: 1.015197

Oct 12, 2005

8425 N PORT WASHINGTON ROAD

LICENSES & PERMITS-PLUMBING PERMIT	50.00
24-44470 PLUMBING PERMIT	

Total:	50.00
--------	-------

CHECK	Chk No: 21977	50.00
Total Applied:		50.00

Change Tendered:	.00
------------------	-----

10/12/05 09:03am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No.	13717818
Received	6/8/05
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 6/1/05
License No. 6

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder Owner Cook Occupant

Job Address 8425 N. Port Washington Rd

ESTIMATED COST OF JOB 350

- Buildings ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises?

Describe Basement

List Name of Installing Contractor

HEATING

AIR CONDITIONING

PLUMBING

Date of Inspection

- Rough Will Call ☐
 Final Will Call ☐
 Service Approval Sent ☐

REMARKS:

Code Compl.
misc. repair
to cables, connectors
etc.

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 13724
 TOTAL FEES 50

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

Contractor	DIEDRICH ELECTRIC INC.	Supervising Electrician (Signature)	Date
Address	4416 N. ARDMORE AVE.	Telephone	<u>6/2/05</u>
City	SHOREWOOD, WI 53211		
	(414) 962-9333		
State	Zip Code		

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.013724

Jun 08, 2005

8415 N PORT WASHINGTON ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT. 50.00

24-44430 ELECTRICAL PERMIT

Total: 50.00

CHECK Chk No: 11442 50.00

Total Applied: 50.00

Change Tendered: .00

06/08/05 12:28pm

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217

NONCOMPLIANCE NOTICE

May 23, 2005

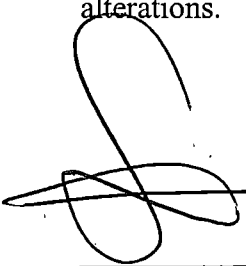
Issued to: Harland & Margaret Cook

Address: 8425 N. Port Washington Road

An inspection of the premises located at 8425 N. Port Washington Road discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

1. Please provide backflow protection for your hand-held shower units.
2. Please bring the electrical wiring in your basement into code compliance. (Proper use of fittings, grounding, supports, boxes, etc.) Please be aware that Village Code requires a permit for all electrical alterations.

Glen #5



Scott Miller
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE


June 15, 2005

NO. 5363

Issued to: Harland & Margaret Cook

Address: 8425 N. Port Washington Road

This Certificate of Compliance permits a change in the occupancy of the premises at 8425 North Pt. Washington Rd., Fox Point, WI, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Scott Miller
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217
NONCOMPLIANCE NOTICE


May 5, 1999

Issued to: Cecilia Kim

Address: 8425 N. Port Washington Road

An inspection of the premises located 8425 N. Port Washington Road, discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- ~~1.~~ Smoke detectors are required for each floor level including the basement.
- ~~2.~~ Provide backflow protection for all exterior hose bibs and laundry tub faucets.
3. Provide backflow protection for the hand held shower unit.
- ~~4.~~ The sump pump motor must be grounded.
- ~~5.~~ Properly close the open junction box above the basement dryer.
- ~~6.~~ Properly close the open junction box behind the cabinet above the kitchen sink. Also, the cord supplying the fluorescent light fixture may not be run through a hole in the bottom of the cabinetry.
7. The NM cable installed below the kitchen sink and in the basement must be made code compliant. *Back up all repairs to 18" rule must be made, no permits/working on A/C - check for*
- ~~8.~~ The kitchen countertop outlets must be brought into code compliance. *inspect.*
- ~~9.~~ The waste piping from the dishwasher must be brought into code compliance.
10. Please obtain a permit for the repairs to the basement foundation.



Scott Miller
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217
NONCOMPLIANCE NOTICE

REVISED

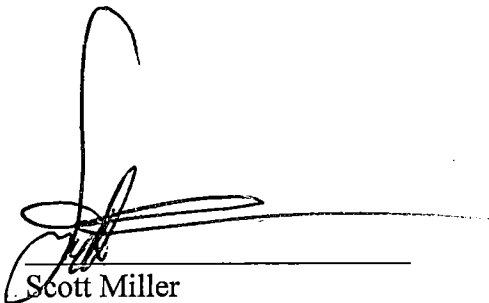
August 30, 1999

Issued to: Cecilia Kim

Address: 8425 N. Port Washington Road

An inspection of the premises located at 8425 N. Port Washington Road discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

1. Item #3 on the Non Compliance Notice of May 5, 1999 remains in non compliance.
2. Item #7 on the Non Compliance Notice of May 5, 1999 remains in non compliance. Also, please obtain an electrical permit for repairs of items 4, 5, 6, 7 & 8.
3. Item #10 on the Non Compliance Notice of May 5, 1999 remains in non compliance.



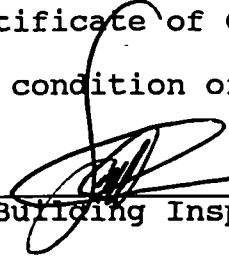
Scott Miller
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217

CERTIFICATE OF COMPLIANCE

No. 4446 Date September 14, 1999
Issued to Cecilia Kim
Address 8425 N. Port Washington Road

This Certificate of Compliance permits a change in the occupancy of the premises located at 8425 N. Port Washington Road in Fox Point, Wisconsin, anytime within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes an liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of the Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Building Inspector-Village of Fox Point

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No.	15601C
Received	9/13/99
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Date Sept 10 99
License No. 13

Builder	Owner <u>Cecilia M Kim</u>	Occupant
---------	----------------------------	----------

Job Address 8425 N Port Washington Road

ESTIMATED COST OF JOB

- Buildings ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises?

Describe Noncompliance

Notes May 5, 99

#4, 5, 6, 7, & 8

Revised Aug 30, 1999

List Name of Installing Contractor

HEATING

AIR CONDITIONING

PLUMBING

Date of Inspection

- Rough ☐ Will Call ☐
 Final ☐ Will Call ☐
 Service Approval Sent ☐

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		40.00 ea	4000	
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 28095
TOTAL FEES 4000

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>S&S Electrical Contractors Inc.</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>Sept 11 99</u>
Address <u>P.O. Box 23382</u>	Telephone <u>414-354-8738</u>	Home <u>557-8938</u>
City <u>Milwaukee</u>	State <u>Wisc</u>	Zip Code <u>53223</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

VILLAGE OF FOX POINT

Receipt #: 28095

September 13 1999

Received of : S & S ELECTRICAL CONTRACTORS, INC.

Amount

Forty and 00/100----- \$*****40.00

CATEGORY NUMBER	ACCOUNT NUMBER	AMOUNT
120	R1044430	40.00

CHECK: 40.00

7200 N SANTA MONICA BLVD, CLERK-TREASURER

Have a Nice Day
and thank you very much

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX
MDP 09/13/1999 10:51 AM *****40.00

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 10896

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

X Type of Structure RESIDENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

X Address 8425 N. PORT WASHINGTON RD.

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Garage

X Estimated cost Building 500

Structure.....

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

X Remarks: BASEMENT REPAIR

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

X Owner of Structure CELIA KIM X Arch. or Contr. DETROIT CONSTRUCTION

Address 8425 N. PORT WASHINGTON Address

City FOX POINT WI State 53217 City..... State..... Zip.....

X Phone..... X Phone.....

Size of Structure.....(sq. ft.) Permit Fee \$80.00 Double Fees herewith tendered

Date Submitted..... X Signed Celia Kim Receipt #28106

Date Approved.....

Date of Permit.....

Architect, Owner, Builder

VILLAGE OF FOX POINT

Receipt #: 28106

September 13 1999

Received of : CECILIA MURPHY-KIM

Amount

Eighty and 00/100----- \$*****80.00

CATEGORY NUMBER

ACCOUNT NUMBER

AMOUNT

120

R1044460

80.00

CHECK:

80.00

7200 N SANTA MONICA BLVD, CLERK-TREASURER

Have a Nice Day
and thank you very much

OFFICIAL RECEIPT WHEN VALIDATED IN THIS BOX
MDP 09/13/1999 3:57 PM *****80.00

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No.....

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 8425 W. Port Washington Rd

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Garage

X Estimated cost Building 800.00

Structure.....

Is there a private garage?.....Yes

Does the contemplated garage violate the Village zoning ordinance?.....

Size..... Number of stalls.....

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

X Remarks: Foundation repair

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

X Owner of Structure Cecelia Murphy Arch. or Contr. DETRO General

Address 8425 W. Port Washington Rd Address Box 16507

City Fox Point State Zip City Milwaukee State WI Zip 53216

Phone..... Phone. (414) 444-0200

Size of Structure.....(sq. ft.) Permit Fee \$40.00 herewith tendered

Date Submitted..... Receipt # 28082

Date Approved..... Signed Peter De Zure

Date of Permit..... Architect, Owner, Builder

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 10363

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure REPLACEMENT OF WINDOWS
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 8425 N. PONT WASHINGTON RD.

Lot _____ Block _____

Subdivision _____

District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: _____ Exterior finish _____
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Estimated cost Garage Windows - 8500

Building _____

Structure _____

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of stalls _____

Where situated _____

General construction _____
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

Remarks: THERE WILL BE NO CHANGE TO EXISTING

WINDOWS - I.E. DOUBLE HUNG WILL BE DOUBLE HUNG

SWING TYPE WILL BE SWING TYPE ETC. NO CHANGE TO STRUCTURE OF HOUSE

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure C. CELIA MURPHY Arch. or Contr. C. EDWARD LUMBER

Address 8425 N. PONT WASHINGTON RD. Address _____

City FOX POINT WI 53217 City _____

State _____ Zip _____ State _____ Zip _____

Phone (414) 228-6798 Phone _____

Size of Structure _____ (sq. ft.) Permit Fee 450 Receipt # 16936

Date Submitted 1-21-98 herewith tendered

Date Approved 1/21/98

Date of Permit _____

*Signed Celia Murphy - Kim

Architect, Owner, Builder

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

APPLICATION FOR INSPECTION AND ISSUANCE
OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)

No. 8066 Date 9-10-91

Address 8425 N. Port Washington Fox Point, Wisconsin.

Type of Proposed Occupancy Single Family

Owner of Building Peter W. & Karen Morris

Building Owner's Address:

- same -
Unknown

Building Owner's Telephone Number ()
area code

Proposed Occupant's Name (if known) _____

Proposed Occupant's Present Address:

Proposed Occupant's Telephone Number ()
area code

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner X Proposed Occupant _____ Other _____

Karen Morris
Applicant's Signature

8425 N. Port Washington
Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

Application and fee received: Date 9-10-91

Rec # 28092 Received by RC

Inspection made: Date 9-12-91

Signature [Signature]

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

NONCOMPLIANCE NOTICE

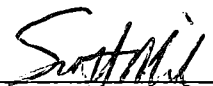
September 20, 1991
Date

Issued to: Peter and Karen Morris

Address: 8425 N. Port Washington Rd.

An inspection of the premises located at 8425 N. Port Washington Rd. discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

1. Provide backflow protection for all exterior hose bibs and laundry tub faucets.
2. Remove or install to code basement shop lite.
3. Well must be abandoned as per the well code.
4. Non metallic cable in basement shall be installed to code.
5. Solid fuel burning stove in the basement shall not be vented with any other equipment or appliances as per the State Code. This furnace shall be removed and the vent connection shall be properly capped as per code.
6. Water heater shall comply with code:
 - A. Provide proper sediment trap.
 - B. Extend the relief valve to within 6" of the floor as per code.
7. Basement fan shall be brought up to code or removed.
8. Provide a code complying garbage disposal unit as per code. This must be installed by a licensed plumber and a separate permit for this installation as required.
9. Remove extension cord found in kitchen.
10. Recommend additional code complying outlets for the kitchen.
11. Armored cable noted in the first floor clothes closet shall be properly supported and protected from physical damage. Ref. NEC Article 333.
12. Refasten second story lite as needed.
13. Exterior receptacle in front of the home shall be installed to code.
14. Downspout shall expire at least 3'0" from the house as per code. Also clean gutters as needed.
15. Several problems were noted with the exterior deck installation. In checking (page 2) The premises at the above address shall be brought in compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.


Building Inspector - Village of Fox Point

our records it was noted that a permit to construct a deck had been applied for but was never paid for issued. Also it was never inspected. Some of the problems noticed were as follows:

- A) Improper guard rail.
- B) Excessive spans on the joist.
- C) Header joist beams on post on the west end but is placed on the roof sheathing for east support? Also this end was cut to except the roof angle and the remaining member was only a single 2x8.
- D) No joist hangers were noted. Please find enclosed a copy of the guardrail requirements for your information.

WAIVER OF LIEN

5-15

1992

For value received, \$ 575.00 hereby waive all rights and claims for lien on land and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto,

for Peter Morris owner

by James Hogan contractor

for well abandonment done according to DNR Code

same being situated in Milwaukee County State of Wisconsin, described as

residence 8925 N Port Washington Rd

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, except,

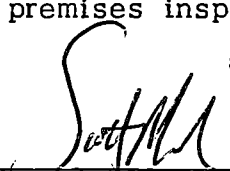
James Hogan

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

No. 3169 Date June 2, 1992
Issued to Peter and Karen Morris
Address 8425 N. Port Washington Rd.

This Certificate of Compliance permits a change in the occupancy of the premises located at 8425 N. Port Washington Rd. in Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Building Inspector
Village of Fox Point

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 8425 7th St Washington Rd

Lot _____ Block _____

Subdivision _____

District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: Frame Exterior finish _____
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Garage _____

Estimated cost Building \$2,994.00

Structure _____

Is there a private garage? yes

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of stalls _____

Where situated _____

General construction _____
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

Remarks: Excavate Class 1 sub. walk straight, T.P. Pt cracks, install steel bars 24" on center, fill all cells w/ concrete, check bleeders + install new drain tile, spray w/ fibered asphalt, backfill w 80% stone + 20% Levee & Garden Soil.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure C. E. Murphy Arch. or Contr. C. E. Murphy & Son Inc

Address 8425 7th St Washington Rd Address 8223 W Mequon Rd 112 N

City Milwaukee, Wis 53217 City Mequon 53092
State Zip State Zip

Phone 228-6798 Phone 242-3580

Size of Structure _____ (sq. ft.) Permit Fee 25.00 Receipt # 30746
herewith tendered

Date Submitted _____

Date Approved 11/28/80

Date of Permit _____

Signed Stanley H. Diphorn, Pres

Architect, Owner, Builder

No. 71729
Application and Record
 Village of Fox Point
 7200 N. Santa Monica Blvd.
 Fox Point, WI 53217
 351-8900

Owner Karen MORRIS
Address 8425 N PORT WASHINGTON
Date 1-15 , 19 92 RD

PERMITS USED	
Kind	No.
Sewer and Plumbing	6989
Water	
Street	
Motor	
Water Usage	

at
8425 N PORT WASHINGTON RD Fox Point, Wis.
Address at which work is to be done

Subdivision	Lot	Block

License No. 5236 *Ronald Michel* Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.		No.	
Hose Bibs .....	.....	Dishwashers .....	.....
Bath Tubs .....	.....	Wash Basins .....	.....
Sump Pumps .....	.....	Water Closets .....	.....
Laundry Trays .....	.....	Showers .....	.....
Drinking Fountains .....	.....	Floor Drains .....	.....
Sinks .....	.....	Food Waste Grinders .....	.....
Water Heaters .....	.....	Sprinkling System .....	.....
Wash. Mach. Wastes .....	.....	Urinals .....	.....
Bidets .....	.....	.....	.....
Catch Basins .....	.....	.....	.....
.....

7229

Water Usage	\$
Building Sewer .....	.....
Water Service .....	.....
Building Drain .....	.....
Fixtures .....	.....
Water Meter .....	.....
Total	30.- cash
Deposit to cover street repairs	Rec # 28837

..... **Permit Clerk**

A inch water service pipes laid in
 Curb box is located feet of feet of

 inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in
 feet of manhole

A inch storm sewer connection was made in
 feet of manhole

[illegible]

Installation Approved Application Approved 19

As Built **Water and Plumbing Inspector**

REMARKS	DISCREPANCY RECORD
.....
.....
.....

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 8344

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Replace roof shingles
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 8425 N. Port Washington Rd

Lot 21 Block

Subdivision 204 Crest Highlands

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Estimated cost Garage \$350

Building

Structure

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: I plan to remove the top layer of shingles

and replace them to remain compliant with code

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Arthur W. Morris Arch. or Contr. Same

Address 8425 N Port Washington Rd Address

City Fox Point City

State Zip State Zip

Phone 352-3543 Phone

Size of Structure (sq. ft.) Permit Fee 20.00 herewith tendered

Date Submitted 6-28-90 Signed Arthur W. Morris

Date Approved Date of Permit

Architect, Owner, Builder

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No. 12618 C
Received 1/14/92
Service
Rough-in
Final 1-10-92

APPLICATION FOR ELECTRICAL PERMIT

Date JAN. 13, 1992

License No. 27

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder _____ Owner KAREN MORRIS Occupant SAME
Job Address 8425 N. PORT WASHINGTON RD.

ESTIMATED COST OF JOB

- Buildings ☒ Residential
☐ Commercial
☐ Industrial
☐ Institutional
☐ New Construction
☐ Additional Rooms
☐ Remodeling
☐ New Occupancy

Where on Premises?

Describe Disp. & kit. plug

List Name of Installing Contractor

HEATING _____

AIR CONDITIONING _____

PLUMBING _____

Date of Inspection

Rough _____ Will Call ☐
Final _____ Will Call ☒
Service Approval Sent _____ ☐

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets	<u>2</u>	.35 ea		<u>70</u>
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit	<u>1</u>	3.00 ea	<u>3</u>	<u>00</u>
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxiliary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT	<u>1</u>	<u>30.00</u> ea	<u>30</u>	<u>00</u>
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

TOTAL FEES 30 00

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor Guardian Electric Supervising Electrician (Signature) Thomas A. Kao Date 1/13/92
Address W. 246 S. 7040 Maple Hill Dr. Telephone 662-5183 OR 881-1557
City Waukesha, WI 53186 State _____ Zip Code _____

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt # 28822

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

Per #9673
12/13/54.
No. 3486

APPLICATION FOR PERMIT

TO THE INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed.

1. Location 8425 N. Port Washington Rd.
(Give exact street and number. Do not give corner.)
2. Owner Mr. De Sota
3. Lot Block Subdivision
4. Building or structure Residence
5. Contractor GREEN TREE ELECTRIC License No.

	Number	Rate of Fees	Fees
6. Lighting Outlets		@	\$.10
7. Fixtures		"	.05
8. Range Circuit or Outlet		"	1.00
9. Range Connection		"	1.00
10. Water Heaters & other Heating Devices	1st Kilowatt	"	1.00
	Each Additional Kilowatt	"	2.00
11. Refrigerating Machines		"	2.00
12. Oil Burners and Stokers		"	1.00
13. Temporary Permits	L Inspection per Hour	"	2.00 2.00
14. Motors	H.P.-H.P.-H.P. per H.P.	"	.10
15. Studded Lights including their Individual Outlets		"	.05
16. Rectifiers and Transformers		"	1.00

Estimated cost \$ Total fees 2.00

Date of inspection { Wiring Dec. 13 1954 19 Note: Minimum Fee \$1.00
Fixtures 19

Enclosed please find \$

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Walter J. Kaiser
GREEN TREE ELECTRIC
Address 6933 N. Port Washington Rd.

Rec# 36713
9620 7/8/77

License No. 46

SHEET 1 — ELECTRICAL INSPECTOR'S COPY

Permit No. 9620 7/8/77

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date 7-7-76

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 8425 N. Port Washington
(Give exact street and number. Do not give corner)
Elec. Contractor D. C. Electric Address N 51 W 22351 Lisbon Rd
Builder George Heuser Address _____
Owner Peter Morris Address 8425 N. Port Washington

What is occupancy of the building NEW ☐ OLD ☒

1. Outlets	<u>24</u>	each	\$.20	<u>4</u>	<u>80</u>
2. Fixtures		each	.15		
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor		each lamp	.15		
4. Audible or visual devices		per device	.20		
5. Exhaust and ventilating fans and their control (below 1 H.P.)		each	.50		
6. Built-in electric heaters; bathroom, nursery, etc.	<u>5</u>	each	2.00	<u>10</u>	<u>00</u>
7. Garbage Disposal		each	2.00		
8. Dishwasher		each	2.00		
9. Clothes dryer		each	2.00		
10. Range or other receptacles over 150 volts		each	3.00		
11. Water heater		each	3.00		
12. Automatic heating equipment — gas, oil, coal		each	3.00		
13. Automatic water systems		each	2.00		
14. Refrigerating, air conditioning, etc., machines		each	2.00		
15. Strip lighting, plug in strip, trol-e-duct, etc.		per ft.	.05		
16. Dimmers or Time Clocks		each	1.00		
17. Vacuum and Inert-Gas tube sign		each transformer	1.00		
18. Incandescent Signs, studded lights		per socket	.10		
19. Arc and mercury lamps, spot and floodlights (mogul base)		each	.50		
20. Motors, each horsepower or fraction thereof each motor		H.P.	.20		
21. Generators, rectifiers, transformers, etc.		per K.W.	.15		
22. Feeders or subfeeders No. 3 B & S gauge or larger		each	5.00		
23. Raceways, wireways, busways, gutters		per ft.	.10		
24. Electric heating devices (other than those listed above)		per K.W.	.50		
25. Service equipment — 0-100 amps. new or overhauling	<u>1</u>	per disconnect	2.00	<u>2</u>	<u>00</u>
Service equipment — 100 amps. to 600 amps.		per disconnect	6.00		
Service equipment — over 600 amps.		per disconnect	8.00		
26. Temporary service, etc. (3 month period)			3.00		
27. Motion picture, stereopticon and x-ray machines, etc.		each	3.00		
28. Re-inspection after time limit on notice			2.00		
29. Minimum fee for any permit requiring separate inspection		MINIMUM FEE	5.00		
30. Double fee shall be charged for any work started before filing an application for a permit		FEES DOUBLE			

TOTAL FEES

16 80

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS:

Date for Inspection	Date Approved	Signature
	<u>8-19-77</u>	<u>Donald E. Greaney</u> (Supervising Electrician)
Roughing in		Address <u>N 51 W 22351 Lisbon Rd</u>
Temp		City <u>Sussex</u>
Final	<u>1-5-78</u>	Zone <u>53089</u> Telephone <u>246-3819</u>

Make check Payable to Treasurer, Village of Fox Point.

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

9/30/57
ch.
No. 1565-13324

APPLICATION FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner ☐

Fuel: ☒ Gas ☐ Oil ☐ Coal ☐ : Other _____

Type: Mueller Clemential
Forced Air, Radiant, Baseboard, Etc. (gravity)

Desc. of Heating Plant _____

Vented to _____

Fuel Tank ☐ : _____ Size _____ Location _____

Summer Air Conditioner ☐

Size _____ (Ton, H.P.)

Coolant _____

Compressor Coolant: Air ☐ ; Water ☐ ;

If Water Cooled:

Source of Water _____

Discharged to _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinances No. 158, 229, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Martin Klesota

Address of Work 8425-N Port Washington Rd.

Lot _____ Block _____ Subdivision Foxcroft

Contractor Myself

Address _____ Phone FL 2-6186

Approved: [Signature]

Signed

Sept 30th 1957
Date

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Designation Garage
Duplex, Residence, Apartment, Store, Garage, Theatre

House Number 7219 N Santa Monica STREET

Lot _____ Block _____

Subdivision _____

District _____

Does contemplated building violate the Village zoning ordinance? _____

Height of Building _____ (stories or feet)

Width (parallel to highway) _____ (feet)

Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Porch _____ (feet)

Type of Construction: _____
Frame, Brick-tile

Exterior finish _____
Stucco-Siding-Brick Veneer

Height of front yard above street sidewalk grade _____

Number of rooms _____

Estimated cost { Garage 1800.00
Building _____

Is there a private garage? YES

Does the contemplated garage violate the Village zoning ordinance? No

Size 20 X 22 Number of stalls 2

Where situated Attached

General construction Frame
Frame—Brick—Stucco

Have you applied to the Industrial Commission for a permit under the State Building Code? _____

Has the permit been granted? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work hereby applied for.

Remarks: _____

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the residence is occupied.

Owner of land R. J. Fetherston Owner of Building Same

Permit fee \$ 4.22 herewith tendered.

Signed Robert J. Fetherston
George A. Baumann
Architect, Owner, Builder

Dated 10/29, 19 54

All abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112 or NR 141, Wis. Admin. Code, whichever is applicable. Also, see instructions on back.

(1) GENERAL INFORMATION		(2) FACILITY NAME	
Well/Drillhole/Borehole Location	County <u>Milwaukee</u>	Original Well Owner (If Known)	
1/4 of 1/4 of Sec. ; T. N. R. <input type="checkbox"/> E <input type="checkbox"/> W (If applicable)		Present Well Owner <u>Peter Morris</u>	
Gov't Lot Grid Number		Street or Route <u>8425 N. Port Washington Rd</u>	
Grid Location ft. <input type="checkbox"/> N. <input type="checkbox"/> S., ft. <input type="checkbox"/> E. <input type="checkbox"/> W.		City, State, Zip Code <u>Fox Point WI. 53217</u>	
Civil Town Name		Facility Well No. and/or Name (If Applicable)	WI Unique Well No.
Street Address of Well <u>Same</u>		Reason For Abandonment <u>not working</u>	
City, Village		Date of Abandonment <u>5-15-92</u>	

WELL/DRILLHOLE/BOREHOLE INFORMATION	
(3) Original Well/Drillhole/Borehole Construction Completed On (Date) _____ <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Monitoring Well <input checked="" type="checkbox"/> Water Well <input type="checkbox"/> Drillhole <input type="checkbox"/> Borehole </div> <div> Construction Report Available? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </div> </div> <div style="margin-top: 10px;"> Construction Type: <input checked="" type="checkbox"/> Drilled <input type="checkbox"/> Driven (Sandpoint) <input type="checkbox"/> Dug <input type="checkbox"/> Other (Specify) _____ </div> <div style="margin-top: 10px;"> Formation Type: <input type="checkbox"/> Unconsolidated Formation <input type="checkbox"/> Bedrock </div> <div style="margin-top: 10px;"> Total Well Depth (ft.) <u>93</u> Casing Diameter (ins.) <u>6</u> (From ground surface) </div> <div style="margin-top: 10px;"> Casing Depth (ft.) _____ </div> <div style="margin-top: 10px;"> Was Well Annular Space Grouted? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown If Yes, To What Depth? _____ Feet </div>	(4) Depth to Water (Feet) <u>70</u> <div style="display: flex; justify-content: space-between;"> <div> Pump & Piping Removed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable Liner(s) Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable Screen Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable Casing Left in Place? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, Explain _____ </div> <div> Was Casing Cut Off Below Surface? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Did Sealing Material Rise to Surface? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Did Material Settle After 24 Hours? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, Was Hole Retopped? <input type="checkbox"/> Yes <input type="checkbox"/> No </div> </div> <div style="margin-top: 10px;"> (5) Required Method of Placing Sealing Material <input checked="" type="checkbox"/> Conductor Pipe-Gravity <input type="checkbox"/> Conductor Pipe-Pumped <input type="checkbox"/> Dump Bailer <input type="checkbox"/> Other (Explain) _____ </div> <div style="margin-top: 10px;"> (6) Sealing Materials For monitoring wells and monitoring well boreholes only <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Neat Cement Grout <input type="checkbox"/> Sand-Cement (Concrete) Grout <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Clay-Sand Slurry <input type="checkbox"/> Bentonite-Sand Slurry <input type="checkbox"/> Chipped Bentonite </div> <div> <input type="checkbox"/> Bentonite Pellets <input type="checkbox"/> Granular Bentonite <input type="checkbox"/> Bentonite - Cement Grout </div> </div> </div>

(7) Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
Concrete	Surface	93	3/4 yrd	6 bag

(8) Comments: _____

(9) Name of Person or Firm Doing Sealing Work	
Signature of Person Doing Work <u>James Hogan</u>	Date Signed <u>5-15-92</u>
Street or Route <u>W185 N7681 Hwy 175</u>	Telephone Number <u>() 251-1903</u>
City, State, Zip Code <u>German town WI. 53022</u>	

(10) FOR DNR OR COUNTY USE ONLY	
Date Received/Inspected	District/County
Reviewer/Inspector	
Follow-up Necessary	

DNR/COUNTY Village

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 7892

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure SUN DECK
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 8425 N. PORT WASHINGTON RD

Lot 21 Block

Subdivision FOX CROFT HIGHLANDS

District

Does contemplated structure violate the Village zoning ordinance? NO

Height of Structure 38" - 42" high (WITH FENCE) (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure \$900

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans 3 in number, which I certify I will conform to in the work hereby applied for.

Remarks: STRUCTURE WILL BE BUILT OF TREATED FIR, WITH COATINGS
4 FEET BELOW GRADE

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure PETER MORRIS Arch. or Contr. SELF

Address 8425 N. PORT WASHINGTON RD Address

Phone 352-3543 Phone

Size of Structure 360 (sq. ft.) Permit Fee 20.00 herewith tendered

Date Submitted 6 Apr 88

Date Approved

Date of Permit

Signed Peter W Morris

Architect, Owner, Builder

2133

Dec #36459
5/19/77

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 6108

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence - 2nd floor dormer addition
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

House Number 8425 N. Pt. Washington Rd.

Lot 21 Block 1

Subdivision Foxcroft Highlands

District A-3 Residential

Does contemplated structure violate the Village zoning ordinance? No

Height of Structure 2 stories (stories or feet)

Width (parallel to highway) 30'6" (feet) Depth (perpendicular to highway) 18'9" (feet)

Distance: Street Line to Front Line of Structure 60 feet (feet)

Distance: Side Lot Line to Structure 25 feet

Type of Construction: Frame Exterior finish Siding
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building \$3,500

Structure

Is there a private garage? Yes

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction

Frame — Brick — Stucco — Etc.

Have you applied to the Industrial Commission for a permit under the State Building Code?

Has the permit been granted?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks:

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Peter W. Morris Arch. or Contr. Geo. Neusser

Address 8425 N. Pt. Wash. Rd. Address 8415 N. Pt. Wash. Rd.

Phone 352-3543 Phone 352-1435

Size of Structure (sq. ft.) Permit Fee \$16.00 herewith tendered

Date Submitted April 25, 1977

Date Approved MAY 6, 1977

Date of Permit 5-10-77

Signed Peter W. Morris

Architect, Owner, Builder

1024 Sq. Ft.

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

Rect 9463
10/19/54
Cash
No. 21331

APPLICATION FOR BUILDING PERMIT

Culvert
1120.

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Designation Move Building from 552 Good Hope Rd. to

House Number 8425 N. Port Washington Rd. STREET

Lot # 21 Block

Subdivision FOX CROFT HIGHLANDS

District

Does contemplated building violate the Village zoning ordinance? No

Height of Building 19 FEET (stories or feet)

Width (parallel to highway) 63.3 (feet)

Depth (perpendicular to highway) 32 (feet)

Distance: Street Line to Front Line of Porch 60' (feet)

Type of Construction: FRAME

Frame, Brick-tile

Exterior finish SIDING

Stucco-Siding-Brick Veneer

Height of front yard above street sidewalk grade Mean of Adjacent Residences

Number of rooms

Estimated cost { Garage } \$15000
Building }

Is there a private garage? YES - 2 CAR

Does the contemplated garage violate the Village zoning ordinance?

Size 20.2 x 20.2 Number of stalls 2

Where situated

General construction FRAME

Frame-Brick-Stucco

Have you applied to the Industrial Commission for a permit under the State Building Code?

Has the permit been granted?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks: Building may not be moved until certificate of insurance has been received.

Basement - 32 x 32 x 7.5

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the residence is occupied.

Owner of land MARTIN O. DESOTA Owner of Building SAME

Permit fee \$ 9.22 (Basement) 5.00 (House) herewith tendered

Signed Martin O. Desota

Dated, Oct 14th, 1954

Architect, Owner, Builder

7719 N 35th St.



PEBBLE GRAY

MARVIN
Windows and Doors

Timber Bark

Autumn Tan

Navajo Beige

SEWER AND PLUMBING DEPARTMENT

Permit No. 12871 Application No. 12917 Fox Point, WI 11/12/13 20__

Permission is hereby given to do the necessary plumbing work on the premises of
described as follows:

Lot

Block

Subdivision

Located at 8425 N Port Washington RD

The above named is permitted to employ DAVID KNIGHT

License No. 230579 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in
_____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bids	<u>2</u>	Water Heaters	<u>1</u>	Water Closets	<u>2</u>
Bath Tubs	<u>1</u>	Wash Machine Waste		Showers	<u>1</u>
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Floor Waste Grinders	<u>1</u>
Drinking Fountains		Dishwashers	<u>1</u>	Sprinkling Systems	
Sinks	<u>1</u>	Wash Basins	<u>2</u>	Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ _____

Building Drain \$ _____

Rec'd for permit \$ 96⁰⁰

Plumbing Inspector

Receipt #
45471

SEWER AND PLUMBING DEPARTMENT

Permit No. 10704 Application No. 10750 Fox Point, WI 10/12/05 20

Permission is hereby given to do the necessary plumbing work on the premises of
described as follows:

Lot Block Subdivision

Located at 8425 N Port Washington Rd

The above named is permitted to employ Therese Johnson Plumbing

License No. MP 221375 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in
_____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters	<u>(1)</u>	Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ 50⁰⁰

Building Drain \$ _____

Rec'd for Permit \$ Receipt #

[Signature]
Plumbing Inspector

15197

SEWER AND PLUMBING DEPARTMENT

Permit No. 6989 Application No. 7172 Fox Point, WI 1-17-92 19__

Permission is hereby given to do the necessary plumbing work on the premises of
Kane M. Harris described as follows:

Lot

Block

Subdivision

Located at 8425 N Port Washington Rd

The above named is permitted to employ Rand Muthers

License No. MI 5235 for the purpose of laying a _____ inch

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in
_____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	①
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ 30.00

Building Drain \$ _____

Rec'd for Permit \$ _____

Plumbing Inspector [Signature]

SEWER AND PLUMBING DEPARTMENT

Permit No. 3995 Application No. 3801 Fox Point, Wis. July 6, 1964

Permission is hereby given to do the necessary draining and plumbing work on the premises of Martin De Seta described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

being No. 8425 on the West side of N. Port Washington St.

The above named is permitted to employ Adam J. Wojcik a Licensed

Plumber for the purpose of laying a inch Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in

feet of

Or of laying a inch Storm Sewer Drain pipe

Fixtures with drain or water connection

	No.		No.		No.
Bath tubs	<u>1</u>	Sump Pump		Wash Basins	<u>2</u>
Laundry tubs		Sinks		Water Closets	<u>2</u>
Basement drains		Showers		Hot Water Heater	
Dishwasher				Garbage Disposal	

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 56 of the Village of Fox Point and amendments.

Received for Permit \$ 5.00 Dollars

Received for Fixtures \$ Dollars

Carl H. Blank
PLUMBING INSPECTOR

PERMIT CLERK

WATER PERMIT

Permit No. 2077 Application No. 3381 Fox Point, Wis. July 10, 1961

Permission is hereby given to do the work necessary to supply with water the premises of

Martin De la Torre described as follows:

Description	Lot	Blk.
-------------	-----	------

being No. 8425 on the West side of N. Port Wash. Pl.
The above named is permitted to employ Backus Plumbing a Licensed
Plumber for the purpose of laying a 1 inch Copper service pipe from Main to
Curb: a 1 inch Cop service pipe from curb to building at Same

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance
No. 262 of the Village of Fox Point and amendments.

Received for Permit \$ 3.00 Dollars

Received for Fixtures \$ Dollars

Returns must be made on all work done.

WATER INSPECTOR

R. J. Amwig
PERMIT CLERK

SEWER AND PLUMBING DEPARTMENT

5116

Permit No. Application No. 5282 Fox Point, Wis. August 2, 1977

Permission is hereby given to do the necessary draining and plumbing work on the premises of Peter M. Morris described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

being No. 8425 on the West side of N. Port Washington Rd.

The above named is permitted to employ James Rinker a Licensed

Plumber for the purpose of laying a inch Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in

feet of

Or of laying a inch Storm Sewer Drain pipe

Fixtures with drain or water connection

	No.		No.		No.
Bath tubs	1	Sump Pump		Wash Basins	
Laundry tubs		Sinks		Water Closets	1
Basement drains		Showers		Hot Water Heater	
Dishwasher				Garbage Disposal	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Received for Permit \$ 46.00 Dollars

Received for Fixtures \$ Dollars

PLUMBING INSPECTOR

OUTLET LOCATION LETTER

Mr. D.C. Electric Date July 11, 1977
 In regard to your inquiry of 7/8/77 for (O.H.) (U.G.) service to the
 (industrial) (commercial) (residential) premise of Peter Morris
 located at 8425 N Port Washington
 in the C/T/V of Fox Point we require service termination as follows:

☐ New ☐ Temporary ☒ Rewired ☐ Additional ☐ Power
 Single Phase 100 amperes, 120/240 volts, meters (out) (in) side
 and the termination located S. Wall SW cor -
Maintain 3' From Window

☒ at 12 foot minimum above (ground) (final grade)
☐ per Electric Service and Metering Manual Sheets &
 Service (drop) (lateral) size #4 AL 741 length 25' tension

Maximum Single-phase Available Short Circuit Current at the service termination:

☒ 10,000 amperes ☐ 22,000 amperes _____ amperes

☐ New ☐ Temporary ☐ Rewired ☐ Additional
 Three Phase _____ amperes (240) (120/208) (480) _____ volts, meters (out) (in) side
 and the termination located _____

☐ at _____ foot minimum above (ground) (final grade).
☐ per Electric Service and Metering Manual Sheets &
 Service (drop) (lateral) size _____ length _____ tension

Maximum Three-phase Available Short Circuit Current at the service termination:

☐ 22,000 amperes ☐ 25,000 amperes _____ amperes

☐ Power Service installation requires authorization by the Customer Services Department.

☐ Underground Service installation requires authorization by the Customer Services Department.
 The above information (is not) (is) contingent upon right-of-way and:

- ☒ You may proceed with completion of the wiring.
- ☐ You are advised NOT to proceed with completion of the wiring until notified that the contingency is removed or the installation is authorized by the Customer Services Department.
- ☐ On _____ you were advised not to proceed with the completion of the wiring contingent upon right-of-way or Customer Service approval. These contingencies have now been disposed of and you may proceed.
- ☐ The location of service drops supports for buildings covered with aluminum, stucco, asbestos, or other similar siding material shall be marked. Mounting bolts are provided by the Company and shall be installed by the owner, or by his contractor for him, on brick and stone buildings.

Prepared by RO Vaz
N Metro Division.

Phone 251-7000

Distribution: Original Customer/Electrician
 White Service Order File
 Blue Customer — (to be included with application for permit when required)
 Canary Customer Services

SEWER AND PLUMBING DEPARTMENT

Permit No. 1952 Application No. 1959 Fox Point, Wis. Nov. 15, 1954

Permission is hereby given to do the necessary draining and plumbing work on the premises of Martin Desota described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

Fox Croft Highlands 21

being No. 8125 on the West side of N. Port Wash. Rd.

The above named is permitted to employ John Buck a Licensed Plumber for the purpose of laying a _____ inch _____ Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in Septic tank feet 375 feet of leepage Bed

Or of laying a _____ inch _____ Storm Sewer Drain pipe

Fixtures with drain or water connection

No.	No.	No.
Bath tubs	Urinals	Wash Basins
Laundry tubs <u>1</u>	Sinks	Water Closets
Basement drains <u>1</u>	Showers	Hot Water Heater <u>1</u>
<u>2 Sump</u>	<u>Septic tank</u>	Garbage Disposal

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 56 of the Village of Fox Point and amendments.

375 ft trench 21.25
Received for Permit \$ 5.00 Dollars
Septic tank 2.00
Received for Fixtures \$ 2.00 Dollars
water heater

24-25
PLUMBING INSPECTOR
R. Janwig
PERMIT CLERK

SEWER AND PLUMBING DEPARTMENT

Permit No. 2494 Application No. 2517 Fox Point, Wis. Oct 31 1956

Permission is hereby given to do the necessary draining and plumbing work on the premises of Martin J. J. J. J. described as follows:

Description	Lot	Blk.	Subd.
-------------	-----	------	-------

Zapcroft Highlands 21

being No. 242.5 on the West side of N. Port Washington Rd.

The above named is permitted to employ Ray A. P. J. J. a Licensed

Plumber for the purpose of laying a 6 inch Clay Sanitary Sewer drain pipe

from Main to Curb to Lot line to Premises. Connection to be made in manhole in

feet of front of lot

Or of laying a inch Storm Sewer Drain pipe

Fixtures with drain or water connection

No.	No.	No.
Bath tubs	Sump Pump	Wash Basins
Laundry tubs	Sinks	Water Closets
Basement drains	Showers	Hot Water Heater
Dishwasher		Garbage Disposal

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 56 of the Village of Fox Point and amendments.

100 ft trench Received for Permit \$ 97.50 Dollars

Received for Fixtures \$ _____ Dollars

Carl H. J. J.
PLUMBING INSPECTOR

PERMIT CLERK

Village of Fox Point, Milwaukee County, Wisconsin

Inspector of Buildings Department

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises 8425 N. Port Washington Road. Fox Point

Owner Martin De Sota.

This is to Certify, that electrical work done under Permit No. 3486 issued by this

DEPARTMENT to Green Tree Electric is in conformity with
the provisions of the Building Code of the Village of Fox Point, Milwaukee County, Wis.

Install: Service

☐

Meters

☐

Remarks _____

Dated December 13, 1954

Electrical Inspector, Village of Fox Point.

Village of Fox Point, Milwaukee County, Wisconsin

Inspector of Buildings Department

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises 8425 N. Port Washington Road Fox Point

Owner Peter Morris

This is to Certify, that electrical work done under Permit No. 9020 issued by this

DEPARTMENT to D. C. Electric Co. is in conformity with the provisions of the Electrical Code of the Village of Fox Point, Milwaukee County, Wisconsin.

INSTALL:

☐ Service to Temporary Pole ☐ Temporary Service and Meter to Building ☐ Permanent Service to Building ☐ Hot Water Heater Service and Meter ☐ Other

Remarks: INSTALL NEW INCREASED SERVICE TO EXISTING RESIDENCE.

NOTE LOCATION OF SERVICE SECOND FLOOR WINDOW ON SOUTH ELEVATION.

Dated January 6, 19 78

Ed H. Plank
Electrical Inspector, Village of Fox Point.

VILLAGE OF FOX POINT
BUILDING PERMIT AND
ENGINEERING CHECKLIST



TO BE COMPLETED BY APPLICANT:

Property Owner JEFF TREGO Date 12/2/2013
Residential/Commercial
Address 2425 N. FORT WASHINGTON RD. Phone (44) 254-0498
Designated Agent N/A Address _____
City FOX POINT State WI Zip 53217
Telephone 442 Proposed Activity NEW WINDOWS & SIDING BACK ^{OF} HOUSE

PLEASE NOTE: This checklist is intended to provide an applicant with a general introduction to and basic understanding of the information that must be provided in order to obtain a building permit. *The applicant and/or property owner shall be responsible for reviewing all applicable code requirements and designing their project in compliance with those requirements.*

Using the boxes below, please check all activities that apply to your proposed project:

☐ **Residential Building Permit**

- | | |
|--|--|
| <input type="checkbox"/> Interior Remodeling (kitchen, bathrooms, rec rooms, etc.) | <input type="checkbox"/> Decks |
| <input checked="" type="checkbox"/> Exterior Remodeling (Windows, siding, etc.) | <input type="checkbox"/> Pools |
| <input type="checkbox"/> House Addition | <input type="checkbox"/> Accessory Buildings |
| <input type="checkbox"/> Detached Garage | <input type="checkbox"/> Fences |
| <input type="checkbox"/> New House Construction | <input type="checkbox"/> Roofing |
| <input type="checkbox"/> Razing Permit | <input type="checkbox"/> Occupancy Permit |
| | <input type="checkbox"/> Satellite Dishes |
| | <input checked="" type="checkbox"/> Building Board Approvals (Exterior Alterations only) |

☐ **Commercial Building Permit**

- ☐ Village Board Approval
- ☐ State Approved Plans
- ☐ Building Board Approvals (Exterior Alterations only)
- ☐ Occupancy Permit

☐ **Institutional Building Permit**

- ☐ Conditional Use Permit
- ☐ State Approved Plans
- ☐ Building Board Approvals (Exterior Alterations only)
- ☐ Occupancy Permit

☐ **Other Permits**

- | | |
|--|--|
| <input type="checkbox"/> Electrical Permit | <input type="checkbox"/> Erosion Control – All Non-New Home Activities |
| <input type="checkbox"/> Plumbing Permit | <input type="checkbox"/> Construction on the Lake Bluff or Ravine |
| <input type="checkbox"/> HVAC Permit | <input type="checkbox"/> Urban Forestry – Tree Removal, Cutting on the Bluff, etc. |
| <input type="checkbox"/> Lighting Plan | <input type="checkbox"/> Storm Water Permit |
| <input type="checkbox"/> Signs | <input type="checkbox"/> Underground Storage Tank (UST) Removal |
| <input type="checkbox"/> Grading or Drainage Permit | |
| <input type="checkbox"/> Fill Permit | |
| <input type="checkbox"/> Erosion Control – New Home Construction | |

Forms will be provided to each Applicant depending on the boxes checked above. These are described in more detail as follows:

1. Chapter 30 – Building and Razing Permits. The Village's building permit application form must be filled-out completely in order to obtain a permit for building and/or razing (**a separate permit is required for each**). In addition, the Wisconsin Uniform Building Permit application form must be completed and submitted to the Village for the construction of any new single family dwelling. Contractors applying for permits to do work on one or two family dwellings shall include a copy of their Dwelling Contractor Certification and Dwelling Contractor Qualifier Certification unless the homeowner has signed the Department of Commerce's waiver form as required by Wisconsin State Statutes.
2. Chapter 5 – Streets and Sidewalks. For activities being performed in the Village's Right of Way (ROW), a separate permit may need to be obtained and a deposit must be paid. **Applicants are reminded that it is their responsibility to contact the Village after all work in the ROW is completed. Deposits will only be returned upon satisfactorily restoring the Village ROW.**
3. Section 30.05 – Grading and Drainage Plans. A drainage plan shall be submitted under any of the following conditions: (1) the construction of a new principal building, (2) land disturbing activity requiring a permit that affects a surface area of 4,000 sq/ft or more, (3) land disturbing activity (other than tree removal) on the face of a ravine or lake bluff, (4) all circumstances where a fill permit is required pursuant to Chapter 18 of the Village Code, and (5) when required by the Village in particular cases due to particular concerns arising in the application.
4. Chapter 18 – Fill Permit. No person, firm or institution, public or private, shall transport to, dump, or place upon lands, public or private, solid fill in the Village of Fox Point without first obtaining a permit.
5. Erosion Control Plans. An erosion control plan for new home construction must be submitted pursuant to the Department of Safety and Professional Services regulations SPS 321.125 and 321.126. For all other activities that are not new home construction, Section 38 of the Village Code may apply to your activity. In particular, should your activity fall into one of the categories identified in Section 38.07(a), then you are required to submit an erosion control plan that complies with Section 38.08.
6. Chapter 17 – Construction on a Lake Bluff or Ravine. No building or structure shall be erected on or over the slope of a ravine or lake bluff or at the foot of a ravine or lake bluff unless it meets one of the exceptions listed in the Village's Bluff Ordinance. Section 17.11 also restricts any cutting on the slope of the lake bluff or the slope of the bank of a ravine.
7. Chapter 39 – Prohibition on Clear Cutting Lots. A permit is required whenever a landowner, tenant, or person in possession or control of a lot or property within the Village of Fox Point proposes to cut back more than 50% of the healthy trees upon any such lot or property.
8. Chapter 37 – Storm Water Permit. A storm water permit must be obtained when a property development disturbs one (1) or more acres or if the development increases impervious surface by one-half acre or more unless exempt under Chapter 37 of the Village Code.

VILLAGE OF FOX POINT
INSPECTION DEPARTMENT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217
(414) 351-8900

APPLICATION FOR INSPECTION AND
ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date 5/12/05
Building Address 8425 N. Port Washington Rd.
Owner of Building Harland & Margaret Cook
Owner's Address if different than above _____

Owner's Telephone (414) 247-8801
Owner's forwarding address 8273 N. Graylog Lane
Proposed Occupant's Name (if known) Mr. & Mrs. Hart
Proposed Occupant's Address _____
Proposed Occupant's Telephone () _____

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner X Proposed Occupant _____ Other _____

[Signature]
Applicant's Signature

8425 N. Port Washington Rd.
Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

For Office Use Only:

No. 5473 Date Received 5/12/05

Amount \$100.00 Receipt 13425

Inspection Made 5/23/05

Signature [Signature]

① Please open machine and
do following work

② Run Rth, Bery, and, RPL

③ HHS B1

Postnet® Fax Note	7671
To	Piera
Co./Dept.	
Phone #	
Fax #	

INSPECTION DEPARTMENT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217

(414) 351-8900

4-23-99

**APPLICATION FOR INSPECTION AND
ISSUANCE OF CERTIFICATE OF COMPLIANCE**

(TOW)

Date 4-23-99
Building Address 8425 N. Port Washington
Owner of Building Cecilia Kim
Owner's Address if different than above Cecilia
Building Owner's Telephone (414) 906-1221
Proposed Occupant's Name (if known) _____
Proposed Occupant's Address _____
Proposed Occupant's Telephone () _____

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner _____ Proposed Occupant _____ Other ☒
Piera 2510 E Capitol Federation
Applicant's Signature Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

For Office Use Only:	
No. <u>4403</u>	Date Received <u>4/23/99</u>
Amount <u>\$100.00</u>	Receipt <u>26117</u>
Inspection made <u>4/23/99</u>	
Signature <u>[Signature]</u>	

C:\WP51\COMP.FRM

① ~~Remedy for~~ ① ~~supply~~
② ~~12.17~~
③ ~~for 1711~~
④ ~~crans~~

② ~~for lessons~~
③ ~~for~~

④ ~~has sup motor~~

⑤ ~~open kitchen for home~~

⑥ ~~well~~

⑦ ~~to~~

⑧ ~~outside of kitchen to car~~
⑨ ~~to~~
⑩ ~~to~~

⑪ ~~has then shown~~

⑫ ~~to~~

⑬ ~~fluorescent light above K.S. counter. Also above hood &~~
~~door to kitchen for bathroom / kitchen (kitchen)~~

⑭ ~~to garage~~

No.

Application and Record

Drainlayer

Address.

Tel. No..

Owner:

Address

Date 2/2/20

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned here-

by make application to do the work of plumbing - drainlaying - consisting of

laying a _____ inch _____
 drain pipe from Main to Lot line
 to Building

laying a _____ inch _____
 service pipe from Main to Lot line
 to Building

at

Fox Point, Wis.

Address at which work is to be done

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	3995
Water	—
Street	—
Meter	—
Water Usage	—

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 2702 Adam J. Nogues Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.		No.	
Hose Bibs		Dishwasher	
Bath Tubs	1	Wash Basins	2
Sump Pump		Water Closets	2
Laundry Tubs		Showers	
Sanitary Bubblers		Basement Drains	
Sinks		Garbage Disposal	
Water Heater		Sprinkling System	
Wash Mach. Waste.....			
.....			

FEES

Water Usage	\$
Sanitary Sewer Connection	—
Water Connection	—
Water Heater	—
Fixtures	5.00
Water Meter	—
Total	<u>5.00</u>
Deposit to cover street repairs	—

Permit Clerk

A _____ inch _____ water service pipe was laid in _____

Curb box is located.....feet.....of.....feet.....of.....

_____ inch _____ Water Meter No. _____ Date Installed _____

A inch sanitary sewer connection was made in

.....feet.....of manhole

A inch storm sewer connection was made in

.....feet.....of manhole

[illegible]

Installation Approved 11-4-64

Application Approved 7-6-67, 1967

As Built

Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

RECEIVED
PAYMENT
JUL 6 1964

~~VILLAGE OF FOX POINT~~
By Lucy Czerwan, Treas.

Rec. # 20316

Owner Martin Beretta

Plumber Edmund J. Tuzinski

Permit No. 3801

Street 8425 N. Port Washington Rd.

Plumber R. L. Buckles No. 2138

3381

Drainlayer
Address 310 W. Bradley Rd.
Tel. No. F1-2-2050

Application and Record

Owner Martin De Lata
Address 8425 N. Port Washington Rd.
Date 7-10, 1961

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing-drainlaying - consisting of

laying a _____ inch _____ laying a 1 inch copper
drain pipe from Main to Lot line service pipe from Main to Lot line
to Building to Building

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	
Water	<u>2077</u>
Street	
Meter	<u>2068</u>
Water Usage	

8425 N. Port Washington at
310 W. Bradley Rd.

Fox Point, Wis.

Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 3156 R. L. Buckles Plumber
C. E. Rabath

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	Dishwasher
Bath Tubs	Wash Basins
Sump Pump	Water Closets
Laundry Tubs	Showers
Sanitary Bubblers	Basement Drains
Sinks	Garbage Disposal
Water Heater	Sprinkling System

FEES

Water Usage	\$
Sanitary Sewer Connection	
Water Connection	<u>3.00</u>
Water Heater	
Fixtures	
Water Meter	<u>5.00</u>
Total	<u>8.00</u>

Deposit to cover street repairs
R. Janwig Permit Clerk

A _____ inch _____ water service pipe was laid in _____
Curb box is located _____ feet _____ of _____ feet _____ of _____

3/4 A. inch Badger Water Meter No. 7474776 Date Installed 8/21/61

A _____ inch _____ sanitary sewer connection was made in _____
_____ feet _____ of manhole _____

A _____ inch _____ storm sewer connection was made in _____
_____ feet _____ of manhole _____

Outside Sewer ^{WATER}	Report	Inside Sewer	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
<u>7-19-61</u>	<u>O.K.</u>					<u>8-17-61</u>	<u>O.K.</u>

Installation Approved 8-17-61 Application Approved 7-10-61, 19____
As Built _____ Earl H. Plank Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

W. F. Lee # 17014
W. U. Lee # 4758
7/11/61

2138

Owner Martin De Sota

Plumber Bocher Pely.

Permit No. 3381

Street 8425N Port Washington Rd.

Address.

Tel. No.s

No

Application and Record

Owner**Address**

Date _____

To the ~~VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT~~: The undersigned hereby application to do the work of plumbing consisting of

laying a _____ inch _____	laying a _____ inch _____
building sewer from Main to Lot line	water service from Main to Lot line
to Building	to Building

at

8425 N. Fort Wash. Pl.
Address at which work is to be done

Fox Point, Wis.

Address at which work is to be done

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	5116
Water	_____
Street	_____
Meter	_____
Water Usage	_____

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP-3543

Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS

FEES

No.		No.	
Hose Bibs		Dishwashers.....	
Bath Tubs	/	Wash Basins	/
Sump Pumps.....		Water Closets	/
Laundry Trays.....		Showers	
Drinking Fountains.....		Floor Drains.....	
Sinks		Food Waste Grinders	
Water Heaters.....		Sprinkling System	
Wash Mach. Wastes.....		Urinals.....	
Bidets.....			
Catch Basins.....			

Water Usage	\$
Building Sewer .....	.....
Water Service .....	.....
Building Drain .....	.....
Fixtures	6.00
Water Meter .....	.....
Total	76.00
Deposit to cover street repairs .....	.....

Ed. H. Park

Permit Clerk

A.....inch.....water service pipe was laid in

Curb box is located _____ feet _____ of _____ feet _____ of _____

_____ inch _____ Water Meter No. _____ Date Installed _____

A _____ inch _____ sanitary sewer connection was made in _____

feet of manhole

A.....inch.....storm sewer connection was made in

feet _____ of manhole _____

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
				8-10-77	O.K.	1-5-78	O.K.

Installation Approved 1-5-78

Application Approved 9-2-77

As Built

Water and Plumbing Inspector

[illegible]

Owner Peter Morris

Address 8425 N. Port Wash. Pl.

Permit No. 5282

Plumber Norman Binder

Plumber John W. Beck No. 1951
Drainlayer
Address 1329 S 70th St
West Allis, 14, Wis.
Application and Record
Owner Martin Desata
Address 8425 Port Rd
Nov 15, 1954
Fox Point, Wis.,

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of Plumbing & Septic tank consisting of

laying a 4 inch 4 inch
drain pipe from Main to Curb service pipe from Main to Curb;
to lot line to premises at a 4 inch service pipe from curb to
No. Septic tank building at
Remarks: Remarks:

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	<u>1952</u>
Water	<u>—</u>
Street	<u>—</u>
Meter	<u>—</u>

the following premises owned by Martin Desata 8425 N. Port Wash Rd.
Name of owner Address

Description	Lot	Block
<u>Fox Craft Highlands</u>	<u>21</u>	

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 2106 John W. Beck Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS			
No.		No.	
Bath Tubs		Wash Basins	
Ice Box		Water Closets	
Laundry Tubs	<u>1</u>	Showers	
Sanitary Bubblers		Basement Drains	<u>1</u>
Sinks		<u>Gas Heater</u>	<u>1</u>
<u>Septic tank</u>	<u>1</u>	<u>Pump</u>	<u>2</u>

FEES	
Storm Sewer Connection	\$ <u>—</u>
Sanitary Sewer Connection	<u>21.25</u>
Water Connection <u>Septic</u>	<u>1.00</u>
Fixtures	<u>2.00</u>
Water-Meter <u>Septic tank</u>	<u>5.00</u>
Total	<u>\$29.25</u>
Deposit to cover street repairs	
<u>L. Jansvry</u>	Permit Clerk

A 4 inch water service pipe was laid in — feet of — of —
Curb box is located — feet of — of —

A 4 inch sanitary sewer connection was made in 37.5 ft of Felling Bed
feet of manhole Septic TANK - 750 GALS

A 4 inch storm sewer connection was made in — feet of manhole —

Outside Drain	House Drain	Report	Inspection Soil and Under Floor	Report	Final Inspection	Return	Water
<u>Dec-3-54</u>	<u>12-30-54</u>	<u>O.K.</u>	<u>12-30-54</u>	<u>O.K.</u>	<u>12-30-54</u>	<u>O.K.</u>	On
							On
							Off
							Off

Installation Approved 12-30-54 Application Approved Nov-15-54
Sheelst Greeneth Water and Plumbing Inspector

REMARKS
No Meter
37.5 ft. Leachage Bed
50 45.00
325 16.25
\$21.25

COMPLAINT RECORD
RECEIVED
PAYMENT
NOV 15 1954
VILLAGE OF FOX POINT
By E. G. TESCHAN
W. V. Rec # 3131-CK

Owner Martin De Loto

Plumber John W. Beck

Permit No. 1956

Street 842⁵ 11th St Wash Rd

2133

Plumber Roy A. Rumpf No. 2517
Drainlayer.....
Address 3406 W. Villard Ave

Application and Record

Owner Martine De Sota
Address 8425 N° Port R.D.
Fox Point, Wis., Oct 30, 1956

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of sewer lateral consisting of

laying a 6" inch clay drain pipe from Main to Curb
to lot line to premises at
No. 8425 N° Port R.D.
Remarks:.....
Remarks:.....

PERMITS ISSUED

Kind	No.
Sewer and Plumbing	<u>2494</u>
Water	—
Street	—
Meter	—

the following premises owned by Martine De Sota 8425 N° PORT R.D.
Name of owner Address

Description	Lot	Block
<u>FOY CROFT HIGHLANDS</u>	<u>21</u>	

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 2584 Roy A. Rumpf Plumber

FEES

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Bath Tubs.....	Wash Basins.....
Sump Pump.....	Water Closets.....
Laundry Tubs.....	Showers.....
Sanitary Bubblers.....	Basement Drains.....
Sinks.....	Garbage Disposal.....
Water Heater.....	

Settling Trench \$7.50
Sanitary Sewer Connection.....
Water Connection.....
Water Heater.....
Fixtures.....
Water Meter.....
Total 7.50
Deposit to cover street repairs Pointe County
Earl H. Plunk Permit Clerk

A..... inch..... water service pipe was laid in.....
Curb box is located..... feet..... of..... feet..... of.....

A..... 6 inch clay sanitary sewer connection was made in manhole in front of lot
..... feet..... of manhole.....

A..... inch..... storm sewer connection was made in.....
..... feet..... of manhole.....

Outside Drain	House Drain	Report	Inspection Soil and Under Floor	Report	Final Inspection	Return	Water
<u>10-7-56</u>					<u>12-5-56</u>		On.....
<u>10-8-56</u>	<u>10-9-56 OK C.P.</u>						On.....
							Off.....
							Off.....

Installation Approved 12-5-56 Application Approved 10-30-56, 19.....
As Built..... Earl H. Plunk
Water and Plumbing Inspector

REMARKS

COMPLAINT RECORD

No Meter
100 ft trench
50 5.00
50 @ .05 2.50
72.50
W.D. Rec # 3647
11/1/56

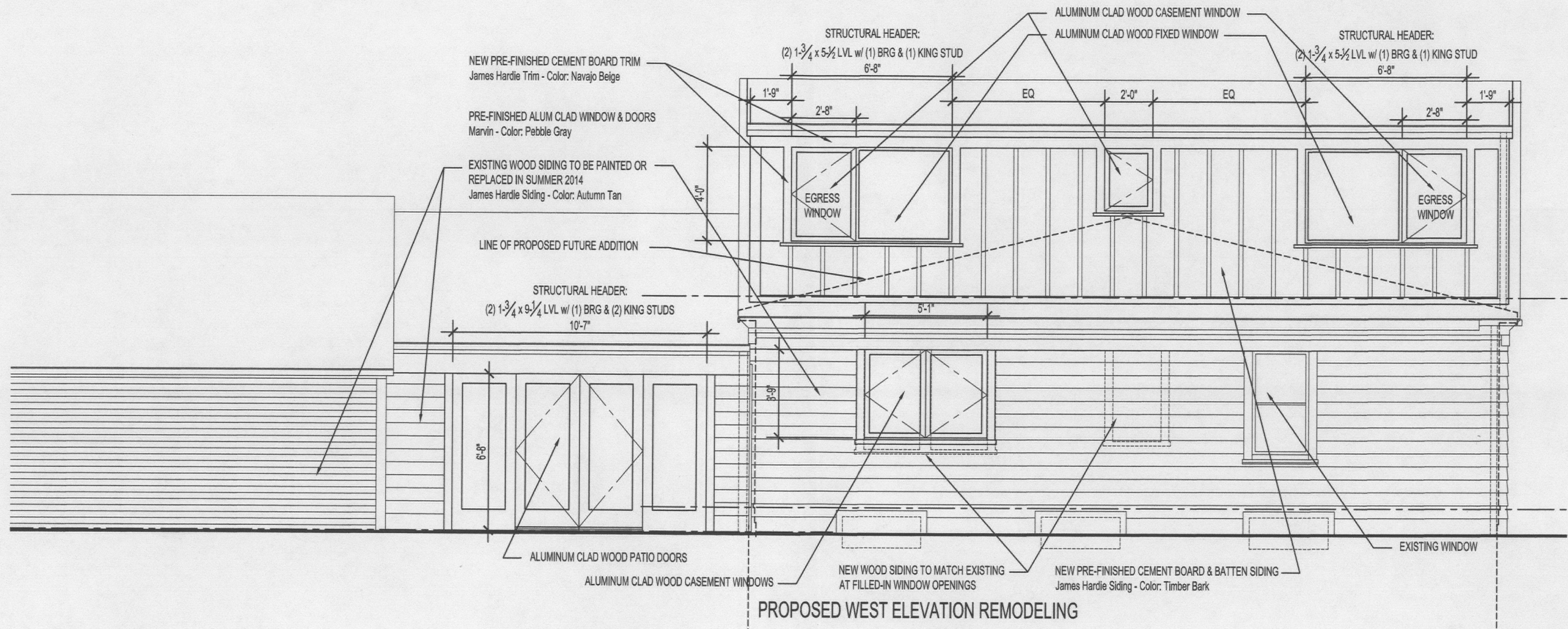
Owner Martin De Soto

Plumber Ray A. Rempert

Permit No. 2517

Street 8425 N. East Washington

2133



A400

West Exterior Elevation

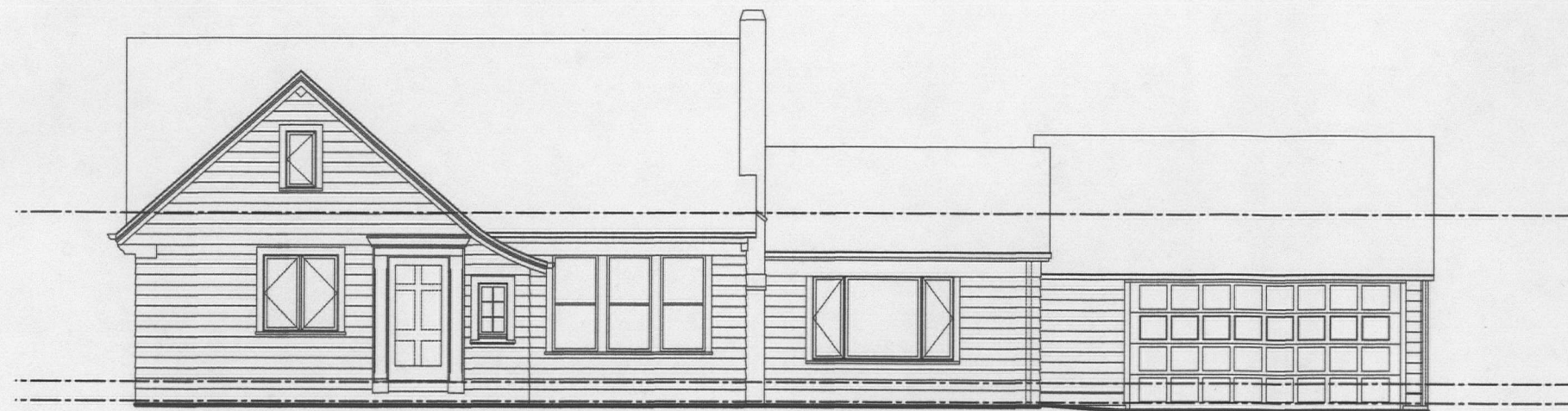
Tredo Residence Remodeling

Scale: 1/4" = 1' - 0"

December 16, 2013

8425 N. Port Washington Rd. Fox Point, WI 53217

KORB TREDO ARCHITECTS



A401X Exterior Elevation

EXISTING EAST ELEVATION - FOR REFERENCE ONLY

Scale: 1/8" = 1' - 0"

December 2, 2013



EXISTING WEST ELEVATION

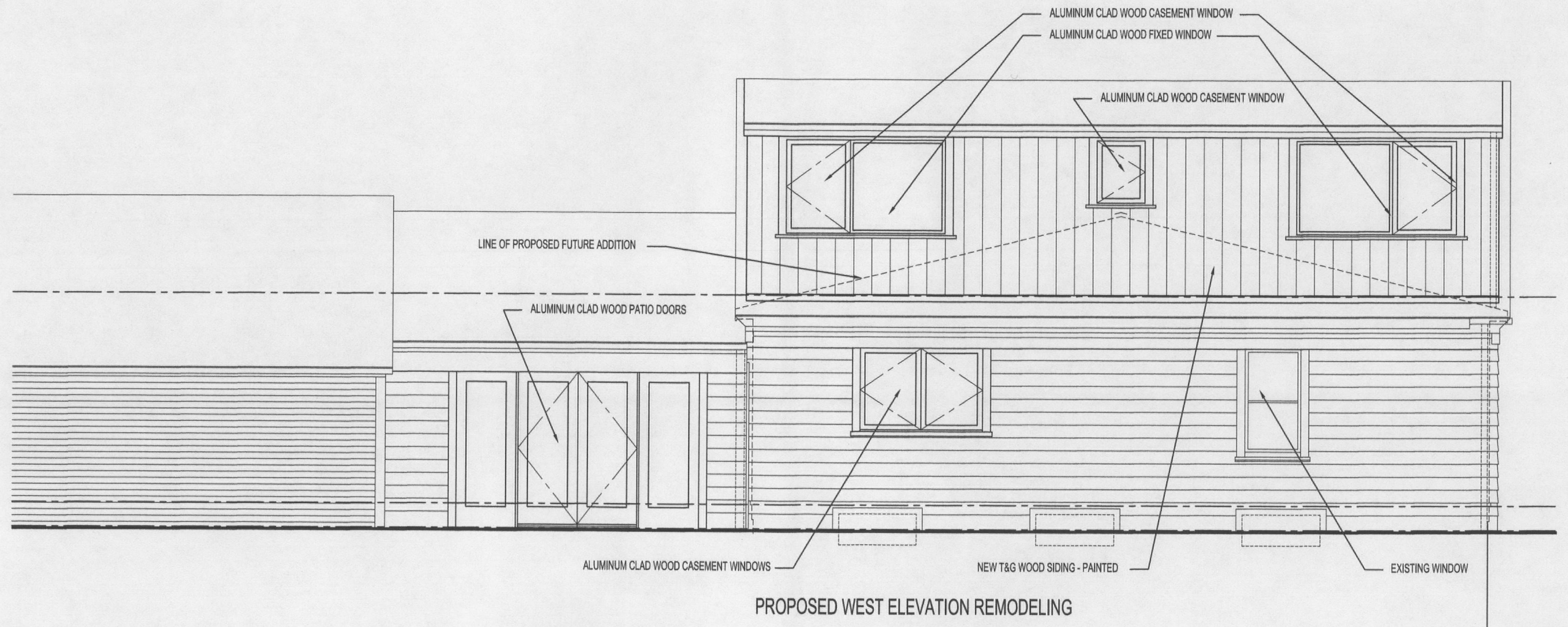
A400X Exterior Elevation

Tredo Residence Remodeling

Scale: 1/4" = 1' - 0"

December 2, 2013

8425 N. Port Washington Rd. Fox Point, WI 53217



A400

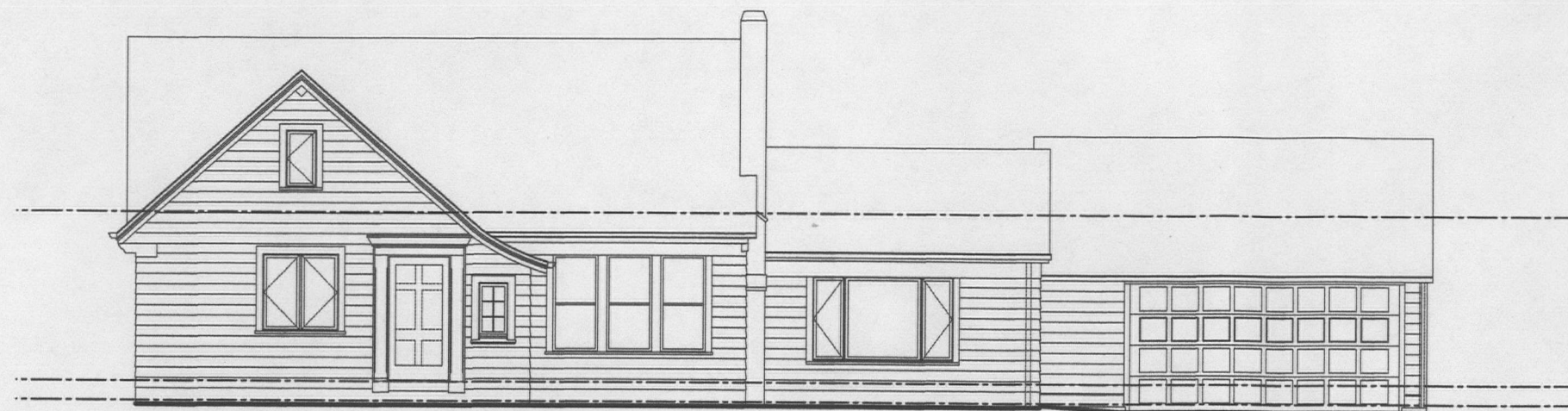
West Exterior Elevation

Tredo Residence Remodeling

Scale: 1/4" = 1' - 0"

December 2, 2013

8425 N. Port Washington Rd. Fox Point, WI 53217

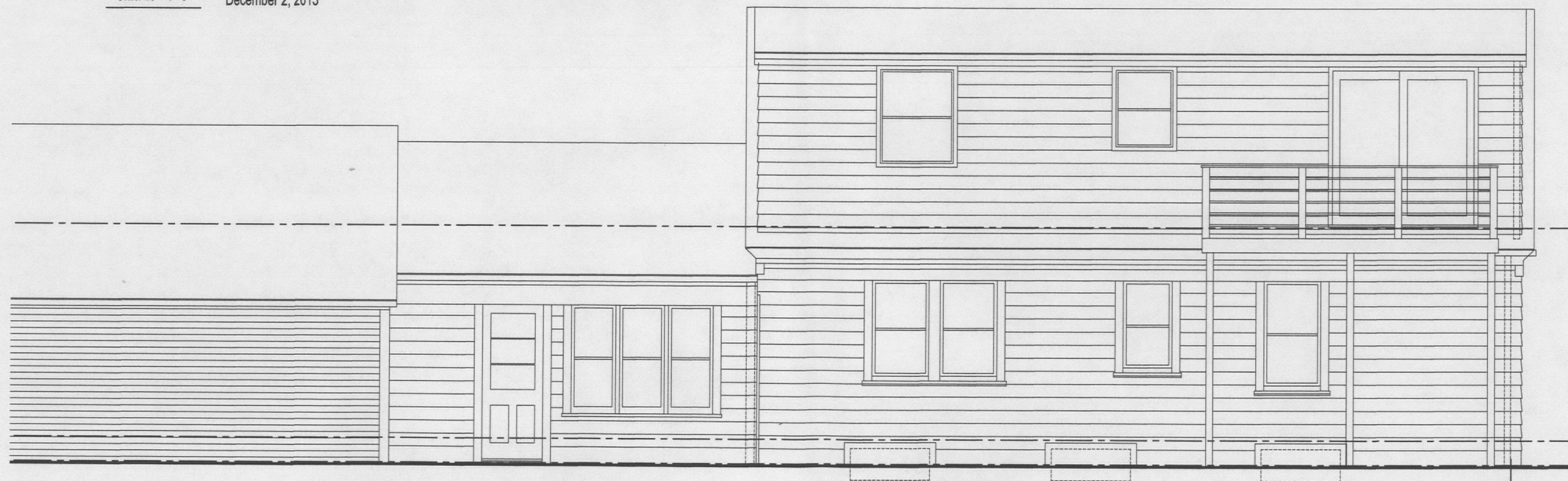


A401X Exterior Elevation

EXISTING EAST ELEVATION - FOR REFERENCE ONLY

Scale: 1/8" = 1' - 0"

December 2, 2013



EXISTING WEST ELEVATION

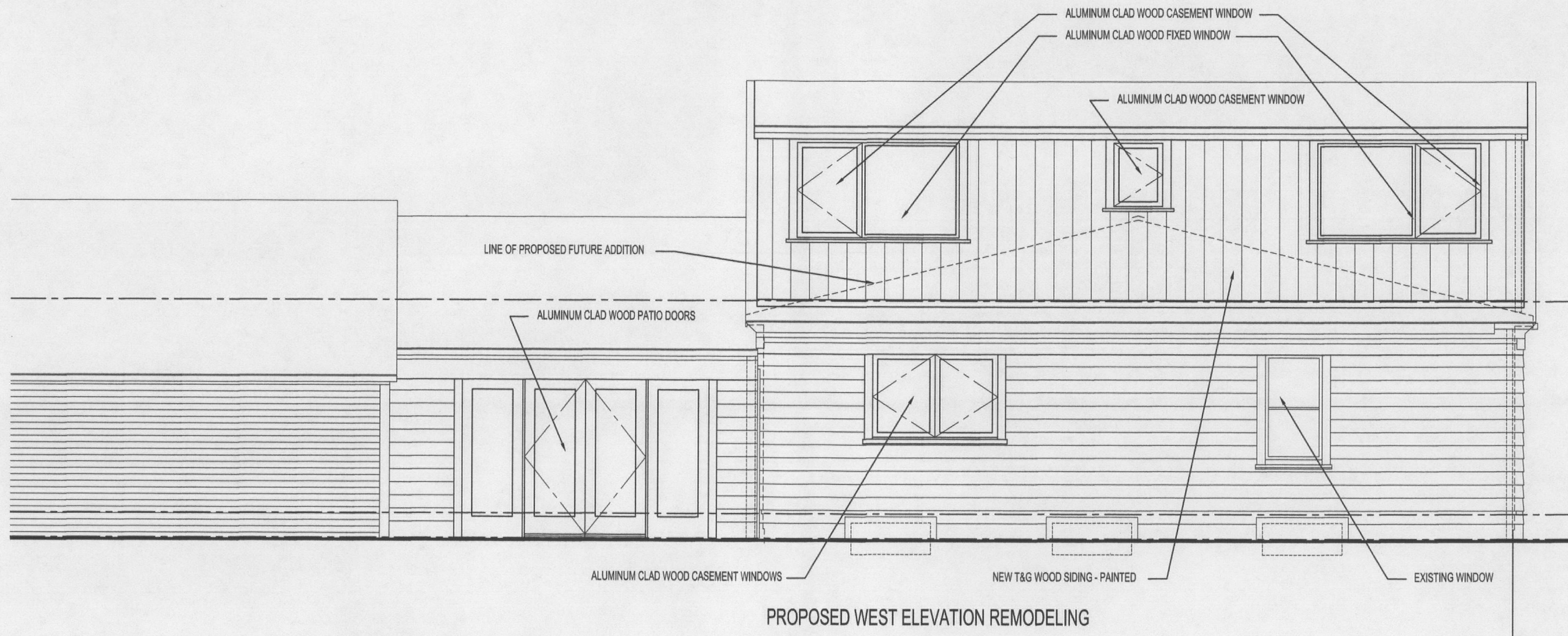
A400X Exterior Elevation

Tredo Residence Remodeling

Scale: 1/4" = 1' - 0"

December 2, 2013

8425 N. Port Washington Rd. Fox Point, WI 53217



A400

West Exterior Elevation

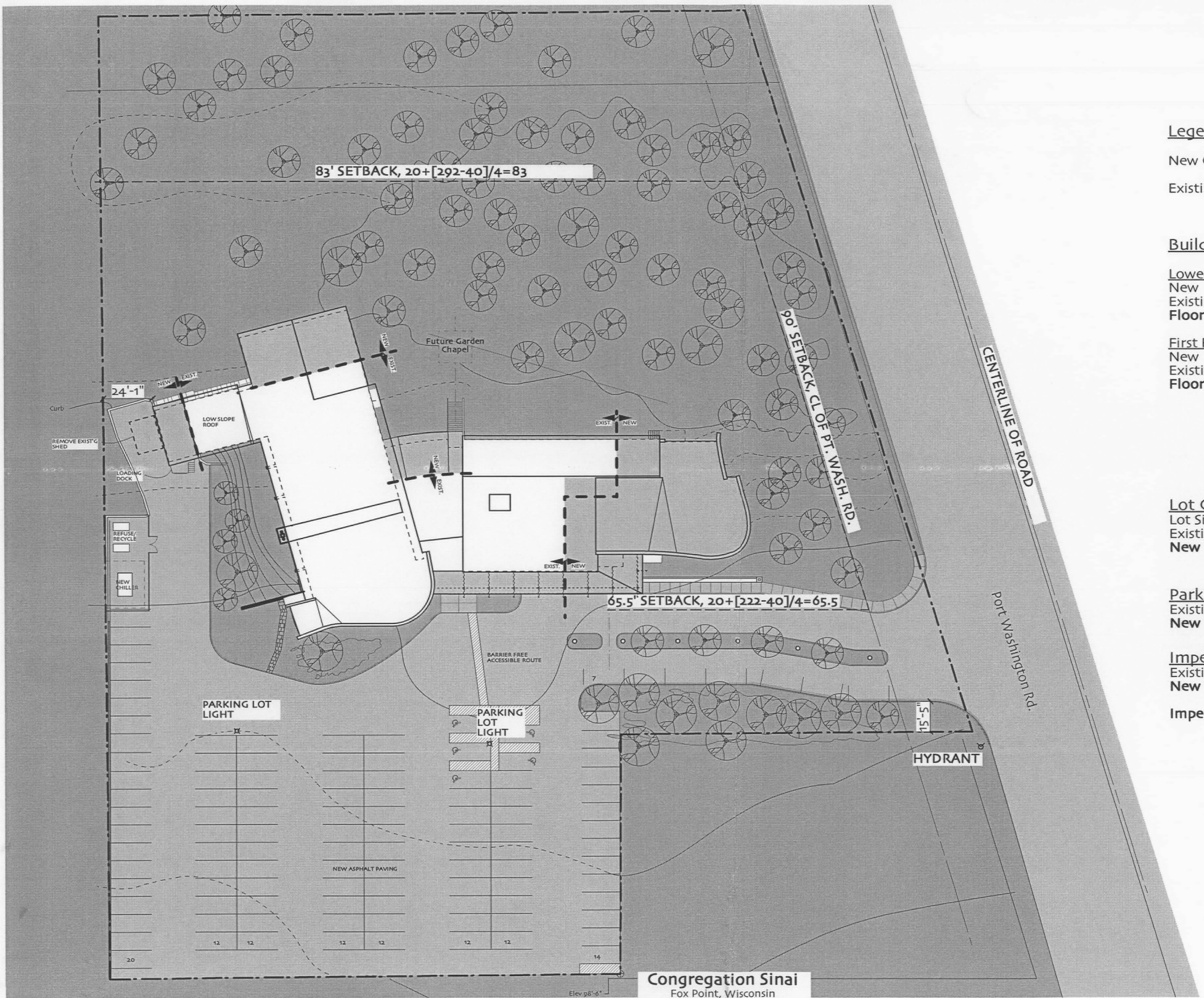
Tredo Residence Remodeling

Scale: 1/4" = 1' - 0"

December 2, 2013

8425 N. Port Washington Rd. Fox Point, WI 53217

8223 N Port Washington Rd



Legend:

- New Construction = [shaded box]
- Existing Construction = [unshaded box]

Building Area:

Lower Floor
New = 6,690 SF
Existing = 12,257 SF
Floor Total = 18,947 SF

First Floor
New = 6,920 SF
Existing = 13,772 SF
Floor Total = 20,692 SF

Building
New = 13,610 SF
Existing = 26,029 SF
Total = 39,639 SF

Lot Coverage

Lot Size = 164,988 SF
Existing = 13,772/164,988 = 8.3%
New Total = 20,692/164,988 = 13%

Parking

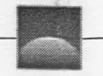
Existing = 99 spaces
New Total = 113 spaces

Impervious Surface

Existing = 65,655/164,988 = 40%
New Total = 76,132/164,988 = 46%

Impervious Surface added = 10,477 SF

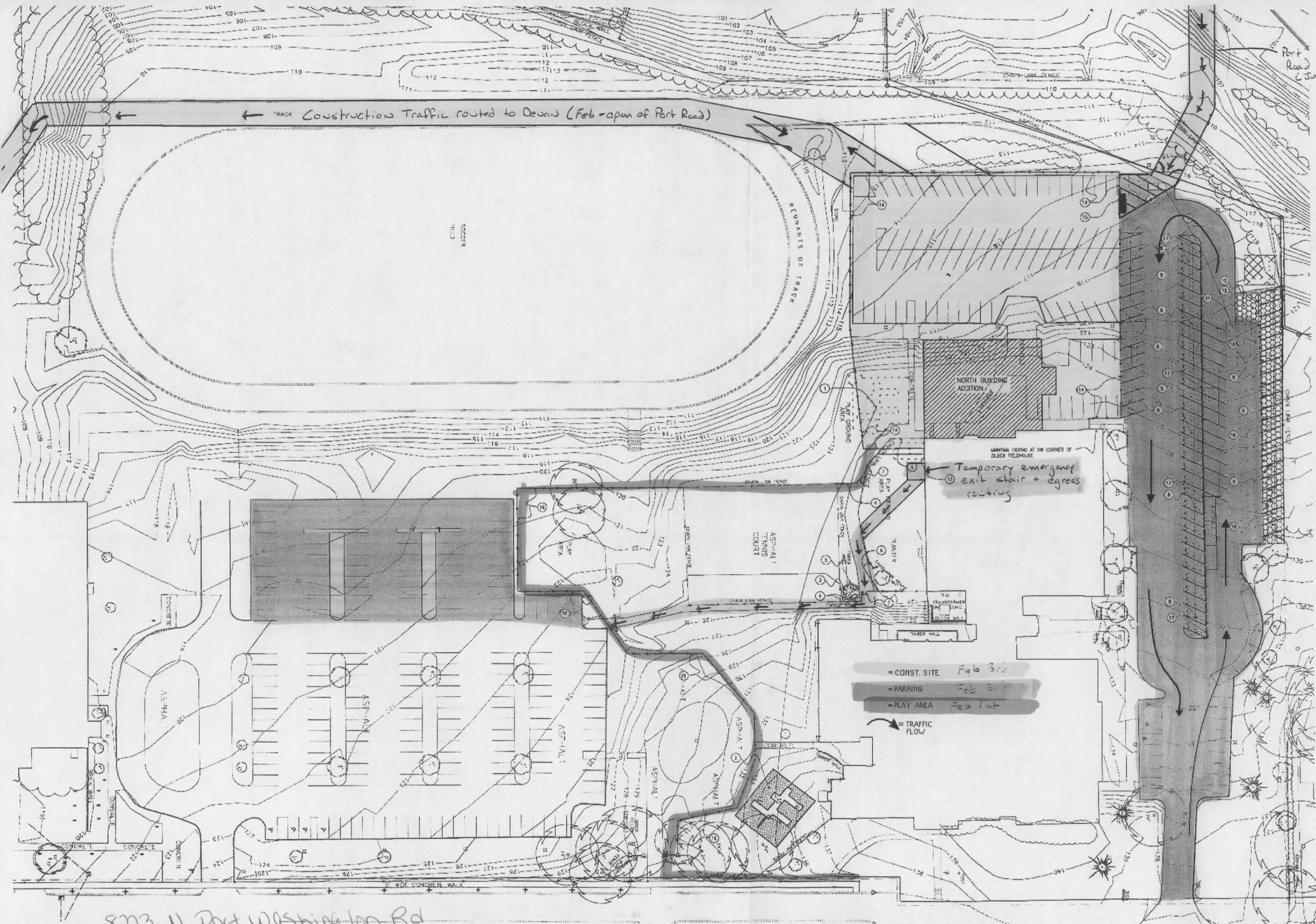
Congregation Sinai
Fox Point, Wisconsin



THE KUBALA WASHATKO ARCHITECTS, INC.
1 August 2005



Site Plan



PARKING COUNTS:

LOT	EXISTING	PROPOSED
NORTH	58	104 (+25)
WEST	96	9 (-11)
CENTRAL	154	82 (-24)
TOTAL	222	286 (+14)

GENERAL NOTE
 PER WISCONSIN LAWS, WHICH BED MUST BE 3" DEEP (MIN.) AND MUST BE WITHIN ALL CLIMBING PLAY EQUIPMENT, SWINGS AND SLIDES, AS WELL AS WITHIN A FIVE (5) FEET EXTENDING 4'-0" TURN, BEYOND ALL SUCH PLAY EQUIPMENT.

TEMPORARY PARKING / PLAYGROUND KEYED NOTES - DEMO & NEW WORK

1. RELOCATE EXISTING PLAY EQUIPMENT TO TEMPORARY MATCHED PLAY AREA.
2. BARK MULCH PLAY AREA WITH WOOD BORDER TO MATCH EXIST. BARK MULCH TO BE 9" DEEP (MIN.) - SEE GEN. NOTE ABOVE.
3. REMOVE SCULPTURE - STORE AS DIRECTED BY OWNER.
4. REMOVE BENCHES - STORE AS DIRECTED BY OWNER.
5. NEW SAND PLAY AREA WITH EXISTING WOOD BORDER. SAND TO BE 9" DEEP (MIN.)
6. RECONFIGURE EXISTING CHAINLINK FENCING TO ENCLOSE WALKWAY BETWEEN TODDLER PLAY AREA AND EXISTING TENNIS COURTS, AND TO ACCOMMODATE CONSTRUCTION AREA.
7. RELOCATE EXISTING FENCE GATES.
8. PAINT EXISTING STRIPING BLACK AS ROAD TO PROVIDE SPACE FOR TEMPORARY PARKING STALLS.
9. PROVIDE TEMPORARY PARKING LOT STRIPING IN CONFIGURATION SHOWN.
10. PROVIDE TEMPORARY GRAVEL PARKING SURFACE.
11. RELOCATE EXISTING DUMPSTER.
12. REMOVE CURB (PREVIOUSLY INDICATED IN 30 PACKAGE #2) TO ACCOMMODATE TEMP. PARKING.
13. REMOVE EXISTING SANDBOX TO ACCOMMODATE CONSTRUCTION AREA.
14. CONSTRUCTION AREA/STAGING AREA FENCING.
15. ACCESS GATE FOR CONSTRUCTION AREA.
16. NEW 5'-0" CHAINLINK PLAY AREA FENCE.
17. REMOVE/RELOCATE CONC. PARKING BUMPERS.
18. CUT BACK TREES AS NOTED FOR TEMP. PARKING.

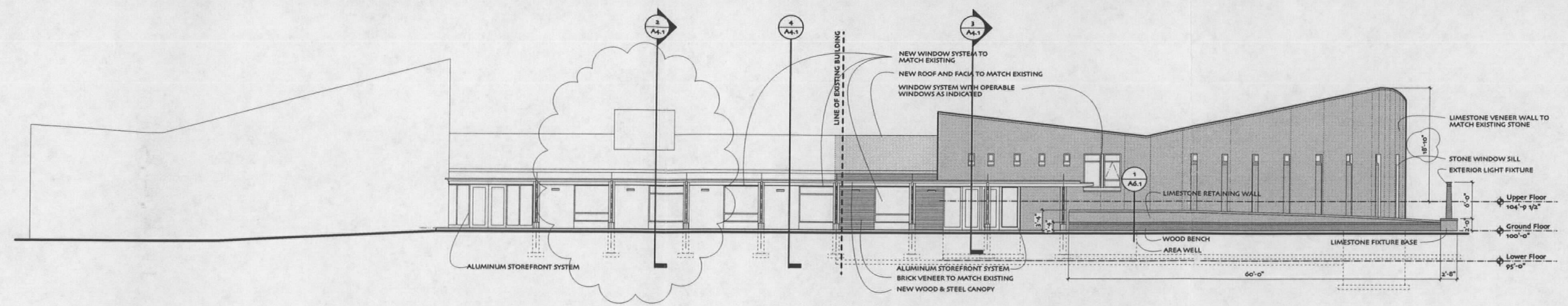
Possible Storage
 Pool location

Progress Drawings
 Not for Construction
 Drawing Date
 July 20, 2005

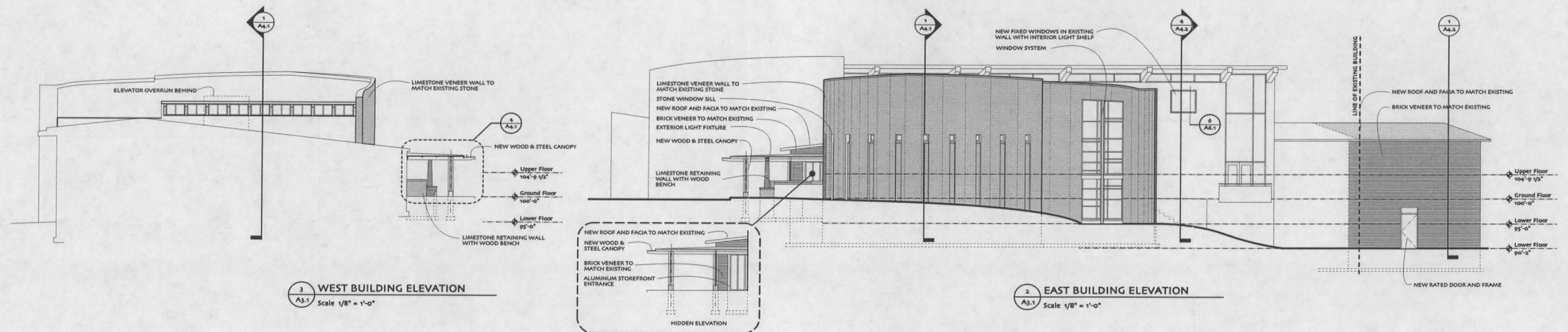
Karl Campus Project
 - Site
 Milwaukee
 Jewish Federation

Whitish Bay, WI
 Project No.
 203162.01

Sheet Title
 NORTH BUILDING
 CONST. - TEMPORARY
 PARKING & PLAY AREA

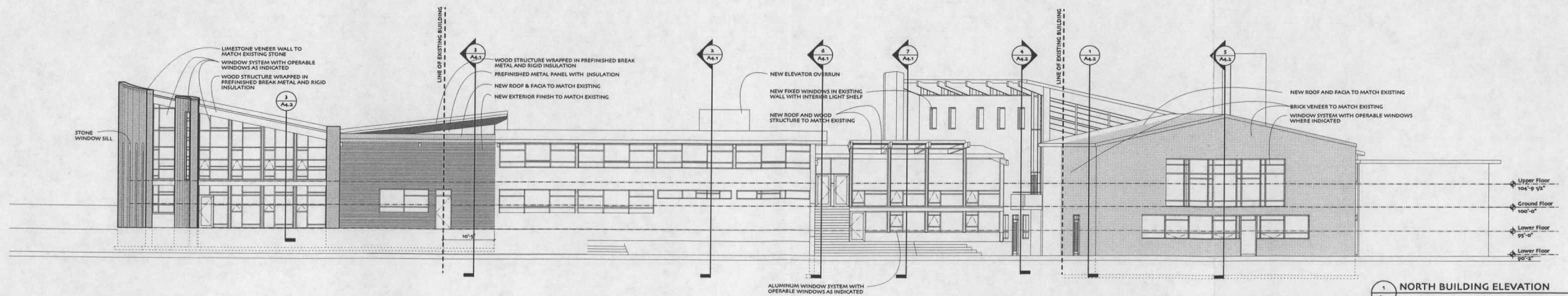


4 SOUTH CANOPY ELEVATION
A3.1 Scale 1/8" = 1'-0"



3 WEST BUILDING ELEVATION
A3.1 Scale 1/8" = 1'-0"

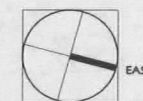
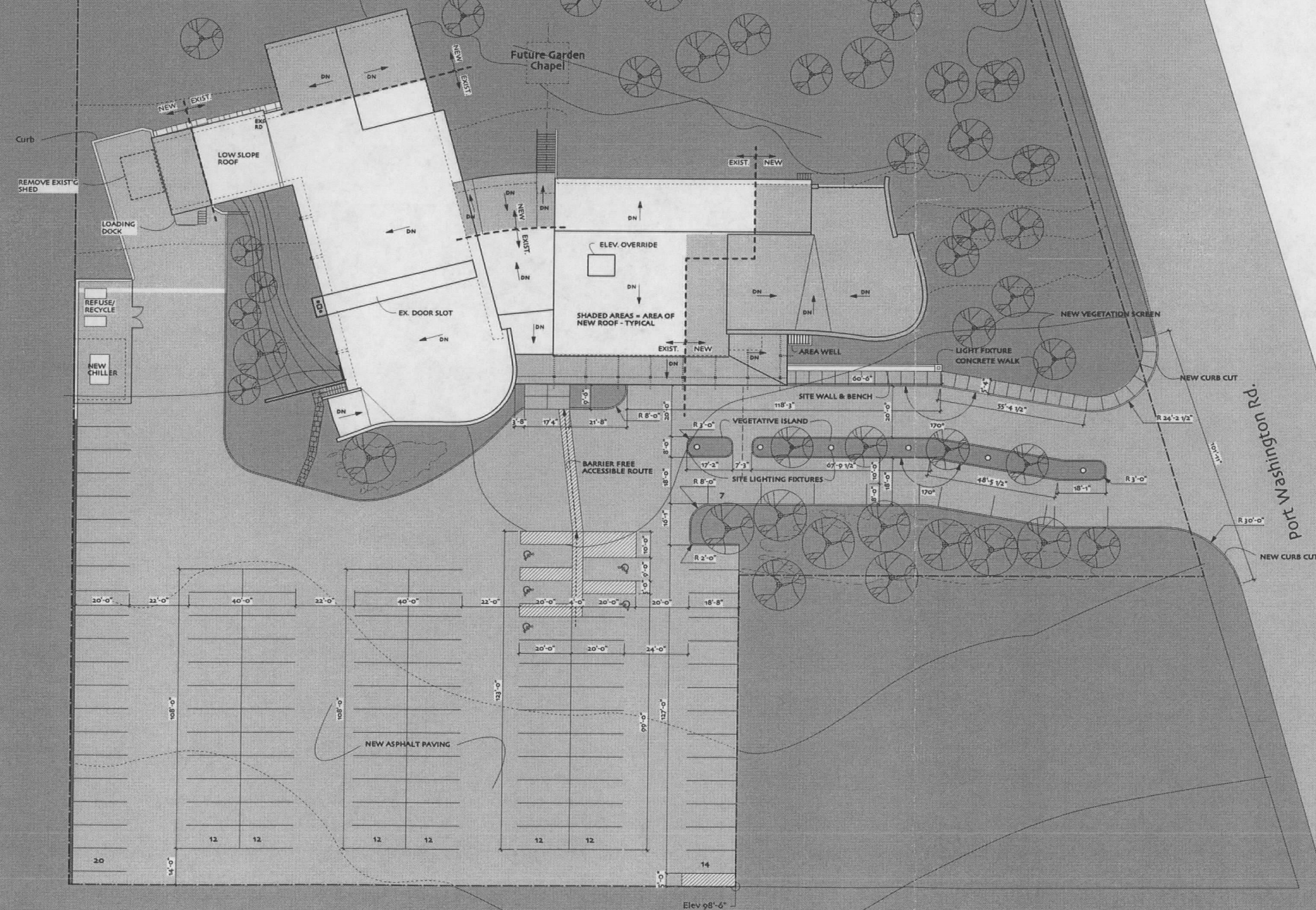
2 EAST BUILDING ELEVATION
A3.1 Scale 1/8" = 1'-0"

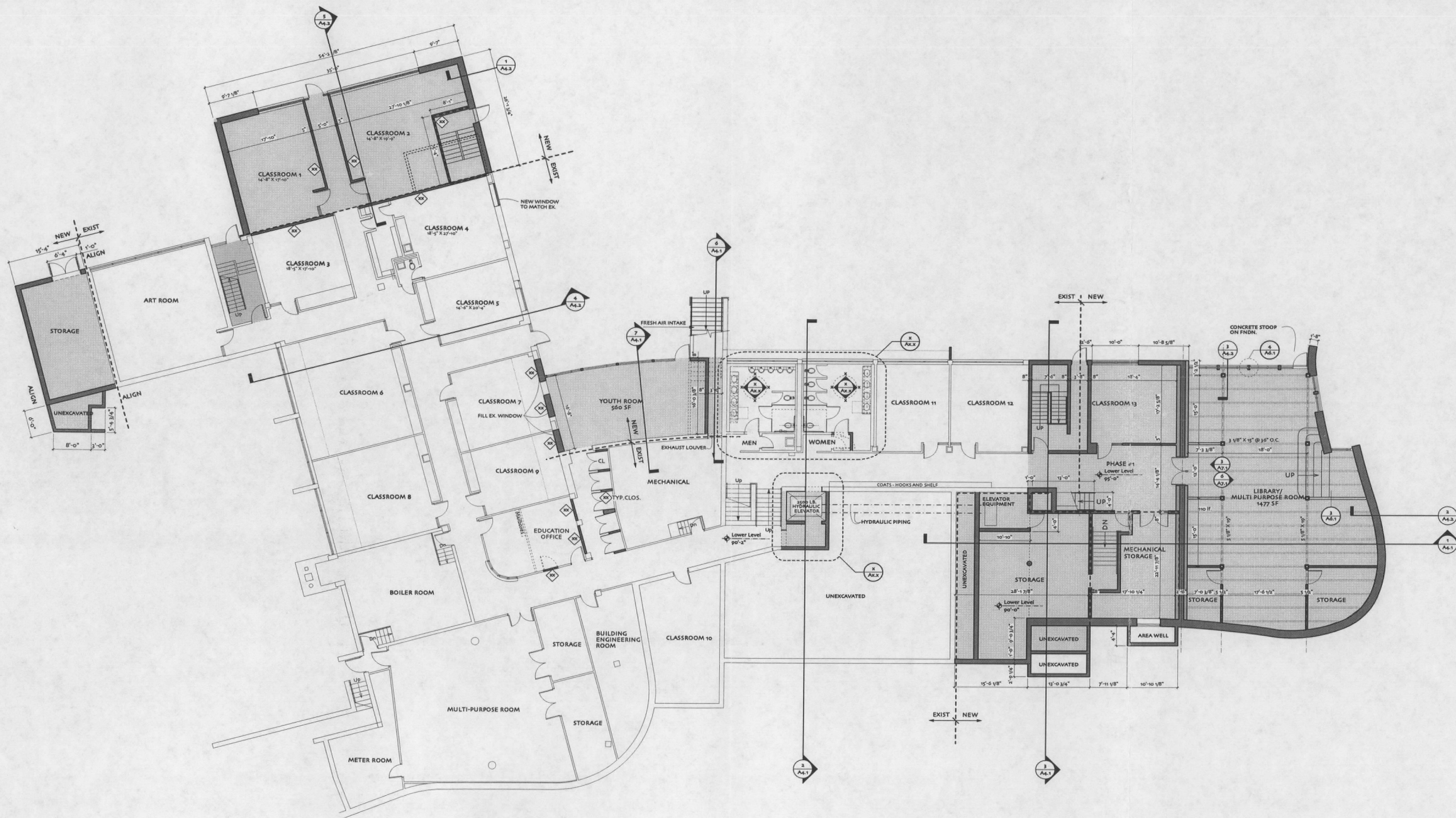


1 NORTH BUILDING ELEVATION
A3.1 Scale 1/8" = 1'-0"

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1 Lower Level Floor Plan
A1.1 Scale 1/8" = 1'-0"



Top Stone Full
Width of Wall

1'-6"

Stone to Match Buidling w/
Full Stone at Top

10'-0"

8'-4"

Line of Concrete Back-up

3'-4"

Congregation Sinai
8223 North Port Washington Road

2'-0"

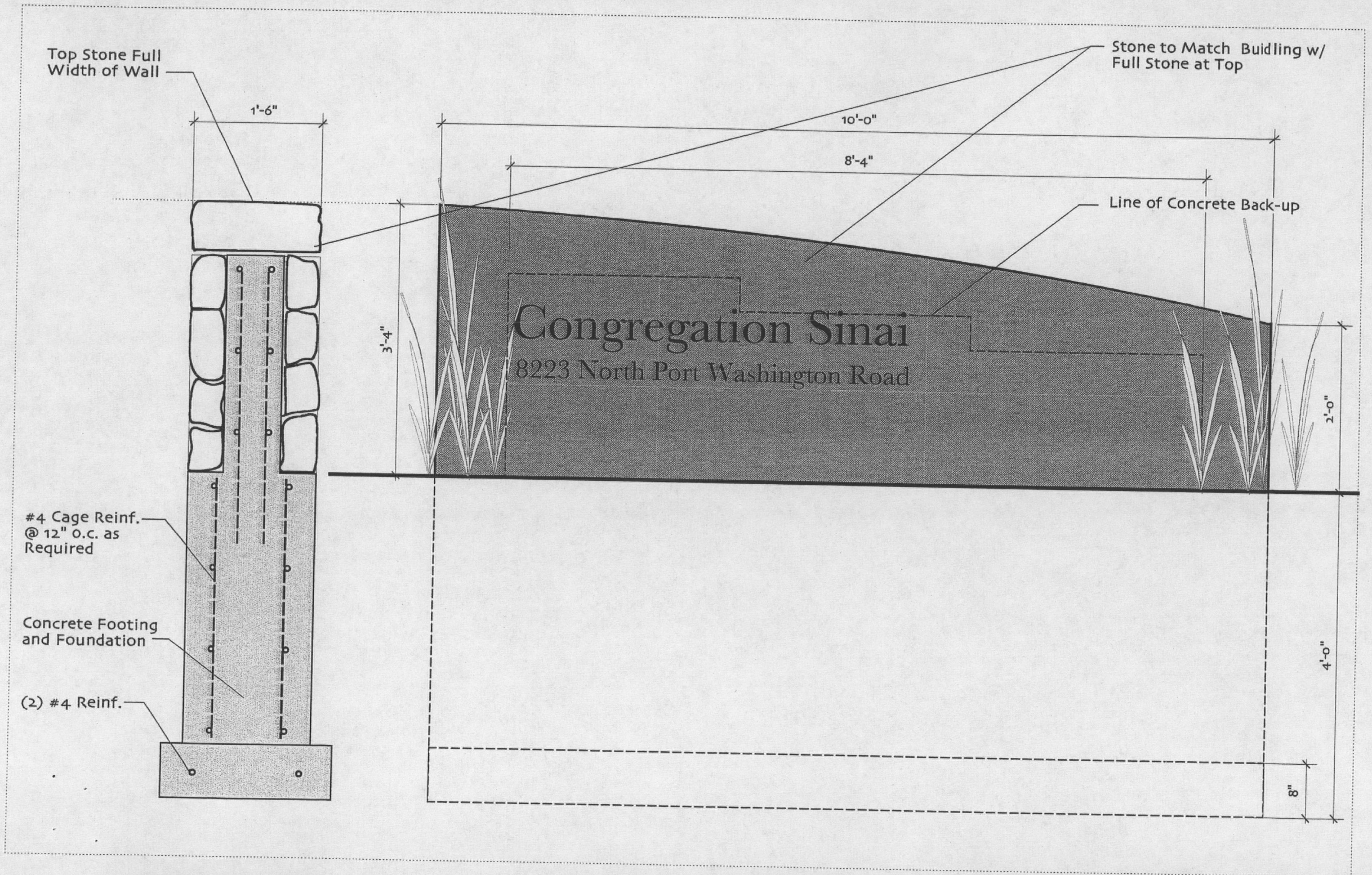
#4 Cage Reinf.
@ 12" O.C. as
Required

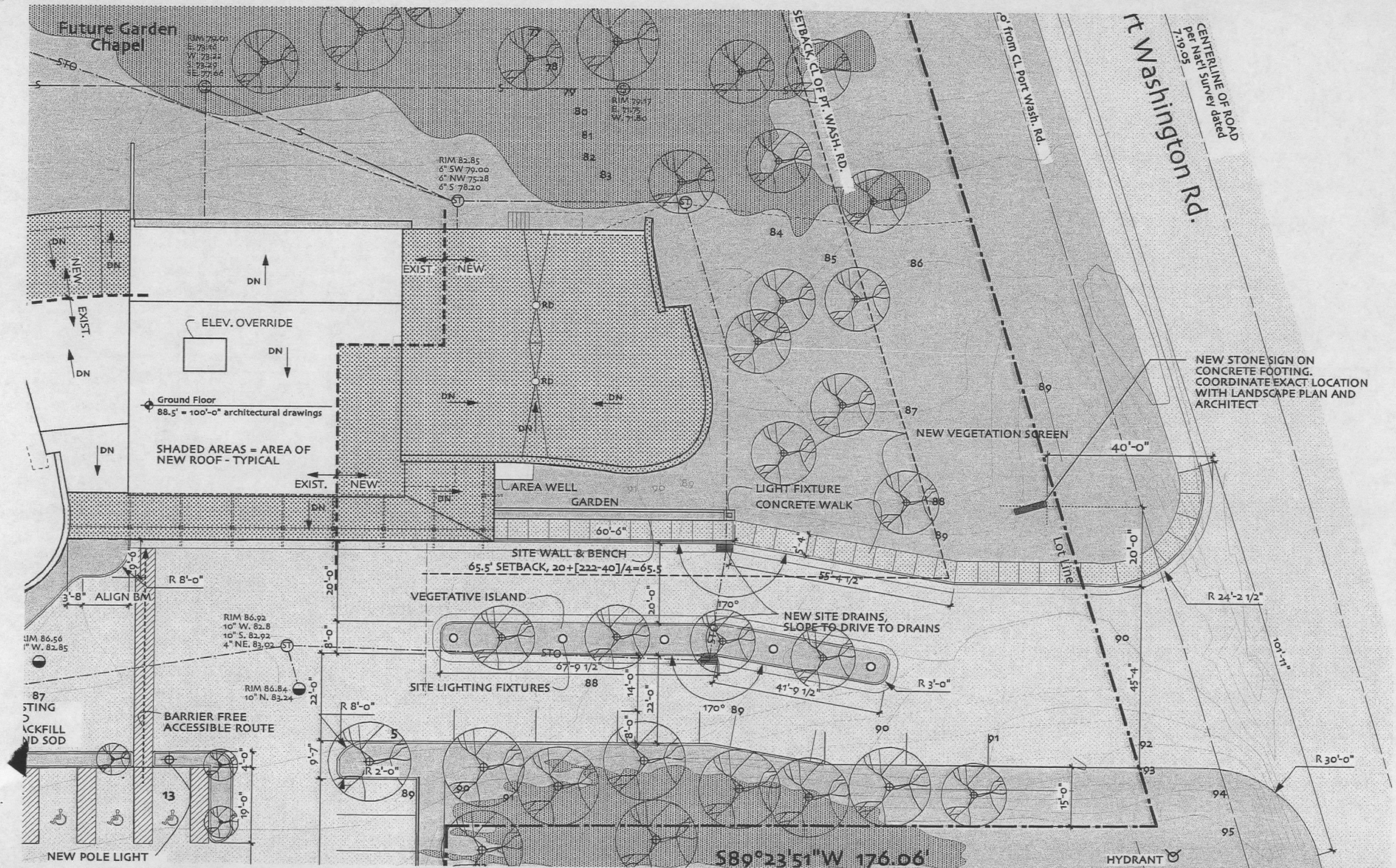
Concrete Footing
and Foundation

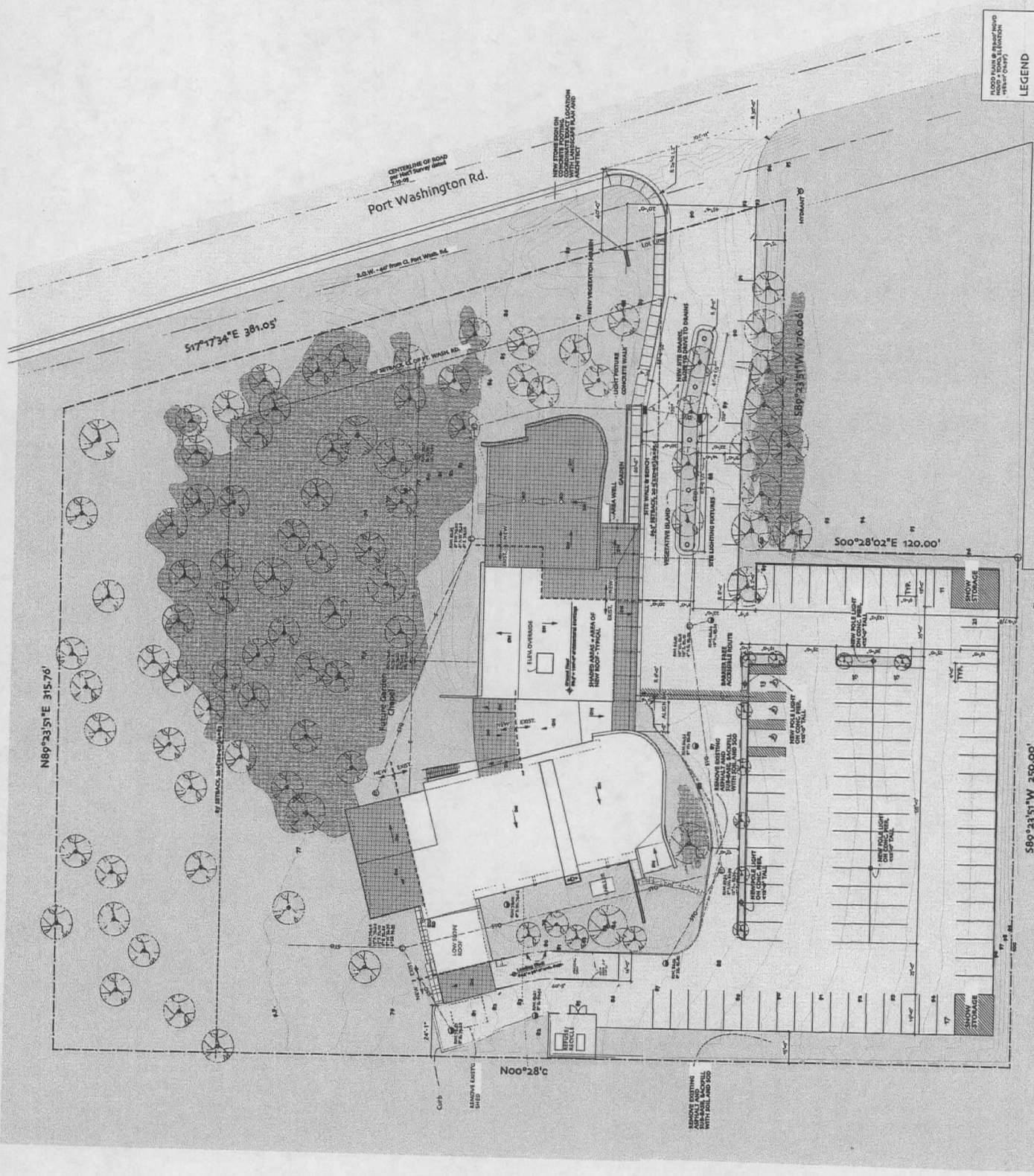
(2) #4 Reinf.

4'-0"

8"







Top Stone Full
Width of Wall

1'-6"

Stone to Match Buidling w/
Full Stone at Top

10'-0"

8'-4"

Line of Concrete Back-up

3'-4"

Congregation Sinai
8223 North Port Washington Road

2'-0"

#4 Cage Reinf.
@ 12" o.c. as
Required

Concrete Footing
and Foundation

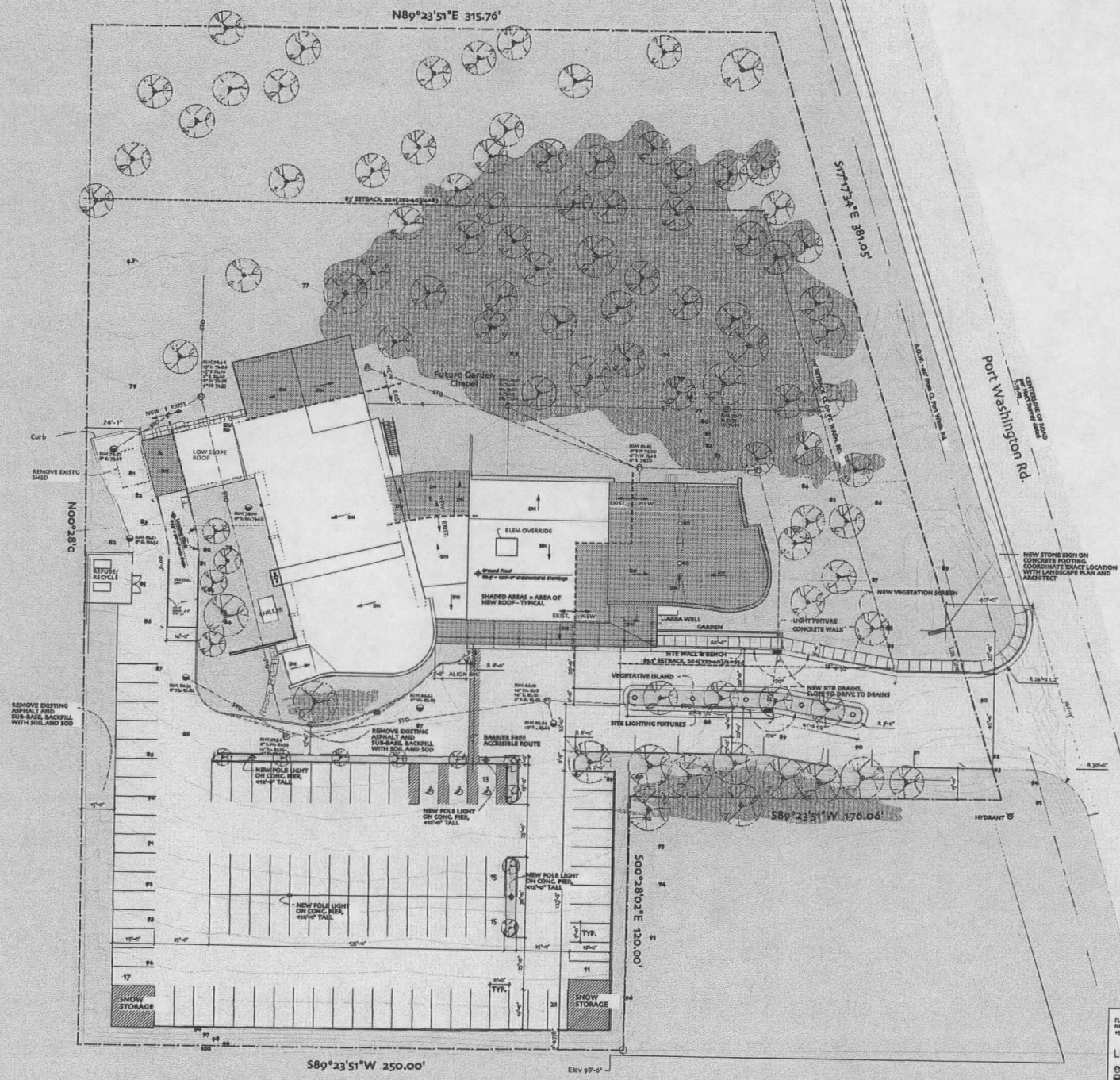
(2) #4 Reinf.

4'-0"

8"







FLOOD PLAIN @ 89.00' NGVD
 HIGHER = TOPIC ELEVATION
 1984.07' 04.97'

LEGEND

- ⊗ STORM MANHOLE
- ⊙ ROUND DRAIN
- ⊕ SANITARY MANHOLE
- SFD — STORM DRAIN
- SSW — SANITARY SEWER
- PROPOSED 12\"/>



1 Site Plan/ Roof Plan
 Scale 1" = 30'-0"



Congregation Sinal
 Addition & Renovation

Congregation Sinal
 8333 N. Port Washington Rd.
 Port Polaris, WI 53577

THE JANSEN GROUP, INC.
 1000 N. Lincoln Ave.
 Port Polaris, WI 53577

STRUCTURAL
 NEWBY CONSULTING
 1000 N. Lincoln Ave.
 Port Polaris, WI 53577

DATE	REVISION
10/1/10	1.00
10/1/10	1.01
10/1/10	1.02
10/1/10	1.03
10/1/10	1.04
10/1/10	1.05
10/1/10	1.06
10/1/10	1.07
10/1/10	1.08
10/1/10	1.09
10/1/10	1.10
10/1/10	1.11
10/1/10	1.12
10/1/10	1.13
10/1/10	1.14
10/1/10	1.15
10/1/10	1.16
10/1/10	1.17
10/1/10	1.18
10/1/10	1.19
10/1/10	1.20
10/1/10	1.21
10/1/10	1.22
10/1/10	1.23
10/1/10	1.24
10/1/10	1.25
10/1/10	1.26
10/1/10	1.27
10/1/10	1.28
10/1/10	1.29
10/1/10	1.30
10/1/10	1.31
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10/1/10	1.38
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10/1/10	1.79
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10/1/10	1.84
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10/1/10	1.89
10/1/10	1.90
10/1/10	1.91
10/1/10	1.92
10/1/10	1.93
10/1/10	1.94
10/1/10	1.95
10/1/10	1.96
10/1/10	1.97
10/1/10	1.98
10/1/10	1.99
10/1/10	2.00

SITE PLAN

C1.1

Top Stone Full Width of Wall

1'-6"

Stone to Match Building w/
Full Stone at Top

10'-0"

8'-4"

Line of Concrete Back-up

3'-4"

Congregation Sinai
8223 North Port Washington Road

2'-0"

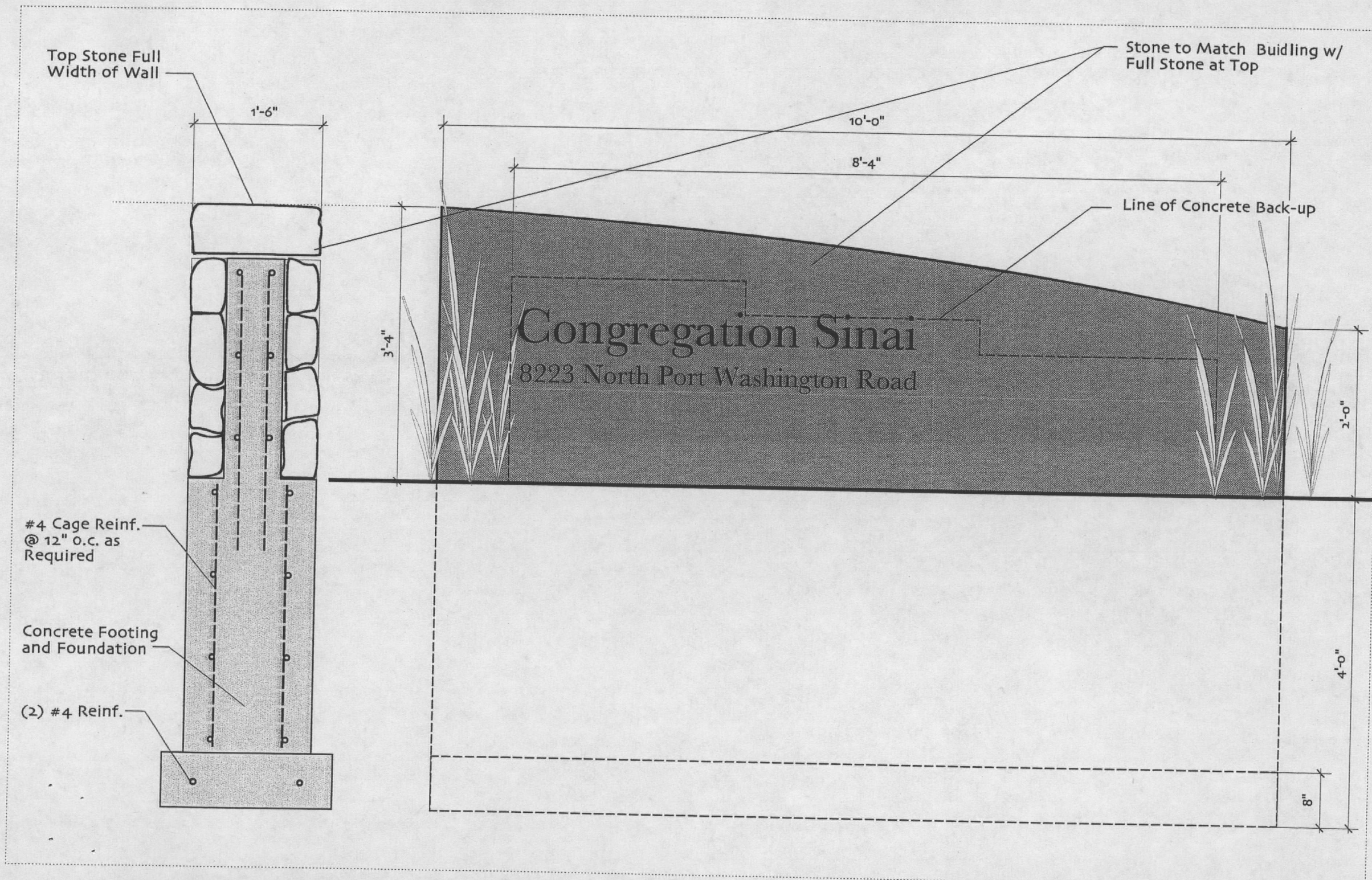
#4 Cage Reinf.
@ 12" o.c. as
Required

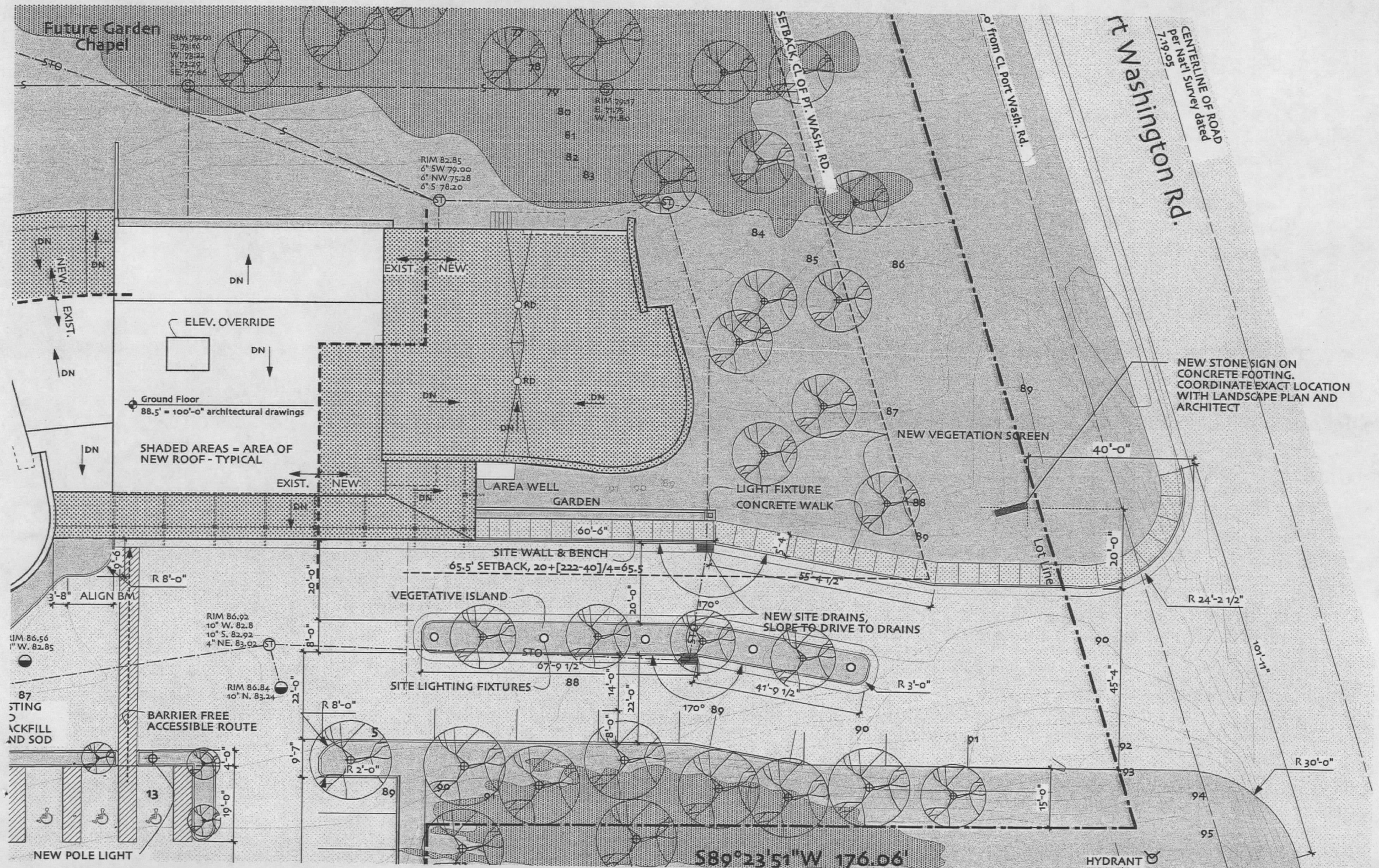
Concrete Footing
and Foundation

(2) #4 Reinf.

4'-0"

8"

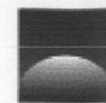
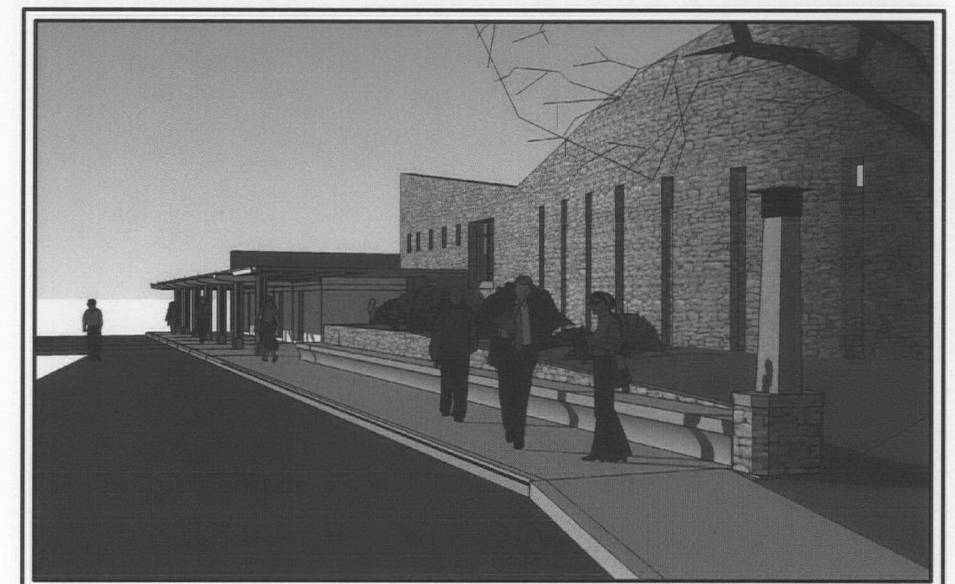
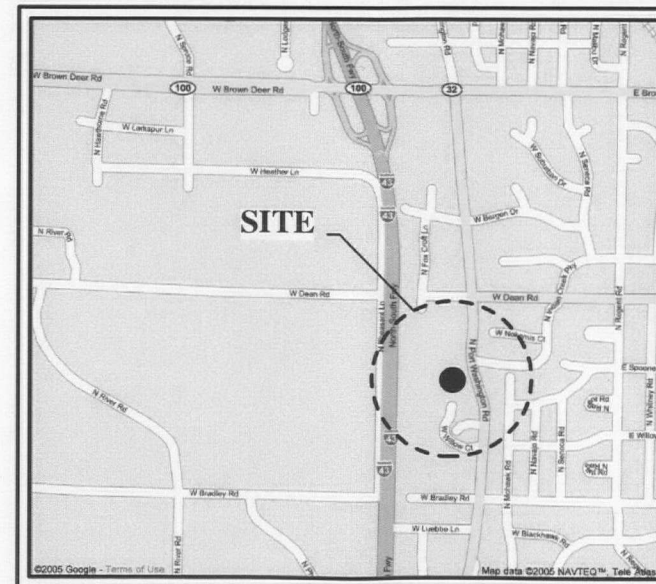
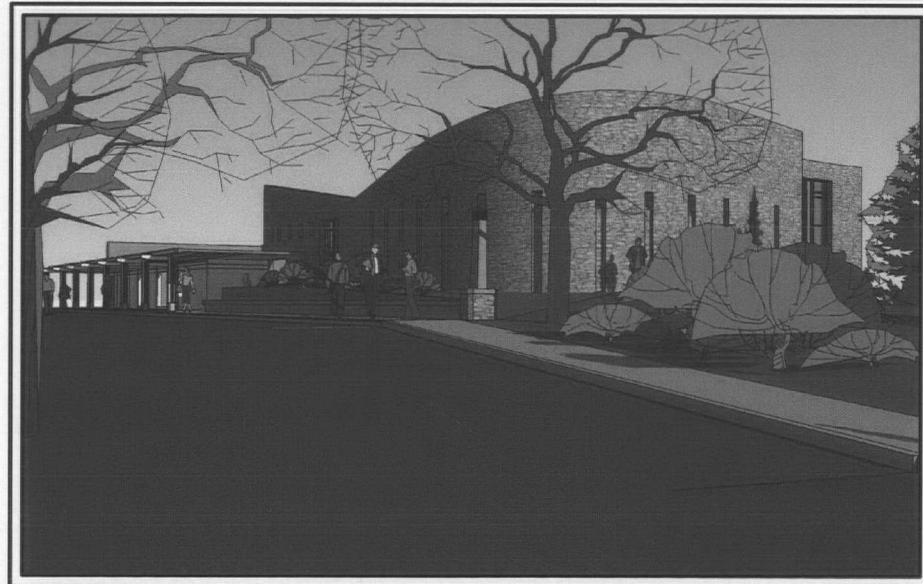




Congregation Sinai

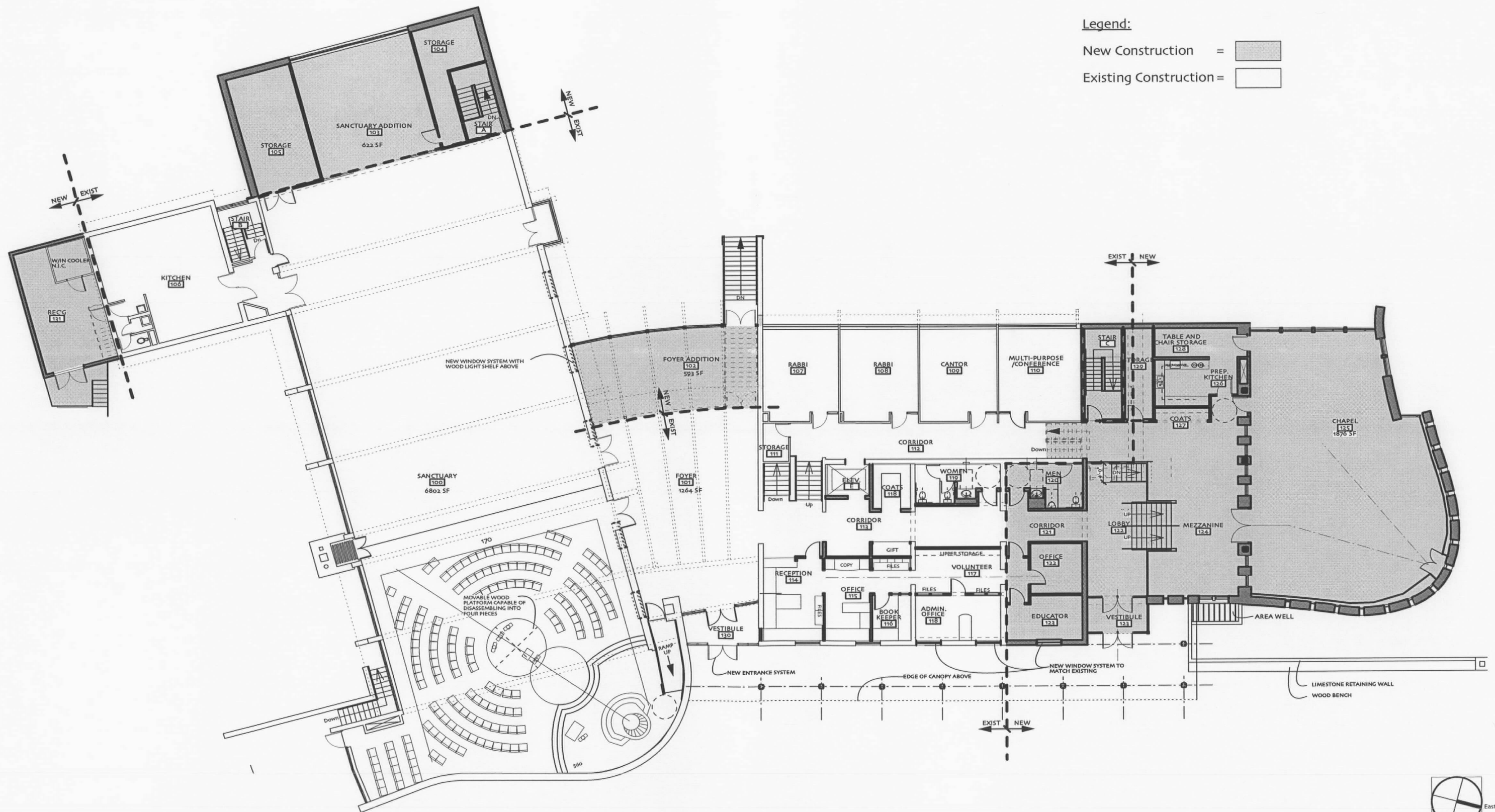
Proposed Addition Fox Point, Wisconsin

Plan Commission
1.August.2005



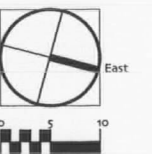
THE KUBALA WASHATKO ARCHITECTS, INC.
Project # 1466

8223 N Port Washington Rd

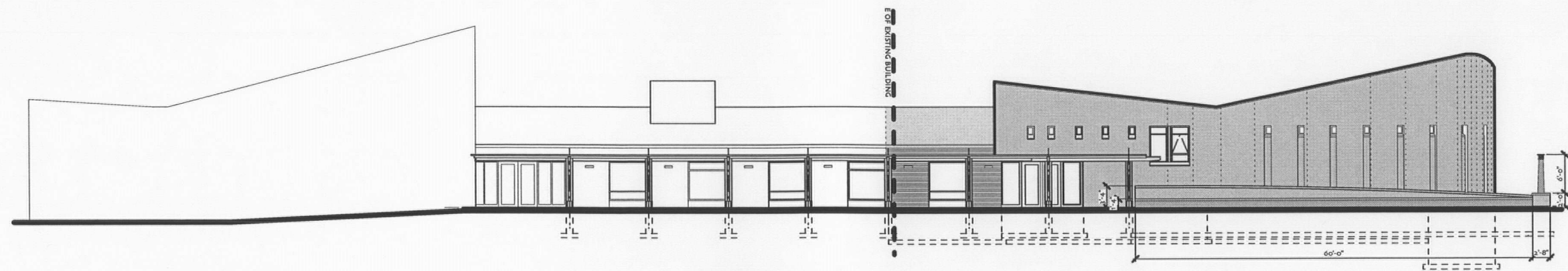


Congregation Sinai
Fox Point, Wisconsin

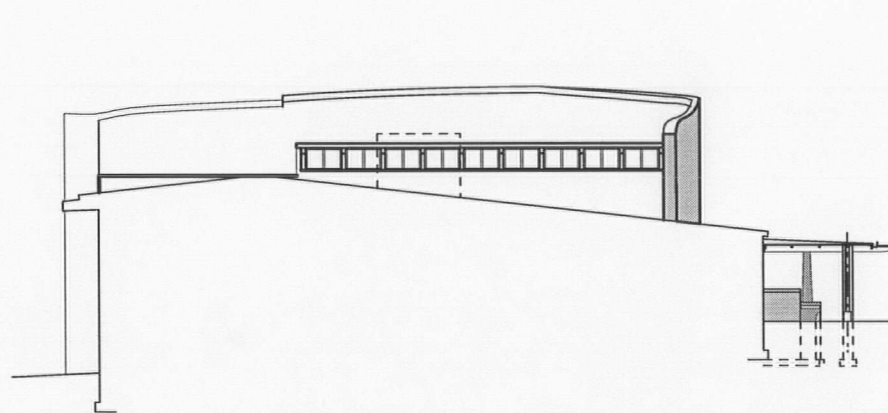
THE KUBALA WASHATKO ARCHITECTS, INC.
1 August 2005



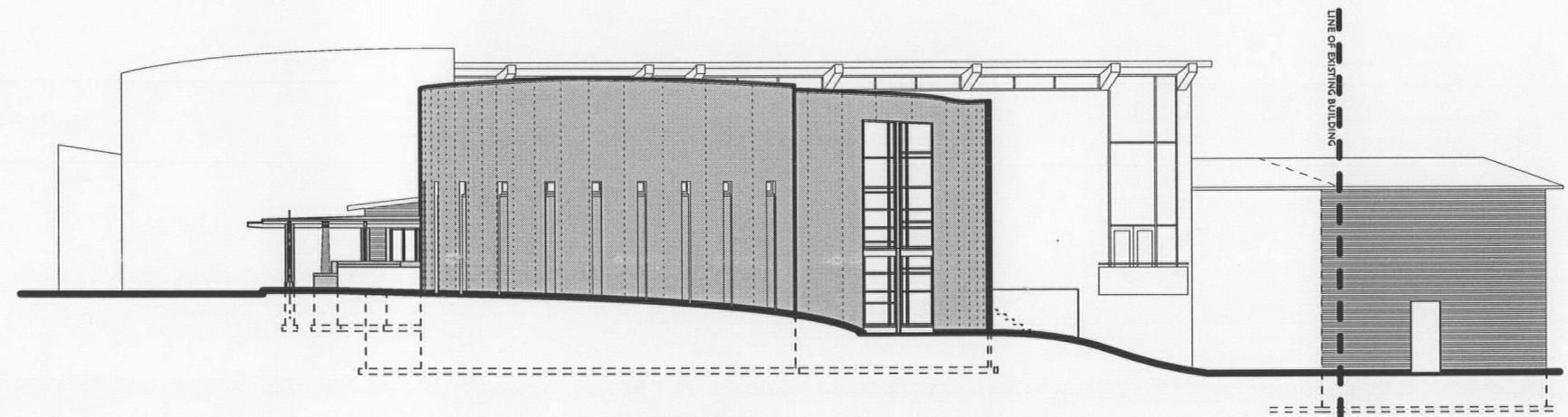
First Floor Plan



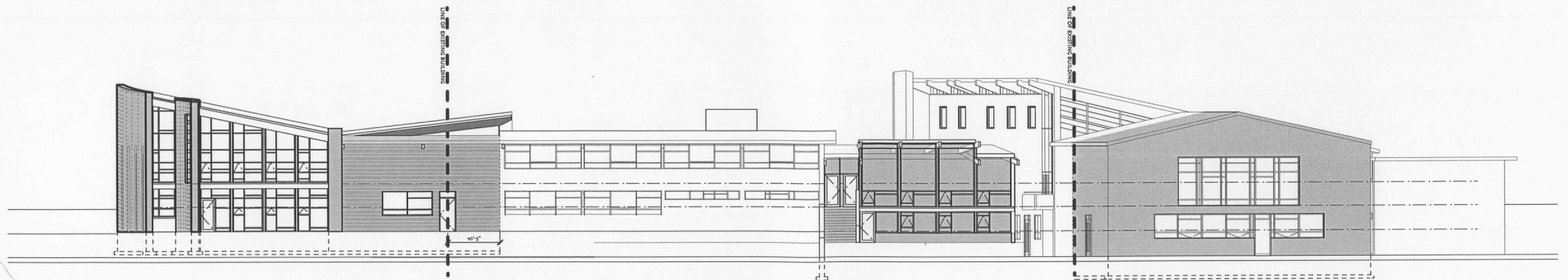
South Elevation



West Elevation



East Elevation

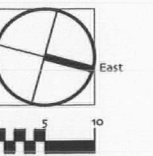


North Elevation

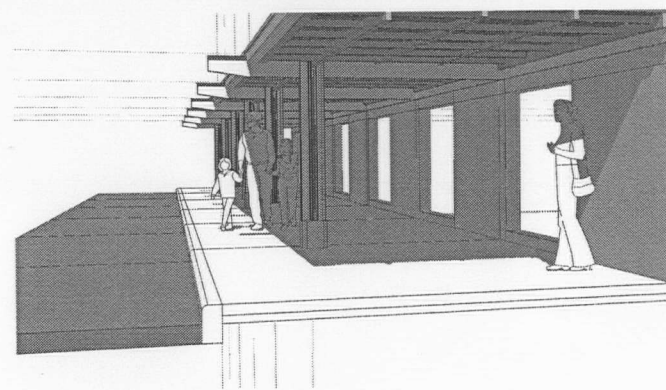
Congregation Sinai
Fox Point, Wisconsin



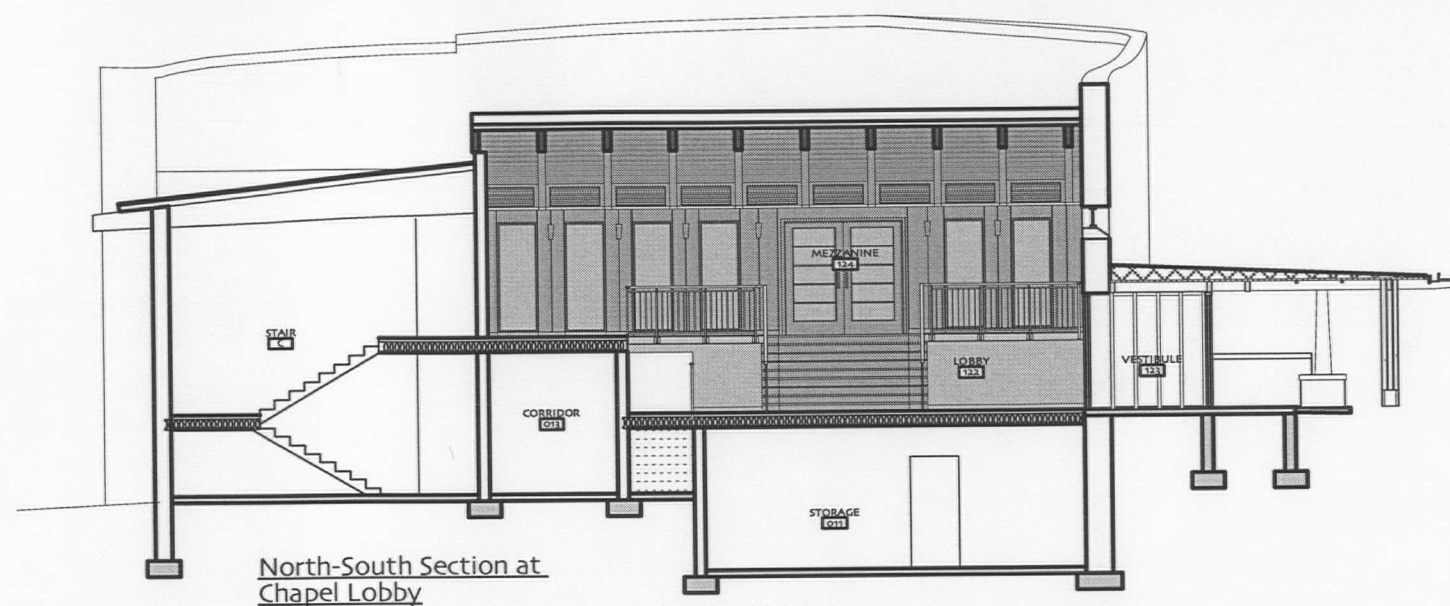
THE KUBALA WASHATKO ARCHITECTS, INC.
1.AUGUST.2005



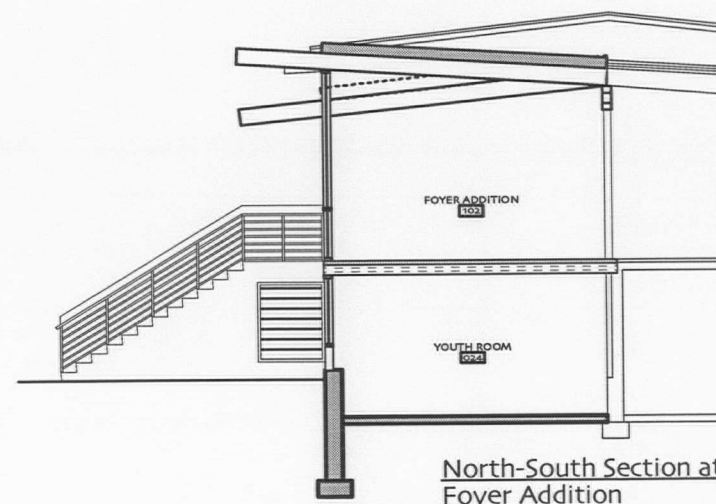
Elevations



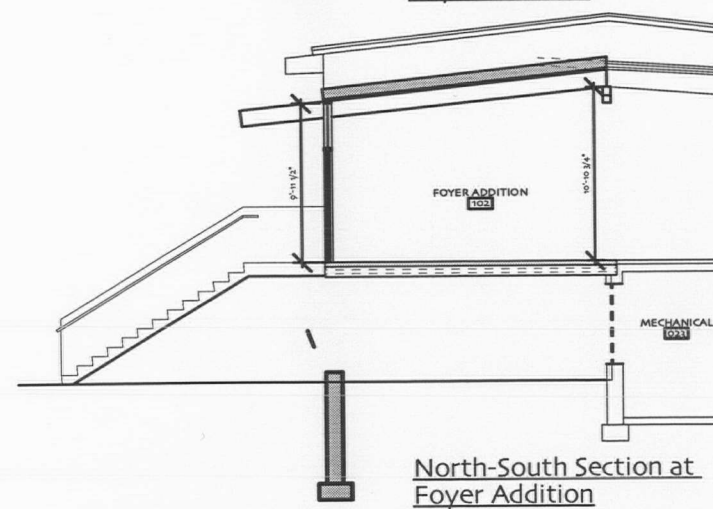
View of New Entry Canopy



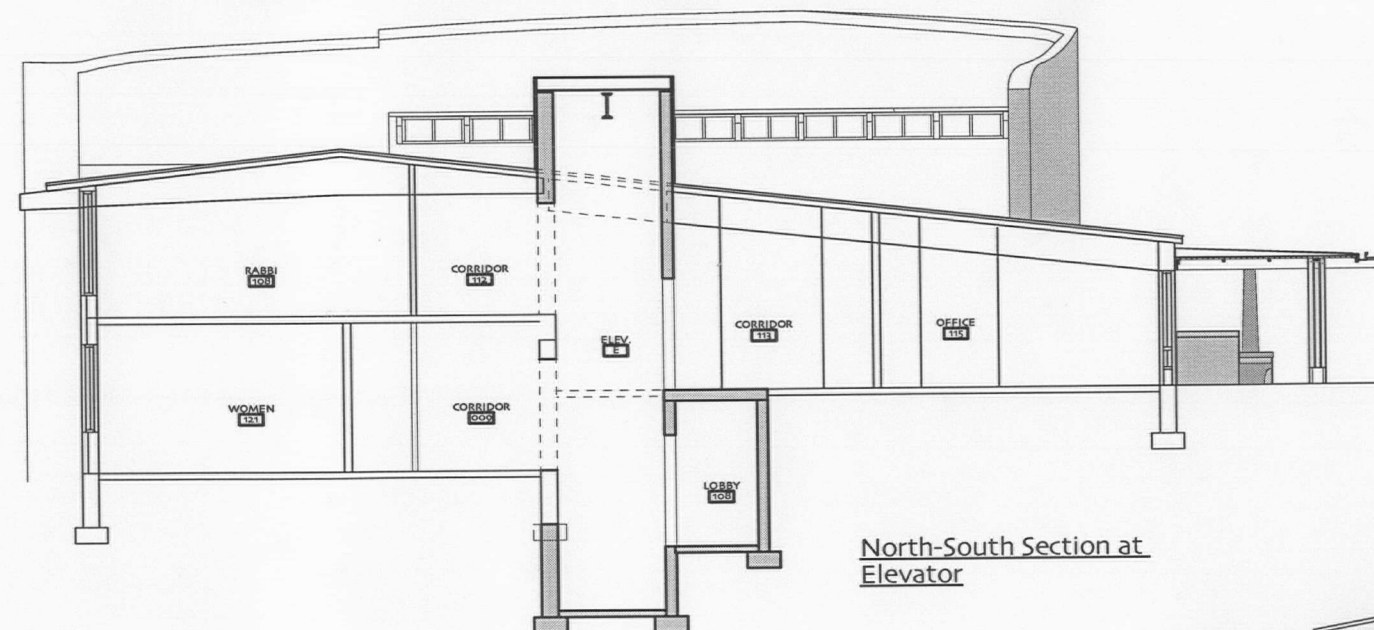
North-South Section at Chapel Lobby



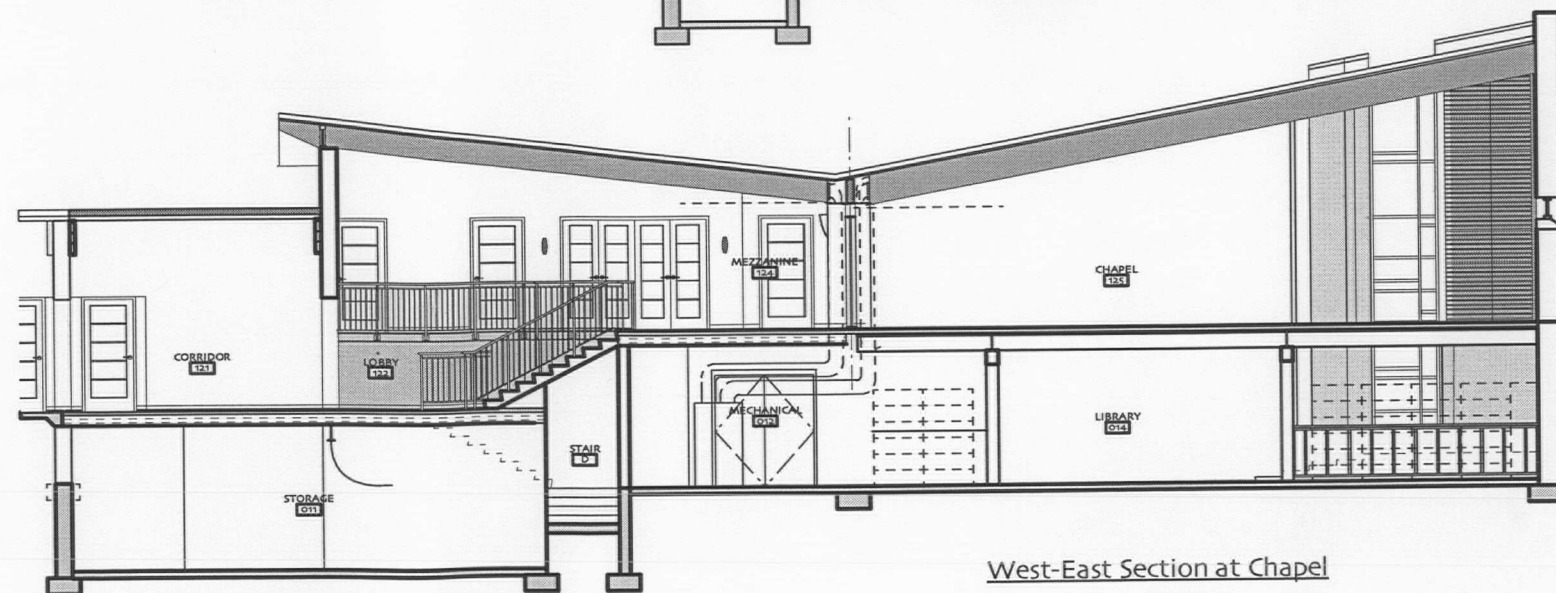
North-South Section at Foyer Addition



North-South Section at Foyer Addition



North-South Section at Elevator



West-East Section at Chapel

Congregation Sinai
Fox Point, Wisconsin





Congregation Sinai
Fox Point, Wisconsin



THE KUBALA WASHATKO ARCHITECTS, INC.
1 August 2005

Exterior View Toward New Chapel