TO THE BUIL	ATTON AT				
ine under	DING INSPECT	ND RECORD FION DEPARTMENT plies for a permit to ir	:		
lated hereafter, Winter Air Cone	ditioner 🛛 Ty	pe Camer!	58STA 09(d Air, Radiant, Ba	90M BT seboard, Etc.	u ga
Fuel: 🔲 Gas	Oil Coal	Elect. Other			<u>. </u>
Desc. of H	eating Plant		· <u>····································</u>		<u> </u>
Fuel Tank	· [] :	Size		Location	
Summer Air Con Coolant	ditioner 🛛 Siz	Camer 24 AB	A330 (272 (Ton,	H.P.)	
-	or Coolant: Air [Vater Cooled:				
		۲ <u> </u>			
		ated in ba		West)s.	
Incinerator		Name			 D11.
		Capacity			
		ed by Milwaukee Co. D			
thereto and that ordinances of the may cause imme Owner	the work describe Village of Fox diate revocation	dges that he is familia ed herewith shall confor Point, and laws of the of the permit, if grante <u>BACHAY</u> . RECEVE RE	m in all respects to State of Wisconsin. d.	said ordinances and	d all other
	USE ONLY	C	alang	N. Ruesd	h , X
Marc	7(1)or		6/30/0	Date	
Contractor	GROSS HEAT 3260 N. 12 32FTELI	TING, INC. 6TH ST. D, WI 53005 3-6000 State			· .
	BROOKFIEL	<u>3.6000</u>	<u></u>	Phone	
Address City	(262) 10	State	Zip Code		•

臣



Search results are posted at the bottom of the page.

Search for Individual or Company by Credential ID here:

Specific Credential ID 7729

Search

Search for Tank Contractor Company by Tank Specialty here:				
Specialty Type				
Search				

Search for Individual or Company by Category here:				
Credential Type (required)				
Credential Status (required)	Expired			
Zip				
(or first three digits)				
Last or Business Name				
Search	Clear			

1 record was returned by your search.

Please select a credential holder's name to review status and continuing education information.

The continuing education information displayed here may not be accurate due to reporting, entry, or web retrieval errors. It is a credential holder's responsibility to keep track of their continuing education credits.

Black=Approved Yellow=In Renewal Process Red=Expired or Not Valid

ID	Name	City,State,Zip	Credential Type	Expiration	
7729	GROSS HEATING INC,	BROOKFIELD WI 53005	HVAC Contractor	03/15/10	

Receipt No: 1.020192		Jul 17, 2008
	8545 N REGENT ROAD	
LICENSES & PERMI 24-44450 HEATING	TS-HEATING PERMIT PERMIT	60.00
Total:		60.00
CHECK Total Applied:	Chk No: 24528	60.00 60.00
Change Tendered:		.00
	07/16/08 01:22pm	

VILLAGE OF FOX POINT 7200 N. SANTA MONICA BLVD FOX POINT, WI 53217

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY
Permit No. 19093
Received 7/10/08
Service
Rough-in
Final

APPLICATION FOR ELECTRICAL PERMIT

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Ate 07/07/2008	Rough-in Final					
lider		Elic Bachar So	me			
Address 8545 N. Real	HP					
ESTIMATED COST OF JOB	No.	Description	Qty.	Rate of Fees	Dollars	Cent
Buildings X Residential	1	Light, switch and convenience outlets		.35 ea		<u> </u>
	2	Lighting Fixtures		.30 ea		
	3	Fluorescent Fixtures - per tube		.30 ea		
	4	Range, Electric		4.00 ea		
	5	Garbage Grinding and Disposal Unit		3.00 ea		
	6	Dishwasher		4.00 ea		
	7	Clothes Dryer		4.00 ea		
	8	Water Heaters, Electric		4.00 ea	C	
Where on Premises?	9	Gas Burner, Oil Burner or Stoker	1	5.00 ea		00
Describe	10	Refrigerating, Air Cooling or similar machine25 per HP		5.00 min	تا جــــــــــــــــــــــــــــــــــــ	00
Dasement	11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
	12	Temporary Service Permit for: How Long?		10.00 ea		
	13	Services: Service Switches, ea.		5.00 ea		
List Name of Installing Contractor		Service 1. 0 through 100 amps.		5.00 ea		
HEATING Gross Heating		2. 101 through 400 amps.		10.00 ea		
		3. 401 through 600 amps.		10.00 ea		
PLUMBING		4. 601 through 1000 amps.		15.00 ea		
		5. Thereafter, ea. additional 1000 amps.		5.00 ea		
Date of Inspection	14	Motors over 1/4 HP		.30 per HP or frac	<u>.</u>	
	15	Fuel Dispensing Pumps		6.00 ea		
	16	Transformers, Rectifiers and Generators		.30 per KW		
	17	Space Heating Systems, per circuit		3.00 ea		
Service Approval Sent	18	Power receptacles - 120 Volts or over 1. Through 30 amps	~	3.00 ea		1
	19	2. Over 30 amps		5.00 ea		
	20	Wireways, busways, underfloor raceways or auxillary gutter	-	.25 per ft		
REMARKS:	21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft	<u> </u>	1
	22	Signs, Electric10 ea. socket, plus .50 ea. add'tl. transform	ər	8.00 min		
	23	Swimming Pool Wiring: A. Inground pools	-	40.00		1
	24	B. Above ground pools		25.00		
	25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00	_	
	26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea	10	00
	27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		- v -
	28	DOUBLE FEES will be charged for any work started	5	· · .	_	-
	20	before obtaining permit.	Ker	cerst#	1260	160
			1	TOTAL FEES	50	201
		ermit for the execution of electrical installation for light, heat or				
		ble State and Local Codes and Ordinances regulating the insta	lation			
of electrical wiring and equipment in the Vil	llage of	Fox Point.		Treasurer, V MAIL TO: E	-	
					Date	

Contractor EVIN ELECT	ic Inc,		Supervising Electrician (Si	APHALLAND	071012008
Address 1710 MOLF	Road		Telephone 202-	·420-35320T	- / /-
city Richfield	State	53076			

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

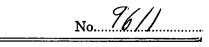
Receipt No: 1.026068	Jul 10, 2008	
	8545 N REGENT ROAD	
LICENSES & PERMIT 24-44430 ELECTRIC/	"S-ELECTRICAL PERMIT AL PERMIT	50.00
Total:		50.00
CHECK Total Applied:	Chk No: 1218	50.00 50.00
Change Tendered:		.00
	07/10/08 10:58am	

VILLAGE OF FOX POINT 7200 N. SANTA MONICA BLVD FOX POINT, WI 53217

414-351-8900

VILLAGE	OF	FOX	POINT
---------	----	-----	-------

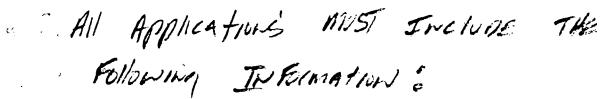
MILWAUKEE COUNTY, WISCONSIN



300

-APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEP					
The undersigned hereby applies for a phereafter,					
Type of Structure Bathcoom	a Gasen	nent (e			
Address	t RD.	Fox	Point	53217	
U]	Block	
Subdivision					
District					
Does contemplated structure violate th					
Height of Structure					
Width (parallel to highway)	(feet) Depth	(perpendio	cular to hig	hway)	(feet)
Distance: Street Line to Front Line of	Structure				(feet)
Distance: Side Lot Line to Structur	e				
Type of Construction :		Exterior fini	sh	Siding Brick Veneer	Etc
Height of front yard above street grad					
Number of rooms					
Garage					
Estimated cost Building					
Structure # 525.00					
Is there a private garage?					
Does the contemplated garage violate					
Size	—	_			
Where situated					
General constructionF					
Have plans been submitted to the Wis					
for examination and approval?					
Have plans been approved as being in					nsin Ad-
ministrative code?					•••••
Herewith are filed the following duplica conform to in the work hereby applied	te plans for		in numbe	er, which I certi	fy I will
Remarks:					
Herewith are filed the specifications tha submitted.	t describe the v	work in que	stion and a	s shown on plar	ns above
In making the application the unders Codes pertaining to the erection of all s Village of Fox Point.	igned agrees to structures and a	o obey the also agrees	Fox Poin to obey all	t Building and other ordinance	Zoning s of the
The undersigned, owner or being duly a Village of Fox Point, its officers, agent and fill up any excavation, or tear down, is herein requested in the event of cess determine that such premises in the un of the public, including children, even the statutory notices and consents to the d upon the tax roll of a special assessment Village overhead charges incurred in fi enclosing any such unfinished structure	s and employee remove or encl ation of the bu finished condition ough trespasse etermination by in the amount illing up any so	s, to enter ose the unfi ilding, whe on of the st rs. The un y the Villag of the cost	upon the pr nished struc- never the I tructure are dersigned fu ge Board ar to the Villa	emises herein d cture for which a Building Inspect dangerous to n arther hereby wa d the levy and ge, including cu	escribed a permit for shall nembers aives all placing stomary
We hereby agree to provide a house num which will be installed not less than 15	nber plate or sig days after the	gn readily o structure i	bservable fi s occupied.	om the public h	ighwa y
Owner of Structure Amy & Eli	e Bachar	Arch. or C	ontr		
Address 8545 N. Regent RI City Fox Paint W	53217	.Address City			
Sta	te Zip			State	Zip
Phone 414 3515590					
Size of Structure L/O	(sq. ft.) Permi	t Fee	â	herewith t	endered
Date Submitted 5-16-95 Date Approved 46	Signed	Elie	Bai	char.	Ϋ́Υ.
Date of Permit			itect, Owne	r. Builder	
				.,	



- (2.) APPLICATION FOR PERMITS -- Application for a building permit shall be made in writing upon a blank form to be furnished by the Building Inspector and shall state the name and address of the owner of the building and the owner of the land on which it is to be erected, the name and address of the designer and shall set forth a legal description of the land on which the building is to be located, the location of the building, the house number thereof and such other information as the Building Inspector may require. With such application, there shall be submitted, to the Building Inspector, three (3) complete sets of plans, specifications and three (3) copies of a survey.
 - (a.) Survey -- The survey shall be prepared and certified by a surveyor or registered by the State of Wisconsin; shall be made, in no case, prior to one (1) year prior to the issuance of a building permit; and shall bear the date of the survey. The certified survey shall also show the following:
 - 1. Location and dimensions of all buildings on the lot, both existing and proposed.

)

- 2. Dimensions of the lot.
- 3. Dimensions showing all setbacks to all buildings on the lot.
- 4. Proposed grade of proposed structure, to city or village datum.
- 5. Grade of lot and of road opposite lot.
- 6. Grade and setback of adjacent buildings. If adjacent lot is vacant, submit elevation of nearest buildings on same side of the road.
- 7. Type of monuments at each corner of lot.
- 8. Water courses or existing drainage ditches.
- 9. Seal and signature of surveyor.
- (b.) Plans and Specifications -- All plans shall be drawn to a scale not less than one-fourth (1/4) inch per foot, on paper or cloth in ink, or by some other process that will not fade or obliterate, and shall disclose the existing and proposed provisions for water supply, sanitary sewer connections and surface water drainage. A11 dimensions shall be accurately figured. Drawings that do not show all necessary detail shall be rejected.

A complete set of plans for residential construction shall consist of:

1. All elevations.

Ĺ

(

(₁₃₇)

- 2. All floor plans.
- 3. Complete construction details.
- 4. Fireplace details (3/4 inch per foot) showing cross section of fireplace and flues.
- 5. Plans of garage when garage is to be built immediately or location of garage when it is to be built at a later date.

All plans shall remain on file in the office of the Building Inspector until at least one (1) year after the completion of the building, after which time the Building Inspector may return the same to the owner, may keep them for public record or may destroy them.

- (3.) WAIVER OF SOME REQUIREMENTS -- At the option of the Building Inspector, plans, data, specifications and survey need not be submitted with an application for permit to execute minor alterations and repairs to any building, structure or equipment, provided the proposed construction is sufficiently described in the application for permit.
- (4.) SEAL OF REGISTERED ENGINEER OR ARCHITECT -- All plans, data and specifications for the construction of any building or structure or for any construction in connection with existing buildings or structures, other than one and two family residences containing more than fifty thousand (50,000) cubic feet, total volume, submitted with an application for permit, shall bear the seal of the registered architect or engineer. The plans shall also be stamped as approved as required by the Department of Industry, Labor and Human Relations of the State of Wisconsin. Such building or structure shall be constructed under the supervision of an architect or engineer who shall be responsible for its erection in accordance with the approved plans. No permit shall be under the supervision of an architect or engineer, as required by the Wisconsin Statutes. A written statement to this effect shall be filed by the architect or engineer, with the Building Inspector, with the application for permit.

(5.) DRAINAGE

(a.) Grading of lots -- The plans shall show the present and proposed grades of the lot on which it is proposed to erect the building for which a building permit is sought and of the immediately adjoining property in sufficient detail to indicate the surface water drainage before and after the completion of the grading. No permit shall be issued if the erection of the building and the proposed grades shall unreasonably obstruct the natural flow of water from the surface of adjoining property or obstruct the flow of any existing ravine, ditch, drain or storm water sewer draining neighboring property, unless suitable provision is made for such flow by means of an adequate ditch or pipe, which shall be shown on the plans and shall be constructed so as to provide continuous drainage at all times.

BEL Existiva mall And the base for the base of the b		Scale : Linch per FT	Amy & Elie Bachar 8545 N. Regent RD. FOX Point WI 53217 3515590
Stiting wall isting wall let Namit & sink Vanit & sink Namit & sink let native for inder reeted in assertion reeted in	4	e	
3 BFT X 3 FT shower 2			 om to be built
new wall new wall new wall	15+1		Plans inside cxisting

. 7	Mid -	City Re Zoy/ak App	unbe	rig FAC	,				
Plumber	POBERT	Zoy/JKAn	licat	ion a	and Da	cord	Owner	FLE 13	ASTAR 1=JENTAL 19.24
Address	SI DETT	RIG CT				LUIU	Address	7545 IV	N=YENT NU
Tel. No	1-5940		7200 N. Fax	Santa Point, V 351-8		La _	Date	5/10	19.2
TO the VILLAG	e of fox :	POINT, PLUMBI	NG AND			N DEPAR	MENT: T	e undersigne	d hereby
make application								PERMITS US	
laying a	inch	lay	ying a		inch			Kind	No.
builder sewer fi	rom Main				n Main to L	ot line	Server	and Plumbing	7667
to Building		to	Build	ing					
•		at							
	*				Fox Poin	t, Wie.	Moter		
	Addres	s at which worl	s is to be	done			Water	Usage	
		Subdivision	n kadan serena San			L	ot	Bloc	k
In the per	formance o	f this work the u	ndersign	cd Plum	ber hereby a	grees to bo	unden by a	nd submit to a	ll statutes,
village ordinance			na presc	nded by		2 - 2			
License No.	17 41 71		•••••		/h las			••••••	.Plumber
Application mu	st be signe	d by licensed pl	umber w	ho has (current insu	rance certi	licate on fi	le in Fox Poini	ц
VIXTURES WI		OR WATER CO	DNNECT		Mata				
Hose Bibs	<u> </u>	Dishwashers		<u>No.</u>		• ·			
Bath Tube		. Wash Basins				-			
Sump Pumps									
Laundry Trays		Showers			-	•			
Drinking Fountai	ne	Floor Drains			Fixtu		**************		
Sinks	E.	. Food Wasts G			Wato	r Meter		*****	40 - Min
Water Heaters	1				T	lak	******		
Wash. Mach. Was Bidets		11		•	Depo	elt to cover	street repair	•there and	+#37337
Catch Besins						$\boldsymbol{\zeta}$	И	•	
•									ermit Cierk
Ain	ch	wa	ter servic	z pipce	laid in	• • • • • • • • • • • • • • • • • • • •	•••••		
Curb box is loc	ated fe	et						.icct0	[]
					******************			** *** *** * * * * * * * * * * * * * * *	
inch		Water M	leter No.			Date li	nstalled		
		sanitary sev		ection w	made in				
A	CN	of manh							
	cct	of manh	olc		******			****************	
*****			• • • • • • • • • • • • • • •						
	ch	storm sewel	connect	ion was	made in				
41	Geet	of manh	ole						
•					•			•••••	

Building Cours	Royari	Building Drain	Beynet	Roug	h in Plumbing	Inspection	Report	Final Inspection	en Beyert
				 					•••••
*********************				.	******			••••••	
******************								1	
Installation Ar	homed				Application	on Approve	b	*****	
monument of	·			•					*****************
As Built	**************		*****			Wat	er and Plum	bing inspector	
		HMARKS				DISC	REPANCY	RECORD	
	4					*****			

					***********	*************			
*************					ll				

VILLAGE OF FOX POINT 7200 N. SANTA MONICA BLVD. FOX POINT 53217

414-351-8900

OFFICE USE ONLY
Permit No. 13958
Received 5/30/95
Service
Rough-in
Final

Dollars

Cents

APPLICATION FOR ELECTRICAL PERMIT

5/30/95 Date

Buildings DK Residential

Where on Premises?

AIR CONDITIONING

Describe

HEATING

Commercial

Institutional

Remodeling

Industrial

License No.

Builder

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Occupant Owner North - Star Regent Qty. Description Rate of Fees No. ESTIMATED COST OF JOB 5 35 ea 1 Light, switch and convenience outlets .30 ea 2 Lighting Fixtures Fluorescent Fixtures - per tube .30 ea 3 4.00 ea Range, Electric 4 Garbage Grinding and Disposal Unit 3.00 ea □ New Construction 5 Additional Rooms 6 Dishwasher 4.00 ea 7 **Clothes Dryer** 4.00 ea 4.00 ea New Occupancy 8 Water Heaters, Electric 9 Gas Burner, Oil Burner or Stoker 5.00 ea Refrigerating, Air Cooling or similar machine - .25 per HP 5.00 min 10 7.00 ea 11 Feeders - No. 6 A.W.G. or Larger 12 Temporary Service Permit for: How Long? 10.00 ea 13 Services: Service Switches, ea. 5.00 ea List Name of Installing Contractor 5.00 ea Service 1. 0 through 100 amps. 2. 101 through 400 amps. 10.00 ea

PLUMBING		
	Date	of Inspection

Date of inspection						
Rough	Will Call 🗆					
Final	Will Call 🗆					
Service Approval Sen	t 🗆					

REMARKS:

10.00 ea 3. 401 through 600 amps. 15.00 ea 4. 601 through 1000 amps. 5.00 ea 5. Thereafter, ea. additional 1000 amps. 14 Motors over 1/4 HP .30 per HP or trac 15 **Fuel Dispensing Pumps** 6.00 ea .30 per KW 16 Transformers, Rectifiers and Generators 3.00 ea 17 Space Heating Systems, per circuit 18 Power receptacles - 120 Volts or over 1. Through 30 amps 3.00 ea 19 2. Over 30 amps 5.00 ea 20 Wireways, busways, underfloor raceways or auxillary gutters 25 per ft Strip Lighting, Plug-in Strip, Trol-E Duct or similar system 21 20 per ft 8.00 min 22 Signs, Electric - .10 ea. socket, plus .50 ea. add'tl. transformer 23 Swimming Pool Wiring: A. Inground pools 40.00 25.00 24 B. Above ground pools 25 Spas, Hot-tubs, Hydromassage Bathtubs 6.00 26 MINIMUM CHARGE FOR ANY ONE PERMIT 40.00 ea 27 FAILURE TO CALL FOR FINAL INSPECTION 15.00 28 DOUBLE FEES will be charged for any work started

TOTAL FEES

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

before obtaining permit.

MAKE CHECKS PAYABLE TO: Treasurer, Village of Fox Point MAIL TO: Electrical Inspector

Contractor	GTS	Electric	al con	A. m.	Supervising Electr	rician (Signature)	Date 5/30/85
Address	612 A	m; luant	rec St	•	Telephone	646-3009	, , ,
City Ø	r(afi	(<i>A</i>	State	Zip Code 530/8			

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

سرو	1 Cr. 8 W Rouget # 2968
F	ilvy Fee \$ 10 Roceipt # 29686 VILLAGE OF FOX POINT
1	Sence of Fortheres Sence
·	MILWAUKEE COUNTY, WISCONSIN NO. DOUD
-	
	APPLICATION FOR BUILDING PERMIT
то	THE BUILDING INSPECTION DEPARTMENT:
	The undersigned hereby applies for a permit to build in accordance with the information tabulated
here	Type of Structure ADDITION TO RESIDENCE
	Kestdence, Garage, Store, Office School Rence Shed Sim Swimming Deal Res
	Address 6545 N. REGENT RD
	LotBlock
	Subdivision
	District
	Does contemplated structure violate the Village zoning ordinance?
	Height of Structure
	Width (parallel to highway)
	Distance Start Line Development (reet) Depth (perpendicular to highway)
	Distance: Street Line to Front Line of Structure(feet)
	Distance: Side Lot Line to Structure
	Type of Construction: FRAME Exterior finish CEDAR SIDING Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.
	Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc. Height of front yard above street grade
	Number of rooms
Fati	Garage
Esti	mated cost Building $\pm 24,000$
	Structure
	Is there a private garage?
	Does the contemplated garage violate the Village zoning ordinance?
	SizeNumber of stalls
	Where situated
	General construction
	Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations
	for examination and approval?
	Have plans been approved as being in compliance with all applicable sections of the Wisconsin Ad-
	ministrative code?
	Herewith are filed the following duplicate plansin number, which I certify I will
n	conform to in the work hereby applied for.
Rema	FAMILY ROOM / BEDROOM ADDITION (28'X16') TO BACK OF
	TAMIOT FOUNT DEDIZOUM ADDITION (28216) TO BACK OF
	EXISTING RANCH HOUSE CRAWLSPACE FOUNDATION.
	Herewith are filed the specifications that describe the work in question and as shown on plans above
	submitted.
	In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the
	Village of Fox Point.
	The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the
	Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described
	and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall
	determine that such premises in the unfinished condition of the structure are dangerous to members
	of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing
	upon the tax roll of a special assessment in the amount of the cost to the Village, including customary
	Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.
	We hereby agree to provide a house number plate or sign readily observable from the public highway
	which will be installed not less than 15 days after the structure is occupied.
	Owner of Structure ELIE BACHAR Arch. or Contr. JAKE & ASSOC
	BELT I BELT OF Arch. or Contr. WICH 13300
	Address 8545 N. REGENT RD Address 1811 W. SILVER EPRING DR
	City FOX POINT WI 53217 City GLENDALE WI 53209
	State Zin State 7in
	Phone H: 351-5590 Phone 228-7300 percent #1,29612
	Size of Structure 448 (sq. ft) Permit Fee 102 hours it to down
	Size of Structure
	Date Submitted
	Date Approved
	Date of Permit

Date of Permit.....

Architect, Owner, Builder

KEY # 053-1045

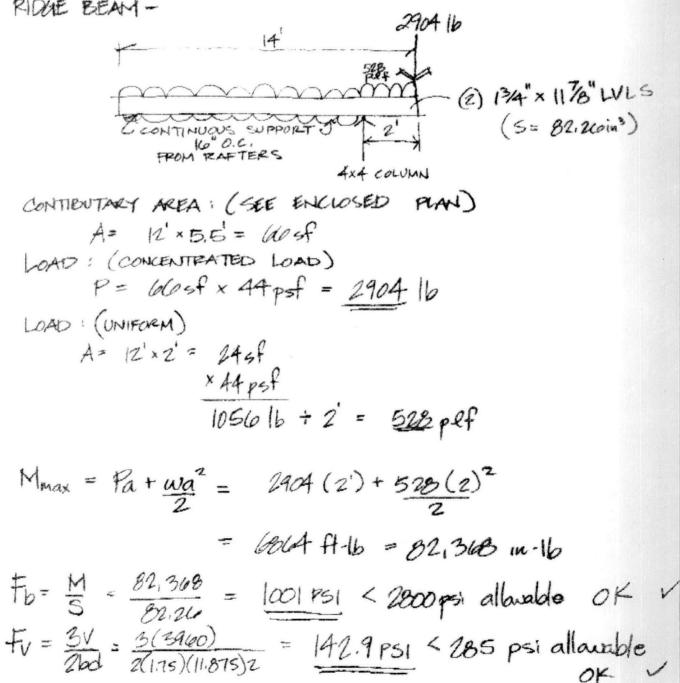
#475 PØ2

GENERAL STRUCTURAL NOTE:

THE FOLLWING CALCULATIONS CONCORN THE NEEESSART CONSTRUCTION WE TO THE ELIMINATION OF COLLAR TIES IN THE FAMILY ROOM. THE FRAMING IN THE BEDROOM 15 CONVENTIONAL WITH A B'-O" FLAT CEILINGT.

STRUCTURAL ANALYSIS:

I. RIDGE BEAM -



JUN-09-'92 TUE 14:23 ID: JUNGE & ASSOCIATES TEL NO:414 228 8353 #475 P01

• • • • • • • • • • • • • • • • • • • •	DATE	SUEJECT	OHEET NO. 2 OF
HKOL BY	DATE		JOB NO
·····		······································	

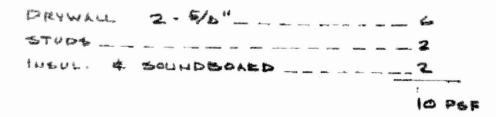
ROOF LOAD

LIVE LOAD -----SHINGLES & FELT ----- 4 BLANKET INSULATION _____ I WOOD TRUSSES OF JOISTS _____4 V2" DRYWALL CEILING ____ 44 Post

FLOOR LOAD

LIVE LOAD	40
MECHANICAL EQUIP.	- 2
1/2" PLYWOOD	- 21/2
1015TS OR TRUGGES	- 4
1/2" UNDBELAYMENT	_ ¥z. _ 3
-	55 PEP

INTERIOR PARTITIONS



DRAWN BY KCD TT	E STRUCTURAL (PADS.	SEET
	NOPROJECT BAC		residence of

JUN-09-'92 TUE 14:22 ID:JUNGE & ASSOCIAT	TES TEL	NO:414 228	8353	#474 PØ1	
Fax Transmittal Memo 7672	No. of Pages	¢ 10	day's Date 69.91	1 3: 20 PH	11
" SCOTT MILLER	From	KEN t	DAHLIN	an a	a state
COMPANY FOX POINT BLOG INSP.	Company Location	JUNGE	+ ASSO Dept. Charge	c.	Link
Faz# 351-8909 Telephone #	Fex #		Telephone #	228-7300	
Comments	Orlginai Disposition:	Destroy	Return	Call for pickup	-
a menomeno esta ante esta de la composición de la composición de la composición de la composición de la composi				and the second second second second	di renter
				a an	
And a second				the state of the second	
Attach Docu	ument At Line		an a share a share a share of the state of the	NUMBER Reflected and an include	-

STRUCTURAL CALCULATIONS

GENERAL REQUIREMENTS & LOADS

- ONE STORY RESIDENCE 1 ...
- PRAME CONSTRUCTION DESIGN LIVE LOADS:

Roof	
Living Units	
Corridors	
Balconies	
Stairwells	
Public Areas	

30	PSF
40	PSF

P.

POX POINT

RESIDENCE

CHAR

STRENGTH OF MATERIALS

1. CONCRETE AT 28 DAYS:

Slabs	-	f'c	=	3,000	PSI
Footings		f'c	=	3,000	PSI
Filled Masonry	-	f'c	=	3.000	PSI
Beams & Columns	-	f'ç	='	4,000	PSI
Walls	-	f'c	-	4,000	PS1

2. STRUCTURAL STEEL:

> A36 Steel -F'y = 36,000 PSIFb = 24,000 PSI

3. STRUCTURAL WOOD:

Joists & Rafters - Southern Pine No. 2 (15% KD) or Equal Fb = 1,300 PSI (Repetitive) Fb = 1,150 PSI (Single use) E = 1,500,000 PSI

Studs - Hemlock Fir or Equal.

E = 1,000,000 PSI

REFERENCES

- WISCONSIN 1. BUILDING CODE.
- LOCAL BUILDING CODE 2.
- 3. SPAN TABLES FOR JOISTS AND RAFTERS. 4.
 - AISC MANUAL OF STEEL CONSTRUCTION.
- REINFORCED CONCRETE DESIGN HANDBOOK. 5. 6.
- NON-REINFORCED AND REINFORCED CONCRETE MASONRY DESIGN TABLES.
- 7. ACI DESIGN HANDBOOK.

Filoz	r Fee \$10	Koleija VII		FOX POIN	іт	_№ . 8808	
	APPLIC	CATIO	N FOR	BUILDI	NG PEH	RMIT	
Th hereafter Ty	; pe of Structure.	ereby applies ADDTTC Residence, Garage	s for a permit t ON TO P , Store, Office, School,	o build, in accord ESIDENCE Fence, Shed, Sign, Swim	ming Pool, Etc.	information tabulate	
						ock	
Do	oes contemplated	structure vie	olate the Villag	e zoning ordinar	ice? NO		
						(stories or fee	
w	idth (parallel to istance: Street L	highway)	(feet) Line of Structu	Depth (perpend	icular to highv	vay)	t)
Di	stance: Side Lo	ot Line to S	tructure				
Tv	The of Construct	ion: FR	AME	Exterior fir	ish CEDA	2 SIDINCT Biding, Brick Vencer, Etc.	
			-				
Nu							
	Garage	+ /	24 - 20				
Estimate	d cost Building	χ	4,000				
	Structu	re					
Is	there a private g	garage?					
Do	es the contempl	ated garage	violate the Vil	lage zoning ordi	nance?		
Siz	ze			Number of	stalls		
W	here situated						
Ge	neral constructio	n					
						and Human Relation	
	-			-			
						of the Wisconsin A	
	-		-				u-
He	erewith are filed t nform to in the v	he following vork hereby a	duplicate plans. applied for.		in number,	which I certify I wi	
Remarks:	MUM ROOM	BEDRA	ON ADD	TTON1 (20	XIG TO	BACK OF	
						NDATION.	
	• • • • • • • • • • • • • • • • • • • •	•				a construction of the	
	erewith are filed to bmitted.	the specificati	ions that descri	be the work in qu	estion and as s	shown on plans abov	re
In Co	making the app	the erection	undersigned ap of all structure	grees to obey th is and also agrees	e Fox Point I s to obey all ot	Building and Zonin her ordinances of th	lg ne
Vil and is 1 det of sta upo Vil	llage of Fox Poin d fill up any exca herein requested termine that such the public, incluc tutory notices an on the tax roll of	nt, its officers vation, or team in the event premises in ling children, nd consents t a special asse harges incurr	s, agents and en r down, remove of cessation of the unfinished even though tr to the determina essment in the a red in filling up	nployees, to enter or enclose the un the building, wh condition of the espassers. The u ation by the Villa mount of the cos	upon the pren finished structur nenever the Bu structure are d ndersigned furt age Board and t to the Village	s authorization to the nises herein described are for which a permited ilding Inspector shat angerous to member her hereby waives a the levy and placing including customar g down, removing of	ed it Ill rs Ill g
wh	ich will be insta	lled not less	than 15 days af	ter the structure	is occupied.	n the public highway	y
Ad	dress 8540	5 N. RE	WENT RD		1811 W. S	GE & ASSOC	DR
			WI 532 State	17 City GL		State Zij	p
Ph	one H: 351-9	5590		Phone	228-73	00 perint #	99619
	e of Structure	110	(sq. ft.)	Permit Fee	1602	herewith tendere	d
	te Submitted			, 1	\sim \circ	0	
	te Approved			Signed	in Nak	li	
Da				T			

Date of Permit.....

Architect, Owner, Builder

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

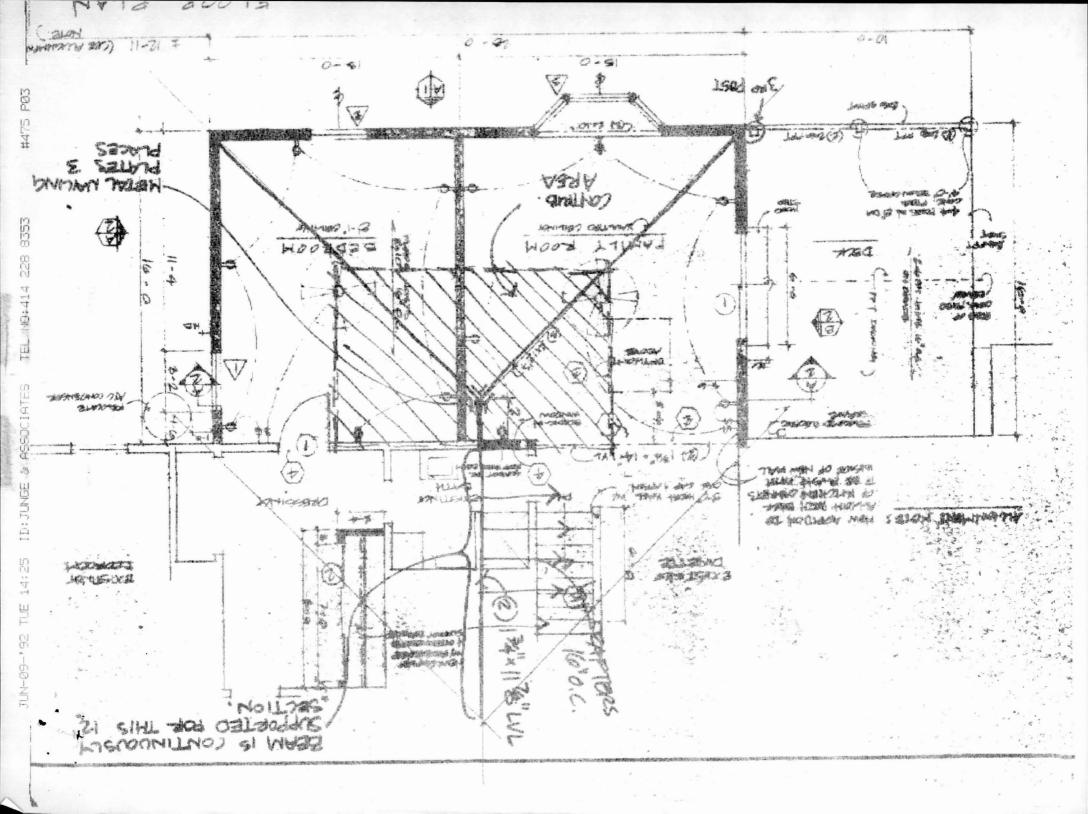
The undersigned hereby applies for a permit to build, in accordance with the information tabulated

herea	after,
	Designation <u>Residence and Jange</u> Duplex, Residence, Apartment, Store, Garage, Theatre
	House Number 8545 7. Regard Rd.
	Lot Block Subdivision _ Frof Point Suburban acres
	Subdivision Frof Point Suburbon acres
	District
	Does contemplated building violate the Village zoning ordinance?
	Height of Building
	Width (parallel to highway)
	Distance: Street Line to Front Line of Porch
	Distance: Side Lot Line to Structure
	Type of Construction: Frame Exterior finish Stone & Celar shakes Frame, Brick-tile Stucco-Siding-Brick Veneer
	Height of front yard above street sidewalk grade
	Number of rooms Sif
	(Comment of Toolins
Estin	nated cost $\begin{cases} Garage & f/2/000, \\ Building & f/2/000, \\ \end{bmatrix}$
	Is there a private garage?
	Does the contemplated garage violate the Village zoning ordinance?
	SizeNumber of stalls2
	Where situated
	General construction France
	Frame—Brick—Stucco
	Have you applied to the Industrial Commission for a permit under the State Building Code?
	Has the permit been granted?
	Herewith are filed the following duplicate plansin number, which I certify I will conform to in the work hereby applied for.
	arks :
	Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.
	In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point.
	The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members

determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the residence is occupied.

Owner of Structur	Donald M.	Bandels' Arc	ch. or Contr. Robe	it Kaa	use
Address 4035	n. Elmhu	Ad Rd. Ad	dress R.R. #2	Cedaro	Lung
Phone 14: 4 -		Pho			d
		(sq. ft.) Permit F			tendered
Date Submitted		d			
Date Approved	6156	Signed	mald M. A	andol:	
Date of Permit					
			Architect, Owner	, Builder	



T-26	93	VILLAGE OF FOX POINT 7200 N. SANTA MONICA BLVD. FOX POINT 53217 414-351-8900		Permit No.	2E USE ON 1282 61241	9 C
Date <u>6-22-92</u> License No. <u>44</u>	APPL	PLEASE TYPE OR PRINT WITH BALL POINT PEN		Rough-in Final	11122	Z Z
License No				L	·	
Builder	;	Owner Occup		/		
JUNGE + ASSOCIATES /	NC	ELIE + AMY BACHAR	SAME	<u> </u>		
Job Address 8545 N. RE	Gen	T RD.				
ESTIMATED COST OF JOB	No.	Description	Qty.	Rate of Fees	Dollars	Cents
Buildings 🗭 Residential	1	Light, switch and convenience outlets	- 18	.35 ea	6	30
	2	Lighting Fixtures	3	.30 ea		90
		Fluorescent Fixtures - per tube		.30 ea		10
	4	Range, Electric		4.00 ea		
	5	Garbage Grinding and Disposal Unit		3.00 ea		1
	6	Dishwasher		4.00 ea		
Remodeling	7	Clothes Dryer		4.00 ea		+
		Water Heaters, Electric		4.00 ea		+
Where on Premises?	9	Gas Burner, Oil Burner or Stoker		5.00 ea		+
Describe <u>REAR OF HOUSE</u>	10			5.00 min		+
	11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		+
	12			10.00 ea		+
	13	Services: Service Switches, ea.	1	5.00 ea	5	00
List Name of Installing Contractor		Service 1. 0 through 100 amps.		5.00 ea	5	
HEATING		2. 101 through 400 amps.		10.00 ea		100
		3. 401 through 600 amps.		10.00 ea		
		4. 601 through 1000 amps.		15.00 ea		+
		5. Thereafter, ea. additional 1000 amps.		5.00 ea		+
	14	Motors over 1/4 HP		.30 per HP or frac		+
Date of Inspection		Fuel Dispensing Pumps		6.00 ea		+
Rough Will Call 🖄		Transformers, Rectifiers and Generators		.30 per KW		+
Final Will Call 🗆	17	Space Heating Systems, per circuit		3.00 ea		+
Service Approval Sent	18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		+
	19	2. Over 30 amps		5.00 ea		+
BEMA BKO	20	Wireways, busways, underfloor raceways or auxillary gutter	·s	.25 per ft		+
REMARKS:	20	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system	<u> </u>	.20 per ft		+
) Cran RORS ?	22	Signs, Electric10 ea. socket, plus .50 ea. add'tl. transform	her	8.00 min		+
	23	Swimming Pool Wiring: A. Inground pools		40.00		+
Comono purios unshills its ph	23	B. Above ground pools	· · · ·	25.00		+
James pron Thurles and	25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		+
Comments Provide installes its pur James Connour 7/18/Az O825 Coverage 134 Deck	26	MINIMUM CHARGE FOR ANY ONE PERMIT		30.00 ea	30	00
when isy incom	27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		<u> </u>
	28	DOUBLE FEES will be charged for any work started before obtaining permit.		Receis	r#20	192
						1
		rmit for the execution of electrical installation for light, heat or ble State and Local Codes and Ordinances regulating the insta		TOTAL FEES	<u> </u>	
of electrical wiring and equipment in the V				Treasurer, Vi		

MARE CHECKS PATABLE IC
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

	\cap	WAIL TO. Electrical inspector
CONTRACTOR CONCEPTS INC.	Supervising Electrician (Signature)	Date (2-22-92
Address N& W22520-F JOHNSON DRIVE	Figephone $548 - 0480$	
City State Zip Code WAUKESHA WI 53,	186	

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

JUN-19-92 FRI 13:40 WEPCO	CALUMET SC.	P.01
- OUTLET	Electric Power Company LOCATION LETTER	REVISION
TO FLECTRICAL CONCL	EPIS Date Prepared	6-19-92
In regard to your inquiry of	for (Overhead) (Underground) service	ce to the (industrial)
(commercial) (residential) (form) premise of	LI BACHAR	
located at 8545 KEGE		
	we require service te	rmination as follows:
New D'Temporary	Rewired	Additional
Single Phase 100 amperes, 120/240	volts, termination loc	raced WEST
atfoor minimum above	(ground) (final moto)	
 B per Electric Service and Motoring Manual Sheets 	0-40-5 M-9, D-5	
EMeter Location (out)-(in) side at: <u>SAMF</u>	AS' AROUF	
Service (drop) (lateral) size	length /20 tensie	5386R
Maximum Single-phase Available Short Circuit Curr		
	22,000 amperes	amperes
🗆 New 🖾 Temporary	🗆 Rewired 🔅 Additional	Power
(Single) (Three) Phase	ninat	ion located
□ at for Post-It [™] brand fax transm	hittal merno 7671 # of pages +	
$\Box \text{ per Electric Service and } \overline{\Box} = \frac{10}{5 \text{ m}} \frac{10}{5 $	FEIL	
$\Box \text{ Meter Location (out) (in } \frac{\mathbb{C}\mathcal{LFCT}}{\mathbb{O}ept}$	Phone # 2001-EIMO	
Survivor (Jenny) (Inc 1) (Inc 1)	$\frac{3370700}{1500}$	
<u> </u>		<u> </u>
	200 amperes	
Installation of WE facilities involves (additional)		amperes
\square The above information is valid for $_ONE$	\bigvee FAR	to construction.
The above information is contingent upon right-of		
The above information is contingent upon		
□ You are advised NOT to proceed with completion have been removed.	of wiring until notified the contingencie	is noted above
On you were advised not to genetics have been removed and you may proceed.	proceed with the completion of the wirin	ig. All the contin-
(28 You may proceed with the completion of wiring.		
□ The location of service drops supports for buildin siding material shall be marked. Mounting bolts w owner, or by his contractor for him, on brick and st	ore provided by the Company and shall b	stos, or other similar einstalled by the
Refer Inquiries to PEGGY PETRT	NOTICE TO CUSTOMER/EL	ECTRICIAN
Propared by Tim REIK	Information provided in this letter does	
<u>CALUMET</u> District	National, State or Local Electrical Code sibility for compliance with the various	
Phone 354-8100	with the customer and/or the customer's	

etterin Sverietais letta (o

To Wis. Elec. Power Co.: Relat		
Premises 8545	N Regent RO	
Owner ELIE	,	·
This is to Certify,	that electrical work done under Permit No	12829 issued by this
DEPARTMENT to	Electrica Concepts' tre cal Code of the Village of Fox Point, Milwaukee	is in conformity with the
Service to Tem	porary Pole 🔲 Temporary Service and Meter to Hot Water Heater Service and Meter 🗌 Other	Building Permanent Service to

• •

N

ś

DEPOSIT AGREEMENT FOR REPAIRS

Property Address 8545 N. Regent Road	Fox Point	Wisconsin	53217
	City	State	Zip
fortgagor's Address 8545 N. Regnet Road	Fox Point	Wisconsin	53217
(After closing)	City	State	Zip
Seller's Address 5350 W. Fond du Lac Avenue	Milwaukee	Wisconsin	53216
(After closing)	City	State	Zip
Mortgagor's Telephone Number		Seller's Telephor	
781-9800	· · ·	3	<u>58–1174</u>
home work		home	work
THIS AGREEMENT, by and between <u>First</u> Seller, and <u>Elie Bacher</u>	Financial Saving		reinafter ca inafter ca
Mortgagor and First Financial Savings Assoc	iation /	hereinafter called	Lender.
WHEREAS, Lender's loan approval on	the above caption	ned property cont	ains a spec
condition that the following repairs be comple	ted at the estima	ted cost shown belo)¥:
	, e [.] .	• • • • • • • • • • • • •	
Mudjack cement slab @ \$ 300.00			
			Sector Contraction
@\$		@ \$	

NOW, THEREFURE, for the purpose of inducing Lender to loan money to be secured mortgage on said property prior to the payment of said repairs and to assure satisfact payment of said repairs, the parties hereto mutually convenant and agree as follows:

1. Mortgagor and/or Seller herewith deposit with Lender and Lender acknowledges rece of the total sum of \$ 450.00 (1 1/2 times the estimated cost) as follo \$ 0.00 from Mortgagor and \$ 450.00 from Seller (the "Repair Deposits"). S funds shall be held and disbursed by Lender for payment of said repairs when the same become and payable.

In addition, an inspection fee deposit of \$50.00 will be charged to the Mortgagor shall be paid at closing. The actual cost of any inspection fees will be paid for by Mortgagor. Any additional funds due for or surplus over the actual inspection fees incurred Lender will be adjusted at the time of final disbursement of Mortgagor's loan proceeds.

Lender shall have the right to comingle all deposits made hereunder with other s funds or with its own funds and shall not be accountable to Mortgagor or Seller for any inter or earnings thereon.

2. Upon full payment of the final cost of said repairs, any unexpended balance of Repair Deposits shall be returned to Mortgagor and/or Seller as follows: 0.00 Mortgagor and 1008 to Seller. Mortgagor and Seller hereby agree to notify Len promptly in writing of any change of their respective addresses for the purpose of refund said funds. In the event either party fails to do so, Lender may at its option apply the amo of such party's refund, if any, to the reduction of the mortgage principal balance, provi that if Lender is subsequently notified of such party's address, Lender shall be entitled (not obligated) to refund such amount to such party and add such amount back to the mortg principal balance.

3. Mortgagor and/or Seller shall cause the above repairs to be satisfactor completed, as determined by Lender in its sole discretion, on or before <u>May 1</u>, 19<u>88</u>. Mortgagor and Seller hereby authorize Lender to enter upon and inspect the premises on or before such date for the purpose of determining the status of the repairs. If such repairs have been satisfactorily completed on or before such date, Lender or its agents or contractors hereby authorized to enter onto said premises and use the Repair Deposits for the completion said repairs and to apply the balance, if any, after the completion of said repairs, to reduction of the mortgage principal balance.

4. In the event the final cost of the said repairs, whether completed by Lender otherwise, exceeds the Repair Deposits, Mortgagor and/or Seller, jointly and severally, will the difference immediately upon demand with no secondary financing in connection therewith. the event of their failure to do so, Lender may, at its option and in addition to any of remedies permitted to Lender hereunder, advance its own funds to cover such shortage and add amounts so advanced to the mortgage principal balance.

5. It is further agreed and understood by the parties hereto that neither Lender, agents nor contractors shall incur any liability in connection with any act or failure to act connection with this agreement. If either Mortgagor or Seller fails to comply with any of terms and conditions set forth herein. Lender may, at its option, call Mortgagor's 1 immediately due and payable.

BY :

Signed	this	<u>10th</u> ay	of_	February	, 19	88	-•
--------	------	----------------	-----	----------	------	----	----

FIRST FINANCIAL SAVINGS ASSOCIATION

	mortgagor
	Mortgagor
LENDER:	

57-01-00380

Account Number

39764-57		
License No	Permit No	,
DEPARTMENT OF ELECT Application for Permit for El VILLAGE OF FOX I	RICAL INSPECTION ectrical Installation	1
TO THE ELECTRICAL INSPECTOR:	Date	
The undersigned hereby applies for a permit for the execution of prescribed:		
Elec. Contractor. ICA CR Elec. TRIC	no not give corner) Address 5070 N 35 M	'il 5320'
Builder		
$Dwner = \left[\frac{1}{2} \frac{1}{2} \right] = \left[\frac{1}{2} \frac{1}{2$		<u>40</u>
What is occupancy of the building EXIST W		
1. Outlets	each\$.30	
2. Fixtures	each	
4. Audible or visual devices		
5. Exhaust and ventilating fans and their control (below 1 H.P.)	each 2.00	*********
6. Built-in electric heaters; bathroom, nursery, etc 7. Garbage Disposal		
8. Dishwasher		
9. Clothes dryer		
0. Range or other receptacles over 150 volts		
I. Water heater		
. Automatic heating equipment — gas, oil, coal		
. Refrigerating, air conditioning, etc., machines		
. Strip lighting, plug in strip, trol-e-duct, etc		
Dimmers or Time Clocks	60011	
. Vacuum and Inert-Gas tube sign Incandescent Signs, studded lights		
. Arc and mercury lamps, spot and floodlights (mogul base)		
. Motors, each horsepower or fraction thereof each motor		
. Generators, rectifiers, transformers, etc		
Feeders or subfeeders No. 3 B & S gauge or larger		
Raceways, wireways, busways, gutters Electric heating devices (other than those listed above)		
. Service equipment — 0-100 cmps. new or overhauling	P01 K.W 1.00	*****
Service equipment — 100 amps. to 600 amps.		
Service equipment — over 600 amps	per disconnect 15.00	
. Temporary service, etc. (3 month period)	10.00	
. Motion picture, stereopticon and x-ray machines, etc Re-inspection after time limit on notice		
. Minimum fee for any permit requiring separate inspection	10.00	
 Double fee shall be charged for any work started before filing an application for a permit. 	MINIMUM FEE 10.00 FEES DOUBLE	XV .
	TOTAL FEES	JP0094
is hereby agreed between the undersigned, as owner, his agent or servant remises and of the permit for the execution of electrical installation, for light, h the Electrical Inspector, that the work thereon will be done in accordance, with the greed to alter or install same in strict compliance with the Village of Fox Point ical Inspector of the Village of Fox Point.	and the Village of For Point that for and in consideration neat or power as above described, to be issued and grant the description herein set forth in this statement, and it is in at Elec. Code and to obey any and all lawful orders of the	of the ed by surther Elec-
EMARKS: Consect illegal	Lomer & more repairs	
IOTE: Electrical contractor shall quote his permit number and th Date Approved Signature	<u>\</u>	
oughing in 2-15-88 Address 7500	(Supervising Eleverician) WTRC	
emp City	700	·····

.

Make check Payable to Treasurer, Village of Fox Point.

.



APPLICATION FOR INSPECTION AND ISSUANCE OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)	
No. <u>2428</u>	Date November 25, 1987
Address 8545 N. Regent Road	Fox Point, Wisconsin.
Type of Proposed OccupancyOwn	er-occupied
Owner of Building First Financi	<u>al Savings Associati</u> on
Building Owner's Address:	
5350 W. Fond du Lac Avenue, M	ilwaukee, Wisconsin 53216
Building Owner's Telephone Number are Proposed Occupant's Name (if known)	a code
	<u> </u>
Proposed Occupant [®] s Present Address	B :
n/a	· · · · · · · · · · · · · · · · · · ·
Proposed Occupant's Telephone Number	er () n/a area code e will not be issued unless repairs or
alterations are performed, they wi	
Owner X Proposed Occupant	Other
	Financial Savings Applicant's Address
NOTE: A copy of a Certificate of will be given to all persons named	Compliance or Notice of Noncompliance above.
Application and fee received:	Date 12-3-87
Rr # 19034	Received by <u><u><u></u></u><u><u><u></u><u></u><u><u></u><u></u><u></u><u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u></u></u></u></u></u>
Inspection made:	Date <u>12-7-87</u>
	Signature Scott MM

November 20, 1987

Village of Fox Point Div. of Code Compliance 7200 N. Santa Monica Fox Point, Wisconsin 53217

RE: 8545 N. Regent Road

Dear Compliance Inspector,

First Financial Savings Association has foreclosed on the above captioned property.

I have enclosed the \$25.00 inspection fee and would like to the the property inspected at this time.

The property is vacant with a lock box on the front door. The combination is JWN.

We will be doing some rehab work on the property, so you may find workers there.

If you have any questions, please feel free to call me at 358-1453.

Sincerely, isteller

Mary Masteller REO Dept. First Financial Savings Assn.

NONCOMPLIANCE NOTICE

Date

 Issued to:
 First Financial Savings Association

 Address:
 5350 W. Fond du Lac Avenue, Milwaukee, WI 53216

An inspection of the premises located at <u>8545 N. Regent Road</u> discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- 1. Handrails are required for all stairs with more than three risers.
- 2. Replace or repair defective faucets in both the kitchen and bathroom.
- 3. Remove, replace or repair all non-Code-complying electrical wiring or components.
- 4. The maximum uniform rise for a step is 8". The back steps are excessive.
- 5. The chimney cap shall be Code-complying or removed.
- 6. RELIEF VALVE ON HOT WATER HEATER is DESELTIVE.

The premises at the above address shall be brought in compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.

The occupant or proposed new occupant of the premises feeling aggrieved by the action of the Building Inspector may appeal to the Board of Appeals following the usual procedure on appeal from an order of the Building Inspector within thirty (30) days of the above date.

Building Inspector Village of Fox Point

, . . ·

CERTIFICATE OF COMPLIANCE

No	2444	Date15, 1988
Issued	to	First Financial Savings Association
Address	3	5350 W. Fond du Lac Avenue, Milwaukee, WI 53216

This Certificate of Compliance permits a change in the occupancy of the premises located at <u>8545 N. Regent Road</u>

in Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Foint Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.

Building Inspector Village of Fox Point

. . . ⁶.

APPLICATION FOR INSPECTION AND ISSUANCE OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)				·
No. <u>1140</u>	Date	ADRI	28, 198	3/
Address 8545 N. K	Legent. Re	,	Fox Poin	t, Wisc.
Type of Proposed Occupancy:		-		
Owner of Building <u>Uncer</u>	t Li Chri	stive Su	Ilivan C	<u>71BBE</u> ns
Building Owner's Address:			• •	
SAME		j -		
No. Stre	et	City	State	Zip
Building Owner's Telephone N	Io. <u>(1/14 ·)</u> area code	352-3	426	
Proposed Occupant's Name (i	f known)			<u></u>
Proposed Occupant's Present	Address:			
No. Stre	et	City	State	Zip
Proposed Occupant's Telephor	ne No. <u>(</u> area) code		
If a certificate of con	npliance will n	ot be issued	unless repa	irs or alter-
ations are performed, they w	ill be made by	:		
Owner Proposed	d Occupant	c	ther	
Philip Mulling A	Libbens	SAMO		
Applicant's signature		Applican	t's address	
NOTE: A copy of certificate of all persons named above.	of compliance	or noncompli	ance will be	given to
Application and fee received:	Date	4/28/2	1 Pert H	4.56.0
	Signature	R	Jelel.	·
Inspection Made: $5^{\frac{00}{2}}$ Ck.	Date		29-81	2
5-	Signature	lert	H. J.	nt

CERTIFICATE OF NONCOMPLIANCE

April 29, 1981
Date
Issued to Vincent L. & Christine Sullivan Gibbens
Address 8545 N. Regent Road
An inspection of the premises located at <u>8545 N. Regent Road</u>
discloses noncompliance with codes
or ordinances of the Village of Fox Point as hereafter listed.
1. Maximum uniform rise for a step is 8" - rise for step to front
entry stoop is excessive.
2. Remove, replace or repair non-code complying electrical wiring
or components.

The premises at the above address shall be brought into compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.

Building Inspector Village of Fox Point

. ..

CERTIFICATE OF COMPLIANCE

No. <u>1048</u>	Date <u>May 13, 1981</u>
Issued to Vincent and Christine G	libbens
Address 8545 N. Regent Road	
This Certificate of Compliance perm	nits a change in the occupancy of the premises
located at <u>8545 N. Regent Road</u>	3
in Fox Point, Wisconsin, any time	within one year from the date hereof, and
indicates that so far as can reason	ably be determined by a visual inspection of
the premises and a review of the V	village records, the premises meet the requirements
of Section 30P.62 of the Fox Point	Building Code. This certificate is issued for the
benefit of the Village of Fox Point	in the enforcement of Section 30P.62 of the Fox
Point Building Code. Neither the V	Village of Fox Point nor the Building Inspector
assumes any liability in or as a re	esult of the inspection or issuance of this
Certificate of Compliance and by t	he issuance of this Certificate of Compliance does
not guarantee or warrant as to the	condition of the premises inspected.

.

Building Inspector Village of Fox Point

2523

APPLICATION FOR INSPECTION AND ISSUANCE OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly) No. <u>543</u> Date May 12, 1978 Address <u>8545 N. REGENT RD.</u> Fox Point, Wisc. Type of Proposed Occupancy: _____ Owner of Building DONALD IN. BANDOLI Building Owner's Address: <u>8545 N. REGENT RD</u> <u>MILW' W15.53217</u> No. Street City State Zip Building Owner's Telephone No. (414) 352-0236 area code Proposed Occupant's Name (if known) Proposed Occupant's Present Address: No. Street City Zip State Proposed Occupant's Telephone No. () If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by: Owner _____ Proposed Occupant_____ Other _____ Donald M. Bandolf 8545 N. Regard Ro Applicant's signature Applicant's address

NOTE: A copy of certificate of compliance or noncompliance will be given to all persons named above.

Application and fee received: Date

<u>5/15/18</u> Dec # 37759 R. Well

Inspection Made:

Erld Amp

Signature

Date

Signature

CERTIFICATE OF NONCOMPLIANCE

	<u>May 18, 1978</u>
	Date
Issued to	Donald M. Bandoli
Address	8545 N. Regent Road
An	inspection of the premises located at8545 N. Regent Road
	discloses noncompliance with codes
or ordinan	ces of the Village of Fox Point as hereafter listed.
<u> 1. M</u>	laximum uniform rise for step is 8"-step to rear stoop is excessive.
2. C	ode complying separation required between residence & attached garage.
	emove, replace or repair non-code complying electrical wiring &
C(omponents. here is no record of the required permits, inspections, or approval
oi	f electrical or building installations in the basement or room west f garage.
5. S	leeping rooms are prohibited in the basement.

The premises at the above address shall be brought into compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.

Building Inspector Village of Fox Point

CERTIFICATE OF COMPLIANCE

	/
No.	_3/4

Date June 27, 1978

Issued to Donald M. Bandoll

Address 8545 N. Regent Road

Building Inspector Village of Fox Point

Rec # 11769 7/11/156 No. 11044 VILLAGE OF FOX POINT MILWAUKEE COUNTY, WISCONSIN APPLICATION FOR PERMIT TO THE INSPECTION DEPARTMENT: The undersigned hereby applies for a permit for the execution of electrical installation for light, heat or power, as hereinafter prescribed. 1. Location 3545- \mathcal{H} (Ke Rd. Give exac not give corner.) 2. Owner le Bano . M. 3. Lot. Block... Subdivision. 4. Building or structure 5. Contractor alberts. Elect. License No. Number Rate of Fees Fees 6. Lighting Outlets ______ \$.10 \$.00 7. Fixtures ______ .05 75 8. Range Circuit or Outlet... 1.00 1.00 9. Range Connection 1.00 10. Water Heaters & other Heating Devices...... 1st Kilowatt 1.00 1.40 Each Additional Kilowatt 2.00 11. Refrigerating Machines _____ 12. Oil Burners and Stokers 1.00 1.00 2.00 2.00 .10 .20 Studded Lights including their 15. Individual Outlets05 16. Rectifiers and Transformers 1.00 ervice disepection 56 Demp Estimated cost \$... Total fees. Wiring will call. Note: Minimum Fee \$1.00 will call 19 Date of inspection Enclosed please find \$....

It is hereby agreed between the undersigned person, firm or corporation and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of the electrical installation, for light, heat or power, as particularly described in this application, the work will be done in accordance with all of the provisions of all ordinances regulating the installation of electrical work, electric wiring and apparatus in the Village of Fox Point and all of the subsequent amendments thereto.

Signed Carmello S - Albert Address /7040 - W-Wis ave Brochfield

Village of Fox Point, Milwaukee County, Wisconsin Inspector of Buildings Department

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

This is to Certify,	that electrical work done under Permit No	issued by thi
DEPARTMENT to	Electrical Concepts, Inc. al Code of the Village of Fox Point, Milwaukee County,	is in conformity with the
	at code of the vinage of Fox Point, Milwaukee County,	wisconsin.
INSTALL:		
Service to Tem	porary Pole Temporary Service and Meter to Buildin Hot Water Heater Service and Meter Other	g 🛛 Permanent Service to

Eas Point	AND A CONTRACT OF A CONTRACT OF	Lot	Blk.	Subd.	
Suburbon al	res	4	1		
being No. 3545 on	the	weit side o	f	Elaint Pd.	
The above named is perm	nitted t	o employ C. M	310 1	hel .	a Licensed
Plumber for the purpose of			(*) (*) (*) (*) (*) (*) (*) (*) (*) (*)		
	No. 12 CO. CONTRACT SALES		ALC: NO CONTRACTOR OF STREET,		
from Main to Curb to Lo					
feet smith of			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	and the second	
Or of laying a					
and a lot				A54	
Fixtures with drain or wa	ater con	nnection	a le ver		
har and he was	No.	and the second of the	No.		No.
Bath tubs	1	Sump Pump	1	Wash Basins	2
	1	Sinks	1	Water Closets	2
Laundry tubs	A Contraction	M-AAABU			The second second second second second
Laundry tubs Basement drains	1	Showers	11	Hot Water Heater	17

· · · ·			
	WATER PI	ERMIT	
Permit No. 1652 Applie	cation No.	Fox Point, Wis	
Permission is hereby given	to do the work neces		r the premises of
Description	Lot	Blk.	
Der Point	4	1	
being No	employinch ainch	b to building at	pipe from Main to
	to the Rules and Regula t and amendments. Permit \$ 'ixtures \$		
		WATER INSPECTOR	R. C.
		PERMIT CLERK	

Permission is hereby	given to do the necessa	ing più	mong work on the pre	emises o
1.4			described as	follows
Lot	Block		Subdivision	
ocated at 8545	- 1 Recent	10		
	21	1	Zurlet	
he above named is permi	tted to employ	Ţ	ang	
icense No. MP417	6 for the purpose	of lavir	ng ainch	
anitary Building Sewer f	from Main to Curb to Lot lir	ne to P	remises. Connection to be	made in
	feet	01		
	feet			
aying a	inch	Build	ling Storm Sewer	
aying a	inch	Build	ling Storm Sewer	
aying a	er connection:	Build	ling Storm Sewer	
_aying a	inch	Build	ling Storm Sewer	
_aying a	er connection:	Build	ling Storm Sewer	
_aying a	er connection:	Build	ling Storm Sewer	
Laying a Fixtures with drain or wate Hose Bibs	er connection: No. Water Heaters	Build	ling Storm Sewer	
Laying a Fixtures with drain or wate Hose Bibs Bath Tubs	er connection: No. Water Heaters Wash Mach Waste	Build	ling Storm Sewer Water Closets Showers	
Laying a Fixtures with drain or wate Hose Bibs Bath Tubs Sump Pumps	inch er connection: No. Water Heaters Wash Mach Waste Bidets	Build	ling Storm Sewer Water Closets Showers Floor Drains	
Laying a Fixtures with drain or wate Hose Bibs Bath Tubs Sump Pumps Laundry Trays	inch er connection: No. Water Heaters Wash Mach Waste Bidets Catch Basins	Build	ling Storm Sewer Water Closets Showers Floor Drains Food Waste Grinders	
Laying a Fixtures with drain or wate Hose Bibs Bath Tubs Sump Pumps Laundry Trays Drinking Fountains	inch er connection: No. Water Heaters Wash Mach Waste Bidets Catch Basins Dishwashers	Build	Ing Storm Sewer Water Closets Showers Floor Drains Food Waste Grinders Sprinkling Systems	

Building	Drain	\$

Rec'd for Permit \$ Receipt # 37337

Plumbing Inspector

Village of Fox Point, Milwaukee County, Wisconsin

15 23

Inspector of Buildings Department

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to Premises	d. Fox Point
Donald Bandell	Fox Point
Owner. This is to Certify, that electrical work	done under Permit Noissued by this
DEPARTMENT to provisions of the Building Code of the Village of I	
Install: Service	on house
Remarks	
Dated	Electrical Inspector, Village of Fox Point.

Village of Fox Point, Milwaukee County, Wisconsin

Inspector of Buildings Department



Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to Premises	
This is to Certify, that electrical work done	under Permit No4044issued by this
DEPARTMENT to	
Install: Service	Meters
Remarks Temporary Service	Sonald D. Wieland
July Lay	Electrical Inspector, Village of Fox Point.

Pac # 1200	29	9/11/56
------------	----	---------

VILLAGE OF FOX POINT

9/10/56 No. 14-27 Chk ,

APPLICATION FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner 🔲	
Fuel: \square \square \square \square \square GasOilCoalElect.	
9	
Forced Air,	Radiant, Baseboard, Etc.
Desc. of Heating Plant yas forced	air perimeter heat
Ŭ	
Vented to <u>Chimney</u>	
Size	Location
Summer Air Conditioner 🗍	
Size(Ton, H.P.)	
Coolant(100, 101.)	
Compressor Coolant: Air []; Water []; If Water Cooled:	
Discharged to	
o	
Remarks	
	· · · · · · · · · · · · · · · · · · ·
	iar with Ordinances No. 158, 229, and all amendments nform in all respects to said ordinances and all other
	the State of Wisconsin. Any variations of the above
may cause immediate revocation of the permit, if gr	anteu.
Owner Jablouski & Lewis Address of Work_ 8545 97 Regent Ro	20
Address of Work_8545 77.01-egent Ro	×
Lot Block	Subdivision
Contractor Htd Heating & Im Co line	Subdivision
	5 2 47/7
Address 2926 IN Jorest Home ave	Phone <u>Ev. 3.0717</u>
	Robert Schrece
Approven: Do al () Do a	Signed
Jorald Hent-	
- w ming	Date



1. Fischer 2461 Plumber. Owner Donald Bandoli Address 2 2 6 6 - 7 6 8 Application and Record Drainlayer. Address..... 992 Dr. 6-To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of Talling plansconsisting of PERMITS ISSUED laying a inch. dalaying a. Inch. Coffee Curb Curb; drain pipe from Main to service pipe from Main to Kind No. line lot ... inch service pipe from to to premises at curb to 2440 Sewer and Plumbing. <u>building</u> at No..... No. 8545- Reger Ba 8545 - Regento 1652 Water Remarks:.... Remarks:..... 14.81 St 158 Meter the following premises owned by. Name of owner Address Description Lot Block burton · Cer In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers. License No. 3011 To anon incher Plumber T FEES 1.00 Settling Trench \$ FIXTURES WITH DRAIN OR WATER CONNECTIONS Sanitary Sewer Connection..... 6.50 No. No. Water Connection00 Z 1 Water Heater Bath Tubs Wash Basins..... 1 2 5.50 Water Closets Sump Pump..... Fixtures 1..... Laundry Tubs Showers..... Water Meter 00 Basement Drains. Sanitary Bubblers.... Total Sinks..... Garbage Disposal Deposit to cover street repairs Pl Water Heater. Permit coppe water service pipe was laid in..... lat inch. len Curb box is located feet.feet. building permit An sta See lone C.S.t. 2 bot tie ce .inch... sanitary sewer connection was made in. 2220 to not southof manhole.. sewer connection was made feet of manhole Outside Drain House Drain Report Inspection Soil and Under Floor Report **Final Inspection** Return Water 9-11-56 9-11-56 9-6-56 OK. OK. OK. On On.... Off.... Off..... Application Approved. Installation Approved..... Water and Plumbing Inspector As Built..... REMARKS COMPLAINT RECORD A. Bodger Metty # 6031766 Jewera D.F. 50 # 3582 W 50 43 Bermit #

Owner Donald Bandoli Plumber C. S. Fischer

2461 Permit No.

Street 8545 N. R. egent Rd.

2523