



VILLAGE OF FOX POINT
 7200 N. SANTA MONICA BLVD.
 FOX POINT, WI 53217
 (414) 351-8900

APPLICATION FOR INSPECTION AND
 ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date April 20, 2015

Building Address 102 West Willow Road, Fox Point WI 53217

Owner of Building Rebecca & Daniel Kennedy

Owner's Address if different than above 9948 North Otto Road, Mequon WI 53092

Owner's Telephone (414) 550-2138 (Recky) / 414-530-3801 (Dan)

Proposed Occupant's Name (if known) John & Andrea Wallace

Name and Address and/or Email where the Notice of Noncompliance and Certificate of Compliance should be sent:

rfrihart@hotmail.com ; jdK9576@yahoo.com
9948 North Otto Rd. Mequon WI 53092

PLEASE NOTE:

- ◆ A certificate of compliance will not be issued unless repairs or alterations are completed.
- ◆ It is the applicant's responsibility to schedule an inspection with the Village Inspector.

Rebecca Kennedy
 Applicant's Name - PRINTED

Rebecca Kennedy
 Applicant's Signature

For Office Use Only:	
Application No. <u>6953</u>	Date Received <u>4/24/15</u>
Amount <u>\$100.00</u> -Single Family	Receipt No. <u>#8.000361</u>
Amount <u>\$ 50.00</u> -Apartment	Receipt No. _____
Inspection Made <u>5/15/15</u>	By _____
Date	Inspector

LOCK BOX
 1-3-5
 6649

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217

NONCOMPLIANCE NOTICE

May 5, 2015

Issued to: Rebecca and Daniel Kennedy

Address: 102 W. Willow Road

An inspection of the premises located at 102 W. Willow Road discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- ~~1.~~ Please provide a code compliant vacuum breaker on your laundry tub faucet.
2. The inspection revealed that you are in the process of reroofing your home. In checking Village records, I fail to find any record of a permit ever having been issued for this work Please obtain this permit.
- ~~3.~~ Please provide a code compliant smoke and carbon monoxide detector on each floor level of your home including the basement.
4. Observed that there is an improperly installed plastic-sheathed cable that is improperly attached to the bottom of the floor joist in your closet which is located near the bottom of your basement stairway. Please bring this installation into code compliance.



Scott Miller

Building Inspector
Village of Fox Point

** Please be aware that Village Code requires permits for plumbing and electrical work.*

**Please be aware that all work done prior to obtaining a permit will require a double fee pursuant to Village Code.*



INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

May 13, 2015

NO. 6649

Issued to: Rebecca and Daniel Kennedy

Mailing Address: Rebecca and Daniel Kennedy
9948 N. Otto Rd.
Mequon, WI and Via Email Address

This Certificate of Compliance permits a change in the occupancy of the premises at **102 W. Willow Rd.**, Fox Point, WI, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 756-48 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 756-48 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.

Scott Miller
Building Inspector
Village of Fox Point

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

Date Submitted 5-6-15

No. 16163

APPLICATION FOR BUILDING

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Project Roof Replacement Address 102 W Willow rd
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Underground Storage Tank, Etc.

Lot _____ Block _____ Subdivision _____ District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____ (feet)

Type of Construction: _____ Exterior finish _____
Frame, Brick-tile, etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Garage _____

Estimated cost Building 12,125.00

Structure _____

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of Stalls _____ Where Situated _____

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work

hereby applied for: _____

Remarks: Tear-off / Re-Roof entire house w/ new 30yr lead coated
Landmark Dimensional Shingles.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Rebecca Kennedy Arch. or Contr. Community Planning & Rest.

Address 102 W. Willow rd Address PO Box 170927

City Fox Point State WI Zip 53217 City WFB State WI Zip 53217

Phone 550-2138 Phone # 414-332-1139 232-0754

Size of Structure 229 (sq. ft.) Permit Fee 230.38 Receipt #8-000383

Dwelling Contractor Certification No. 1513656 Expires _____
compliance x2 fees

Dwelling Contractor Qualifier Certification No. 1513657 Expires _____

Building Contractor Certification No. _____ Applicant Signature _____
Architect, Owner, Builder

Date of Approved 5/7/15 -230.38 fee
Builder Inspector



Wisconsin Department of Safety and Professional Services

Credential/Licensing Search

Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
1213656	<u>COMMUNITY ROOFING & RESTORATION INC.</u>	DELAFIELD WI 53018	Dwelling Contractor	4/25/2016

[Return to Search](#)

Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.

Send questions or comments to dsps@wisconsin.gov.



Wisconsin Department of Safety and Professional Services

Credential/Licensing Search

Trade Search Results

[Return to Search](#)

Total Result Count: 1

Credential/License ID	Name	City,State,Zip	Profession	Expiration
1213657	<u>FRAUNDORF,</u> <u>JOSH</u>	DELAFIELD WI 53018	Dwelling Contractor Qualifier	3/1/2017

[Return to Search](#)

Consistent with The Joint Commission and NCQA standards for primary source verification. Data on this page is refreshed hourly.

Send questions or comments to dsps@wisconsin.gov.

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 7421

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Fence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 102 West Willow Road

Lot 12 & 13 Block 7

Subdivision Savings and Investment Assoc. Subdivision No. 24

District

Does contemplated structure violate the Village zoning ordinance? NO

Height of Structure 42" (3 1/2') (stories or feet)

Width (parallel to highway) 120 (feet) Depth (perpendicular to highway) 90 (feet)

Distance: Street Line to Front Line of Structure 19' (feet)

Distance: Side Lot Line to Structure 6'

Type of Construction: cedar picket Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure \$3500

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction
Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans 1 in number, which I certify I will conform to in the work hereby applied for.

Remarks: Copy of survey with proposed fence included

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Daniel and Kathryn Howell Arch. or Contr. Treetops Landscape Design

Address 102 W. Willow Road Address 2069 N. Port Washington Rd. Grafton

Phone 351-3526 Phone 375-2050

Size of Structure 400 feet (sq. ft.) Permit Fee \$26.00 herewith tendered

Date Submitted Aug. 28, 1985 Rec. # 13543

Date Approved 9-6-85 Signed Kathryn L. Howell

Date of Permit Architect, Owner, Builder

403



Becker POST AND LUMBER CO.

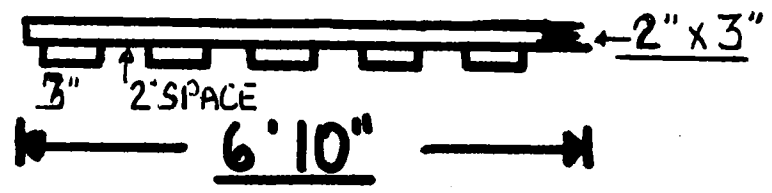
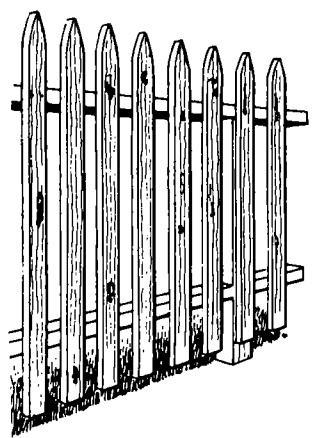
7360 N. TEUTONIA AVE. - MILWAUKEE, WIS. 53209

DATE

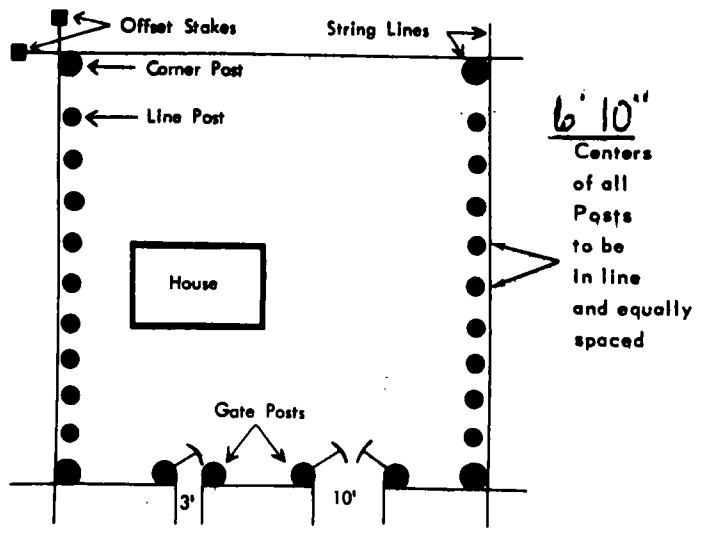
COUNTRY CHARM® CEDAR PICKET

CATALOG #4

Add beauty to your home with a fully machined fence constructed of northern white cedar with uniform pickets 3" wide, spaced 2" apart, with gothic points. Assembled in 6'10" sections.



	1 To 9 Sec.	10 or More	No. of Sec.	\$ Amt.	4% Tax
36" HIGH					
42" HIGH					
48" HIGH					
4" x 7 ft. POSTS					
FLAT TOP		SPUN TOP			
HINGES		GATE LATCH			
GALV. NAILS		OLYP. STAIN			



PLUS TAX - CASH & CARRY

PREVENT TRESPASSING

PROTECTS CHILDREN AND PETS

MARK BOUNDRIES

POOL ENCLOSURE



FLAT - SPUN TOP - CORNER SPUN TOP

BECKER POST & LUMBER CO.

7360 N. TEUTONIA AVE.

MILWAUKEE, WIS. 53209

352-5520

Plumber Riversid Plumbing
 Address N44W32810 Watertown Plank Rd
 City, State, Zip Nashotah WI 53058
 Tel. No. (262) 367-3000

No. 12791

Owner Kennedy
 Address 102 West Willow Rd
 Date 6-3, 20 13

Application and Record

Village of Fox Point
 7200 N. Santa Monica Blvd.
 Fox Point, WI 53217
 (414) 351-8900

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT:

The undersigned hereby make application to do the work of plumbing consisting of
 laying a N/A inch Laying a N/A inch
 builder sewer from Main to Lot line water service from Main to Lot line
 to Building to Building
 at

102 West Willow Rd Fox Point, WI
 Address at which work is to be done

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>12745</u>
Water	
Street	
Meter	
Water Usage	

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

State Master Lic.# 227638 Expir. 12-31-13 Building Contractor Reg# 1112069 Expir. 12-31-13
[Signature], Applicant
 (A current certificate of insurance must be provided when doing work in road right of way (ROW)).

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	
Bath Tubs	
Sump Pumps	
Laundry Trays	
Drinking Fountains	
Sinks	
Water Heaters	
Wash. Mach. Wastes	
Bidets	
Catch Basins	
Dishwashers	
Wash Basins	<u>1</u>
Water Closets	<u>1</u>
Showers	<u>1</u>
Floor Drains	
Food Waste Grinders	
Sprinkling System	
Urinals	

FEES

Water Usage	\$
Building Sewer	
Water Service	
Building Drain	<u>50</u>
Fixtures	<u>3 @ 8 = 24</u>
Water Meter	
Total	<u>\$74</u>
Deposit to cover street repairs	<u>Receipt # 43846</u>

A _____ inch _____ water service pipes laid in _____

Curb box is located _____ feet _____ of _____ feet _____ of _____

_____ inch _____ Water Meter No. _____ Date Installed _____

A _____ inch _____ sanitary sewer connection was made in _____

_____ feet _____ of manhole _____

A _____ inch _____ storm sewer connection was made in _____

_____ feet _____ of manhole _____

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved _____ Application Approved _____, 20 _____

As Built _____
 Water and Plumbing Inspector _____

Search for Individual or Company by Credential ID here:Specific Credential ID

2 record(s) were returned by your search.

ID	Name	City,State,Zip	Credential Type	Expiration
227638	<u>SARINSKE,</u> <u>TRAVIS H</u>	OCONOMOWOC WI 53066	Cross Connection Control Tester	11/08/15
227638	<u>SARINSKE,</u> <u>TRAVIS H</u>	OCONOMOWOC WI 53066	Master Plumber	03/31/16

Receipt No: 1.043846

Jun 06, 2013

102 W WILLOW ROAD

LICENSES & PERMITS-PLUMBING PERMIT	74.00
24-44470 PLUMBING PERMIT	

Total:	<u>74.00</u>
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CHECK	Chk No: 7806	74.00
Total Applied:		<u>74.00</u>

Change Tendered:	<u>.00</u>
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06/06/13 09:19am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

VILLAGE OF FOX POINT

7200 N. Santa Monica Blvd.
Fox Point 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	20488
Received	5/21/13
Service	
Rough-In	
Final	

APPLICATION FOR ELECTRICAL PERMIT

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Date 05/14/13

License No. 1108740

Builder <u>CARMEL BUILDER INC</u>	Owner <u>DAN KENNEDY & REBECCA FRIHART</u>	Occupant <u>SAME</u>
Job Address <u>102 W. Willow</u>		

	No.	Description	Qty.	Rate of Fees	Dollars	Cents
ESTIMATED COST OF JOB <u>\$1,500.00</u>	1	Light, switch, and convenience outlets	11	.70 ea	7	70
Buildings <input checked="" type="checkbox"/> Residential	2	Lighting Fixtures	5	.70 ea	3	50
<input type="checkbox"/> Commercial	3	Fluorescent Fixtures - per tube		.70 ea		
<input type="checkbox"/> Industrial	4	Range, Electric		8.00 ea		
<input type="checkbox"/> Institutional	5	Garbage Grinding and Disposal Unit		8.00 ea		
<input type="checkbox"/> New Construction	6	Dishwasher		8.00 ea		
<input type="checkbox"/> Additional Rooms	7	Clothes Dryer		8.00 ea		
<input checked="" type="checkbox"/> Remodeling	8	Water Heaters, Electric		8.00 ea		
<input type="checkbox"/> New Occupancy	9	Gas Burner, Oil Burner, or Stoker		8.00 ea		
Where on Premises? <u>BASEMENT</u>	10	Refrigerating, Air Cooling, or similar machine - .25 per HP		8.00 min		
Describe <u>BATHROOM</u>	11	Feeders - No. 6 A.W.G. or Larger		10.00 ea		
	12	Temporary Service Permit for: How Long?		30.00 ea		
List Name of Installing Contractor	13	Services: Service Switches, ea.		5.00 ea		
HEATING _____		Service 1. 0 through 100 amps.		25.00 ea		
AIR CONDITIONING _____		2. 101 through 400 amps.		40.00 ea		
PLUMBING _____		3. 401 through 600 amps.		40.00 ea		
		4. 601 through 1000 amps.		60.00 ea		
		5. Thereafter, ea. additional 1000 amps.		5.00 ea		
	14	Motors over 1/4 HP		.70 per HP or frac.		
	15	Fuel Dispensing Pumps		6.00 ea		
	16	Transformers, Rectifiers, and Generators		2.00 per KW		
	17	Space Heating Systems, per circuit		4.00 ea		
	18	Power receptacles - 120 Volts or over 1. Through 30 amps.		3.00 ea		
	19	2. Over 30 amps.		5.00 ea		
	20	Wireways, busways, underfloor raceways, or auxiliary gutters		.50 per ft.		
	21	Strip Lighting, Plug-in Strip, Trol-E Duct, or similar system		.50 per ft.		
	22	Signs, Electric-.75 ea. socket, plus 2.00 ea. add'l transformer		8.00 min		
	23	Swimming Pool Wiring: A. Inground pools		40.00		
	24	B. Above ground pools		40.00		
	25	Spas, Hot-Tubs, Hydromassage Bathtubs		6.00		
	26	MINIMUM CHARGE FOR ANY ONE PERMIT		60.00		
	27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
	28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 43698
TOTAL FEES \$60.00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>TRIPLE T ELECTRIC, LLC</u>	Supervising Electrician (Signature) <u>Terry E. Romes</u> Date <u>05/14/13</u>
Address <u>N46W5818 HAMILTON RD</u>	Telephone <u>262-377-8361</u> <u>C-414-659-7806</u>
City <u>CEDARBURG</u> State <u>WI</u> Zip Code <u>53012-2541</u>	

Receipt No: 1.043698

May 21, 2013

102 W WILLOW ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT	60.00
24-44430 ELECTRICAL PERMIT	

Total:	<u>60.00</u>
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CHECK	Chk No: 11218	60.00
Total Applied:		<u>60.00</u>

Change Tendered:	<u>.00</u>
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05/21/13 12:44pm

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

Date Submitted _____

No. 15364

APPLICATION FOR BUILDING

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Project New Basement Bathroom Address 102 W. Willow Road
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Lot _____ Block _____ Subdivision _____ District _____

Does contemplated structure violate the Village zoning ordinance? _____

Height of Structure _____ (stories or feet)

Width (parallel to highway) _____ (feet) Depth (perpendicular to highway) _____ (feet)

Distance: Street Line to Front Line of Structure _____ (feet)

Distance: Side Lot Line to Structure _____

Type of Construction: _____ Exterior finish _____
Frame, Brick-tile, etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade _____

Number of rooms _____ Baths _____

Garage _____

Estimated cost Building _____

Structure \$17,500

Is there a private garage? _____

Does the contemplated garage violate the Village zoning ordinance? _____

Size _____ Number of Stalls _____ Where Situated _____

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval? _____

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code? _____

Herewith are filed the following duplicate plans _____ in number, which I certify I will conform to in the work

hereby applied for:

Remarks: Add a full bathroom to basement, adjacent to existing rec room.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Dan & Rebecca Kennedy Arch. or Contr. Carmel Builders, Inc

Address 102 W. Willow Road Address N85 W16100 Appleton Ave.

City Fox Point State WI Zip 53217 City Menomonee Falls State WI Zip 53051

Phone 414-530-3801 Phone 262-255-2230

Size of Structure _____ (sq. ft.) Permit Fee 167⁰⁰ Receipt 43860 6/6/13

Dwelling Contractor Certification No. 1457 Expires 2014

Dwelling Contractor Qualifier Certification No. 1065997 Expires 2013

Building Contractor Certification No. 1457 Applicant Signature _____

Date of Approved 6/4/13  Architect, Owner, Builder

 Builder Inspector Louis M. Weiler

Search for Individual or Company by Credential ID here:	
Specific Credential ID	<input type="text" value="1065997"/>
<input type="button" value="Search"/>	

1 record(s) were returned by your search.

ID	Name	City,State,Zip	Credential Type	Expiration
1065997	<u>WEIHER,</u> <u>LOUIS M</u>	MILWAUKEE WI 53210	Dwelling Contractor Qualifier	11/30/13

Search for Individual or Company by Credential ID here:	
Specific Credential ID	<input type="text" value="1457"/>
<input type="button" value="Search"/>	

1 record(s) were returned by your search.

ID	Name	City,State,Zip	Credential Type	Expiration
1457	CARMEL BUILDERS INC.	MENOMONEE FALLS WI 53051-3044	Dwelling Contractor	07/07/13

LOUIS M WEIHER
6502 W MOLTKE AVE
MILWAUKEE WI 53210

This is your new Certification, License, or Registration Card.

ID: 1065997

LOUIS M WEIHER

Certification, License, or Registration Name

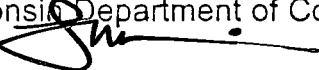
Expires

Dwelling Contractor Qualifier Certification

11/30/13

Wisconsin Department of Commerce

Signature:



Plumber Installation Management
Address 2309 Lathrop Ave
City, State, Zip Palme WI 53405
Tel. No. 262-456-4815

No. 12378

T-131 P0001/0004 F-209
Owner Rebecca Kennedy
Address 102 Willow Rd W.
Date Aug. 22nd, 20 11

Application and Record

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
(414) 351-8900

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT:
The undersigned hereby make application to do the work of plumbing consisting of
laying a _____ inch _____ Laying a _____ inch _____
builder sewer from Main to Lot line water service from Main to Lot line
to Building at to Building

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>12792</u>
Water	
Street	
Meter	
Water Usage	

102 Willow Rd
Address at which work is to be done _____ Fox Point, WI

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

State Master Lic.# 938468 Expir. 3-31-14 Building Contractor Reg# 1112932 Expir. _____
Applicant _____

(A current certificate of insurance must be provided when doing work in road right of way (ROW)).

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	
Bath Tubs	
Sump Pumps	
Laundry Trays	
Drinking Fountains	
Sinks	
Water Heaters	
Wash. Mach. Wastes	
Bidets	
Catch Basins	
Dishwashers	
Wash Basins	
Water Closets	
Showers	
Floor Drains	
Food Waste Grinders	
Sprinkling System	
Urinals	

FEEES

Water Usage _____ \$
Building Sewer _____
Water Service _____
Building Drain _____
Fixtures _____
Water Meter _____
Total _____
Deposit to cover street repairs _____

SPD
Receipt # 38092

A _____ inch _____ water service pipes laid in _____
Curb box is located _____ feet _____ of _____ feet _____ of _____

_____ inch _____ Water Meter No. _____ Date Installed _____

A _____ inch _____ sanitary sewer connection was made in _____
_____ feet _____ of manhole _____

A _____ inch _____ storm sewer connection was made in _____
_____ feet _____ of manhole _____

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved _____ Application Approved _____, 20 _____

As Built _____
Water and Plumbing Inspector _____

Search for Individual or Company by Credential ID here:	
Specific Credential ID	<input type="text" value="938468"/>
<input type="button" value="Search"/>	

3 record(s) were returned by your search.

ID	Name	City,State,Zip	Credential Type	Expiration
938468	<u>LAUMANN,</u> <u>JOSHUA</u> <u>JOHN</u>	WIND LAKE WI 53185	Journeyman Plumber-Restricted Appliance	03/31/12
938468	<u>LAUMANN,</u> <u>JOSHUA</u> <u>JOHN</u>	WIND LAKE WI 53185	Master Plumber- Restricted Appliance	03/31/14
938468	<u>LAUMANN,</u> <u>JOSHUA</u> <u>JOHN</u>	WIND LAKE WI 53185	Plumbing Learner- Restricted Appliance	06/27/05

Search for Individual or Company by Credential ID here:	
Specific Credential ID	<u>1112932</u>
<input type="button" value="Search"/>	

1 record(s) were returned by your search.

ID	Name	City,State,Zip	Credential Type	Expiration
1112932	<u>INSTALLATION MANAGEMENT, INC.</u>	SOMERS WI 53171-0207	Building Contractor	07/22/13

Receipt No: 1.038092

Sep 06, 2011

7058 N FAIRCHILD

LICENSES & PERMITS-PLUMBING PERMIT 50.00

24-44470 PLUMBING PERMIT

102 W WILLOW ROAD

LICENSES & PERMITS-PLUMBING PERMIT 50.00

24-44470 PLUMBING PERMIT

Total: 100.00

CHECK Chk No: 3333 100.00

Total Applied: 100.00

Change Tendered: .00

Duplicate Copy

09/06/11 12:02pm

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 13897

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure RESIDENCE
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 102 W WILLOW RD FOX PT WI

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Frame, Brick-tile, Etc. Exterior finish Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building \$16,200

Structure

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: BATHROOM REMODEL - 47 SQ FT.

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Rebecca FRYMART / DAN KENNEDY Arch or Contr CARMEL BUILDERS

Address 102 W WILLOW DR Address N85 W16100 N APPLETON AVE

City FOX POINT WI 53211 City MENOMONEE FALLS WI 53051

Phone 919 530 3801 Phone 262 255 2230

Size of Structure (sq. ft.) Permit Fee \$154.00 REC# 28194 herewith tendered 3/16/09

Date Submitted State ID# Exp. Date

Date Approved 3/12/09 Signed Dan Kennedy for Carmel Builders

Date of Permit Architect, Owner, Builder

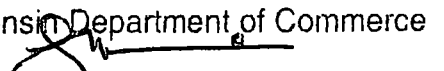
Id: 1460
THOMAS M WEIHER

Certification, License, or Registration Name	Expires
Dwelling Contractor Qualifier Certification	09/14/09

Wisconsin Department of Commerce
Signature: 

Id: 1065997
LOUIS M WEIHER

Certification, License, or Registration Name	Expires
Dwelling Contractor Qualifier Certification	11/30/09

Wisconsin Department of Commerce
Signature: 

Id: 1457
CARMEL BUILDERS INC

Certification, License, or Registration Name	Expires
Dwelling Contractor Certification	05/06/09

Wisconsin Department of Commerce
Signature: 

No. 11142 C

Plumber Sixel + Schwinn Inc
Address N7677 Rausch Rd
Tel. No. 920-565-2131
Sheboygan, WI 53083

Application and Record

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

Owner ANDREA Hoogerland
Address 102 WEST WILLOW RD
Date 1-22, 2007

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building
at

102 WEST WILLOW RD. Fox Point, Wis.
Address at which work is to be done

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>11086</u>
Water	
Street	
Meter	
Water Usage	

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP 9743 JEFFREY SIXEL/SIXEL + SCHWINN Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters	Sprinkling System
Wash. Mach. Wastes	Urinals
Bidets	
Catch Basins	

FEES

Water Usage	\$	
Building Sewer		
Water Service		
Building Drain		
1- Fixtures		
Water Meter		
Total		
Deposit to cover street repairs		

INSTALL 1/2" GAS LINE TO FIREPLACE

PERMIT FEE 50.00
GAS LINE 8.00
50.00
Permit Clerk [Signature] # 20200

A inch water service pipes laid in
Curb box is located feet of feet of

..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in
..... feet of manhole

A inch storm sewer connection was made in
..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved Application Approved 20

As Built Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

Receipt No: 1.020200

Jan 25, 2007

102 W WILLOW ROAD

LICENSES & PERMITS-PLUMBING PERMIT	50.00
24-44470 PLUMBING PERMIT	

Total:	<u>50.00</u>
--------	--------------

CHECK	Chk No: 2137	50.00
Total Applied:		<u>50.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

01/25/07 08:37am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217

NON COMPLIANCE NOTICE


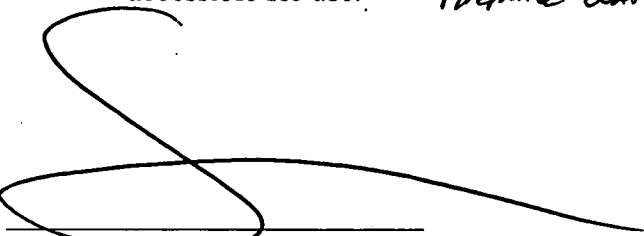
January 11, 2007

Issued to: Andrea Hoogerland

Address: 102 W. Willow Road

An inspection of the premises located at 102 W. Willow Road Lane discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

1. Please obtain a permit for the installation of your fireplace insert. Also, please submit documentation showing that this unit was installed in accordance with the code.
2. Please properly close all open electrical boxes as required by code.
3. It has been brought to my attention that your fireplace chimney is in serious need of repairs. Please properly repair your fireplace chimney back to its original condition or seal off your fireplace opening so that it is no longer accessible for use. *Fireplace was sealed to prevent use.*



Scott Miller
Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

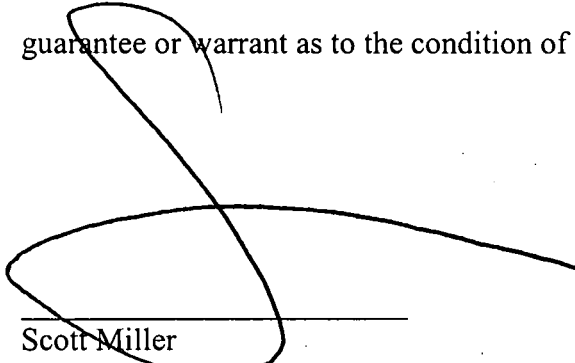
January 25, 2007

NO. 5610

Issued to: Andrea Hoogerland

Address: 102 W. Willow Road

This Certificate of Compliance permits a change in the occupancy of the premises at 102 W. Willow Road, Fox Point, WI, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Scott Miller
Building Inspector
Village of Fox Point

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 13138

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 102 W Willow Rd.

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure (fireplace - \$3500.00)

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction
Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: See attached

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Andrea Hoogerland Arch. or Contr.

Address same as above Address

City State Zip City State Zip

Phone Phone

Size of Structure (sq. ft.) Permit Fee \$500.00 pd 1-15-07; Rec# 20101 herewith tendered

Date Submitted State ID# Exp. Date

Date Approved Signed Courtenae Hoogerland (mom)

Date of Permit 414-303-2740 cell
Architect, Owner, Builder

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217

NON COMPLIANCE NOTICE

January 11, 2007

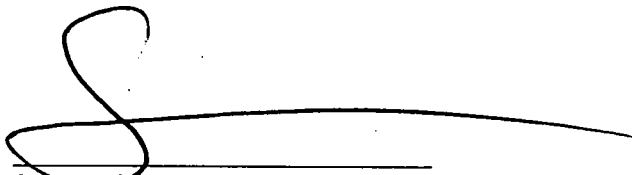
Issued to: Andrea Hoogerland

Address: 102 W. Willow Road

An inspection of the premises located at 102 W. Willow Road Lane discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

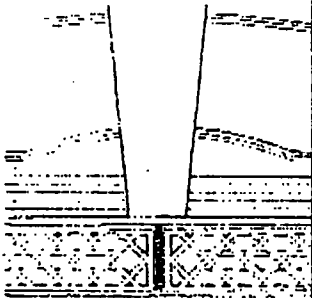
See attached

1. Please obtain a permit for the installation of your fireplace insert. Also, please submit documentation showing that this unit was installed in accordance with the code.
2. Please properly close all open electrical boxes as required by code.
3. It has been brought to my attention that your fireplace chimney is in serious need of repairs. Please properly repair your fireplace chimney back to its original condition or seal off your fireplace opening so that it is no longer accessible for use.



Scott Miller
Building Inspector
Village of Fox Point

**GI 450 DV Katahdin
Gas Fireplace Insert**



**Installation
and
Operation
Instructions**



WARNING:

IF THE INFORMATION IN THESE INSTRUCTIONS ARE NOT FOLLOWED EXACTLY, A FIRE OR EXPLOSION MAY RESULT CAUSING PROPERTY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE.

FOR YOUR SAFETY:

DO NOT STORE OR USE GASOLINE OR OTHER FLAMMABLE VAPORS AND LIQUIDS IN THE VICINITY OF THIS OR ANY OTHER APPLIANCE.

INSTALLATION:

INSTALLATION AND SERVICE MUST BE PERFORMED BY A QUALIFIED INSTALLER, SERVICE AGENCY OR LICENSED GAS SUPPLIER.

WHAT TO DO IF YOU SMELL GAS:

- DO NOT TRY TO LIGHT ANY APPLIANCE.
- DO NOT TOUCH ANY ELECTRICAL SWITCHES.
- DO NOT USE THE PHONE IN YOUR BUILDING. IMMEDIATELY CALL YOUR GAS SUPPLIER FROM A NEIGHBOR'S PHONE.
- FOLLOW YOUR GAS SUPPLIER'S INSTRUCTIONS.
- IF YOU CANNOT REACH YOUR GAS SUPPLIER, CALL THE FIRE DEPARTMENT.

AVERTISSEMENT:

ASSUREZ-VOUS DE BIEN SUIVRE LES INSTRUCTIONS DANS CETTE NOTICE POUR REDUIRE AU MINIMUM LE RISQUE D'INCENDIE OU POUR EVITER TOUT DOMMAGE MATERIEL, TOUTE BLESSURE OU MORTALITE.

NE PAS ENTREPOSER NI UTILISER D'ESSENCE NI OU LIQUIDES INFLAMMABLES DANS LE VOISINAGE DE CET APPAREIL OU DE TOUT AUTRE APPAREIL.

L'INSTALLATION LE SERVICE DOIVENT ETRE EXECUTES PAR UN INSTALLATEUR QUALIFIE, AGENCE DE SERVICE OU LE FOURNISSEUR DE GAZ.

QUE FAIRE SI VOUS SENTEZ UNE ODEUR DE GAZ.

- NE PAS TENTER D'ALLUMER L'APPAREIL.
 - NE TOUCHEZ A AUCUN INTERRUPTEUR.
 - NE PAS VOUS SERVIR DES TELEPHONES SE TROUVANT DANS LE BATIMENT OU VOUS VOUS TROUVEZ.
 - APPELEZ IMMEDIATEMENT VOTRE FOURNISSEUR DE GAZ CHEZ UN VOISIN. SUIVEZ LES INSTRUCTIONS DU FOURNISSEUR.
 - SI VOUS NE POUVEZ REJOINDRE LE FOURNISSEUR DE GAZ, APPELEZ LE SERVICE DES INCENDIES.
-

Jøtul GI 450 Katahdin Direct Vent Gas Fireplace Insert

Manufactured and Distributed by:
Jøtul A.S.A.
Fredrikstad, Norway
Jøtul North America
Portland, Maine

Test Standards

This appliance complies with National Safety standards and is tested and listed by Intertek Testing Services of Middleton, Wisconsin to ANSI Z21.88-2002 • CSA 2.33-M02 and CAN/CGA 2.17--M91, CSA P4-01.2 for Canada.

MEA No. 312-00-E



THIS PRODUCT MUST BE INSTALLED BY A LICENSED PLUMBER OR GAS-FITTER WHEN INSTALLED IN THE COMMONWEALTH OF MASSACHUSETTS.



www.nficertified.org

We at Jøtul North America are dedicated to manufacturing the finest quality hearth products you can be assured will give you many years of safe, dependable service.

To ensure your confidence, we recommend that whenever possible, our products be installed and serviced by professionals who are certified by the National Fireplace Institute (NFI) or, in Canada, by Wood Energy Technical Training (WETT).



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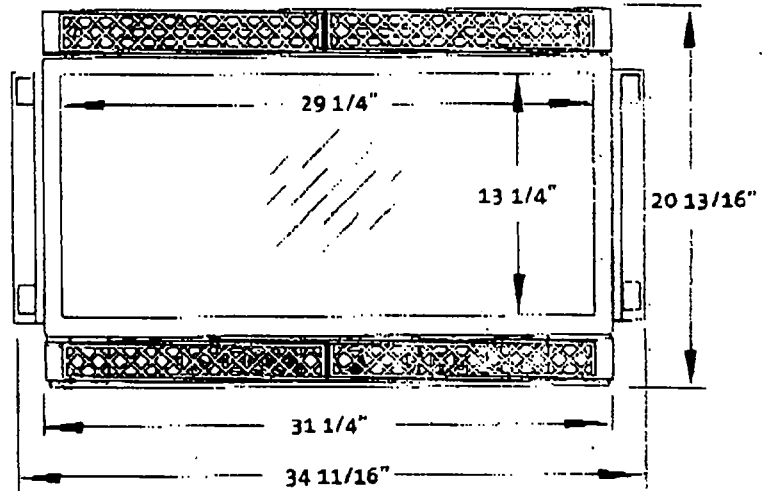
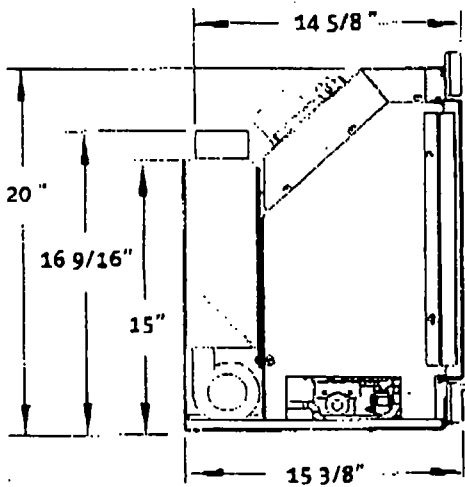
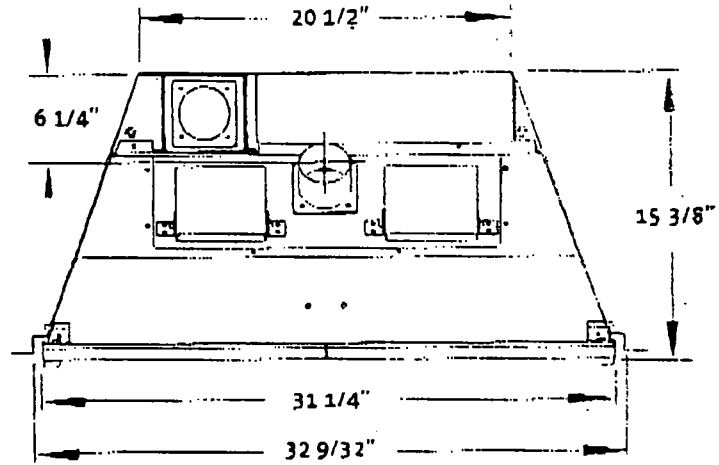
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THIS OWNER'S MANUAL PROVIDES INFORMATION TO ENSURE SAFE INSTALLATION AND EFFICIENT, DEPENDABLE OPERATION OF YOUR FIREPLACE INSERT. PLEASE READ THESE INSTRUCTIONS IN THEIR ENTIRETY AND MAKE THEM AVAILABLE TO ANYONE USING OR SERVICING THIS GAS INSERT.

DO NOT ATTEMPT TO ALTER OR MODIFY THE CONSTRUCTION OF THIS APPLIANCE OR ITS COMPONENTS. ANY MODIFICATION OR ALTERATION WILL VOID THE WARRANTY, CERTIFICATION AND LISTING OF THIS APPLIANCE.

GI 450 DV Katahdin Specifications

MEASUREMENTS INCLUDE
THE FRONT GRILL ASSEMBLIES
AND ARE NOT TO SCALE.



Input Rates

Natural gas

33,000 BTU/hr. maximum input

26,000 BTU/hr. minimum input

Propane

33,000 BTU/hr. maximum input

26,000 BTU/hr. minimum input

**THIS APPLIANCE IS SHIPPED TO
USE NATURAL GAS ONLY. FOR USE
WITH PROPANE, INSTALL PROPANE
CONVERSION KIT #154903,
INCLUDED WITH THIS APPLIANCE.**

Suggested Tool List for Installation and Maintenance

- External regulator (for LP only)
- Piping which complies with local code
- Manual shutoff valve
- Sediment trap
- Tee joint
- Pipe wrench
- Pipe sealant
- 10mm open end wrench
- 1/2", 7/16" open end wrench
- Phillips head screwdriver
- Flat head screwdriver
- 1/4" nut driver
- Gloves
- Safety glasses
- Torx T20 screwdriver
- Leak test solution

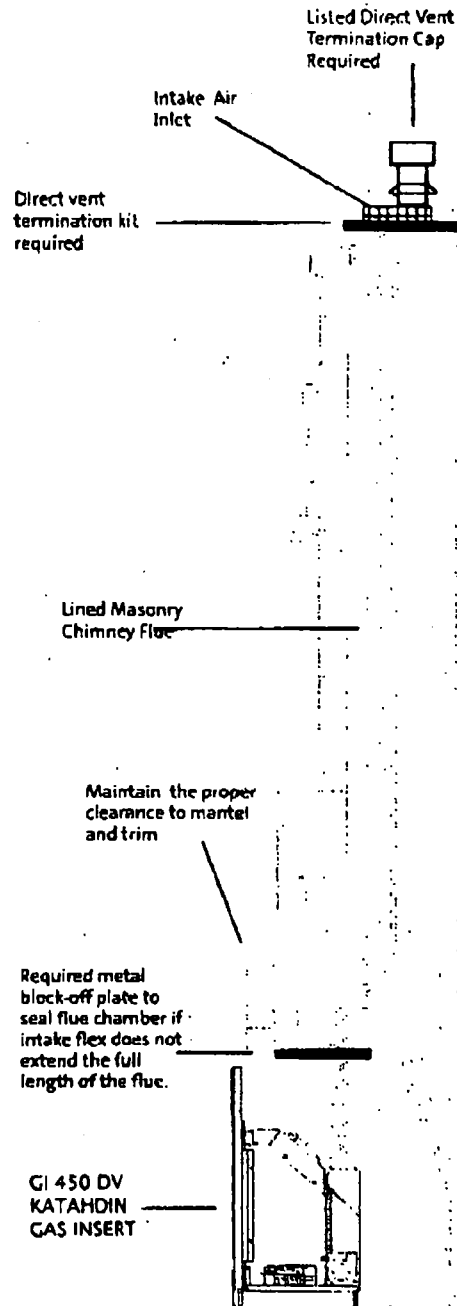
Venting through a Masonry Fireplace

1. Measure height of the chimney to fireplace opening. Determine if both the intake and exhaust will be extended to the top of the chimney. **In Canada, both liners must extend the full length of the chimney and be connected to both the unit and the termination kit.**
2. Cut the appropriate lengths of flex duct for both the intake and exhaust. Label both ends of the Exhaust duct.
3. Follow the manufacturer's instructions to attach the ends of the duct(s) to the chimney termination kit as appropriate.
4. Drop the liners down the chimney from the top and rest the termination kit atop the chimney.
5. Seal the chimney termination kit to the top of the chimney flue with high temperature sealant.
6. Secure the appropriate direct vent cap to the termination kit.
7. Inside the fireplace, fully extend the duct and trim any excess so that the ends hang approximately 15" from the floor of the fireplace.
8. If the Intake duct is not attached to the chimney termination kit:
 - A. Install a minimum 6 foot length flex duct for the up the flue.
 - B. A METAL block-off plate must be constructed and installed in the damper area to **completely seal off** the flue from the room. Cut holes in the plate for both the Intake and Exhaust liners.
 - C. A direct vent cap is required to allow fresh air into the chimney flue and ultimately into the intake duct to the insert.
9. Compress the ducts so that they are hanging above the height of the fireplace opening and are out of the way.
10. Position the insert without surround panels half-way inside the fireplace and attach duct you labelled Exhaust to the Exhaust collar on the insert. Both Intake and Exhaust collars are labelled.
11. Secure the ducts to the collars with sheet metal screws or hose clamps. No silicone or sealant is required.
12. Once the gas line is installed, carefully push the unit inside the fireplace.

See page 13 for gas line gas line connection.

See page 19 for surround panel installation.

Fig. 2. Venting through fireplace chimney.



Warning: Failure to position the parts in accordance with this diagram or failure to use only parts specifically approved with this appliance may result in property damage or personal injury.

Vent Guidelines

- All vent components must be installed in accordance with the terms of their listing and manufacturer's instructions.
- The minimum height of termination cap from the top of the unit shall be no less than 10', and the maximum height shall be no more than 35'. See figures 2 and 4.
- Steep roofs, nearby trees, or predominantly windy conditions can promote weak draft or occasional downdrafts. In such cases, increasing the height of the vent or installation of high wind termination caps may alleviate the condition.
- **HORIZONTAL RUNS are not permitted anywhere in the venting system.**
- Venting liners CANNOT be less than 3" in diameter or greater than 3" in diameter.
- Any *unused* flue or masonry enclosure can be used as a passageway for venting PROVIDED the flue is relined using 3" Listed Flexible Gas Liner.
- The remaining space around the liner in a masonry or zero-clearance flue CANNOT be used to vent any other appliance.
- Listed Flexible Gas Liners may not be exposed to any living space.
- Installation of any components not manufactured or approved by Jøtul or failure to meet all clearance requirements will void all warranties and could result in property damage, bodily injury, or loss of life.
- Never modify any venting component, or use any damaged venting product.
- **THE GAS APPLIANCE AND VENT SYSTEM MUST BE VENTED DIRECTLY TO THE OUTSIDE OF THE BUILDING, AND NEVER ATTACHED TO A CHIMNEY SERVING A SOLID FUEL OR GAS BURNING APPLIANCE.**
- The minimum vent height above the roof or adjacent walls is specified by building codes. A general guide to follow is the Gas Vent Rule below.

GAS VENT RULE		
ROOF SLOPE	Minimum Height From Roof	
Flat to 6/12	1'0"	0.3M
Over 7/12 to 9/12	2'0"	0.6M
Over 10/12 to 12/12	4'0"	1.2M
Over 13/12 to 16/12	6'0"	1.8M
Over 17/12 to 21/12	8'0"	2.4M

Vent Installation Procedure

The GI 450 DV Katahdin gas insert must be vented through dual 3" flexible gas aluminum liners listed for use with gas appliances.

This co-linear installation includes a pair of 3" flex ducts that run from the insert up through the existing chimney.

One duct is attached to the exhaust port on the back of the unit and will carry the exhaust gases to the outside of the house. This exhaust liner must run the full length of the chimney and be directly connected to the chimney termination cap. See figure 2.

The other 3" liner will be attached to the intake port on the back of the unit and will provide fresh air for combustion to the unit. This liner must extend a minimum of 6' off the back of the unit and extend through the damper area of the fireplace and into the tile liner of the chimney. This liner can also extend the full length of the chimney and connect to the termination cap. See figures 2 and 4.

VERY IMPORTANT

If the intake flex *does not* extend the full length of the chimney and connect to the unit and the termination cap - **A METAL BLOCK OFF PLATE MUST BE CONSTRUCTED AND INSTALLED ABOVE THE UNIT BELOW THE END OF THE INTAKE DUCT** (normally at the damper area). See figure 2.

To avoid cross venting the insert, label the duct to be used for the exhaust conduit at both the top and bottom ends. This ensures that the exhaust duct will be attached to the correct collar on the insert and on the chimney termination kit.

CANADA NOTE: Both Intake and Exhaust ducts must extend the full length of the chimney and be connected to both the unit and the termination kit.

VERY IMPORTANT NOTICE:

THE USE OF AN EXISTING CHIMNEY AS AN AIR INTAKE IS NOT COVERED UNDER THE ANSI Z21.88-1999-CSA 2.33-M99 TEST METHODS AND RESULTING ITS/WHI PRODUCT CERTIFICATION. THE CODE AUTHORITY HAVING JURISDICTION MUST BE CONSULTED PRIOR TO PROCEEDING WITH THIS INSTALLATION METHOD.



INSTALLATION INSTRUCTIONS
FOR DIRECT VENT GS CHIMNEY
LINER SYSTEM FOR USE WITH GAS
APPLIANCES

APPLICATION

These instructions apply to the Simpson Dura-Vent Direct Vent GS Chimney Liner System. This venting system, in combination with the gas appliance, has been tested and listed as a decorative gas appliance system, or as a direct vent heater system by a major testing agency such as UL, AGA, CGA, Omni or Warnock Hersey. Check the manufacturer's rating plate and instruction manual to confirm that the Simpson Dura-Vent Direct Vent GS Chimney Liner System is approved for use on the brand name appliance you have selected.

IMPORTANT

Read all instructions carefully before starting the installation. Failure to follow these instructions may create a fire or other safety hazard, and will void the warranty. Be sure to check the appliance manufacturer's installation instructions for specific venting and clearance to combustibles requirements, which may vary from one appliance to another. **Do not extend the venting system in excess of the distance prescribed in the appliance manufacturer's installation instructions.**

INSTALLATION PRECAUTIONS

The Simpson Dura-Vent Direct Vent Chimney Liner System is an engineered product that has been designed and tested for use with an approved list of direct vent gas appliances. The Simpson Dura-Vent warranty will be voided, and serious fire, health, or other safety hazards may result from any of the following actions:

- Installation of any damaged Chimney Liner component.
- Unauthorized modification of the Chimney Liner System
- Installation of any component part not manufactured or approved by Simpson Dura-Vent.
- Installation other than as instructed by Simpson Dura-Vent and the appliance manufacturer.

Consult your local building codes before beginning the installation.

WARNING

• **Always maintain required clearances (air spaces) to nearby combustibles to prevent a fire hazard.** Be sure to check the appliance manufacturer's installation instructions for minimum clearance requirements between the outer walls of the vent pipe/liner system and nearby combustible surfaces. Be sure to check the vent termination clearance requirements from decks, windows, soffits, gas regulators, and air supply inlets, as specified in local building codes.

• **The gas appliance and vent system must be vented directly to the outside of the building, and never be attached to a chimney serving a separate solid fuel or gas-burning appliance.** Each direct vent gas appliance must use its own separate vent system. Common vent systems are prohibited.

SAFETY PRECAUTIONS FOR THE INSTALLER

- Wear gloves and safety glasses for protection.
- Exercise extreme caution when using ladders or on roof tops.
- Be aware of electrical wiring locations in walls and ceilings.

PARTS LIST

The Simpson Dura-Vent Direct Vent Chimney Liner System offers a complete line of component parts for installation. Please see our catalog for details.

Number	Description
923F	Co-Linear Flex Connectors
923GK	Direct Vent Chimney Liner Termination Kit (Baseplate & Co-Linear to Co-Axial Adaptor)
923GCL	Co-Axial to Co-Linear Appliance Connector (Standard)
923TCL	Co-Axial to Co-Linear Appliance Connector

- (Connector for Travis Industries)
- 923VCL Co-Axial to Co-Linear Appliance Connector
(Connector for Vermont Castings)
- 980 Vertical Termination Cap
- 991 Vertical Termination Cap, High Wind
- 2280 3" Chimney Liner Flex
- 790 3" Flex Puller (rope not included)

PLANNING YOUR INSTALLATION

The Direct Vent Chimney Liner System was designed to be installed in an existing masonry or zero clearance chimney, and connected to either a stove, insert or other appropriate direct vent gas appliance. (Figure 1) It is important to carefully measure the length of flex needed to reach from the appliance outlet to the termination cap. If the flex length is too short, a flex coupler will be needed to attach an additional length of Flex Liner to make up the difference. If the flex length is too long, the liner could sag below the appliance outlet which could result in a potential fire hazard.

Note: For installation in a zero

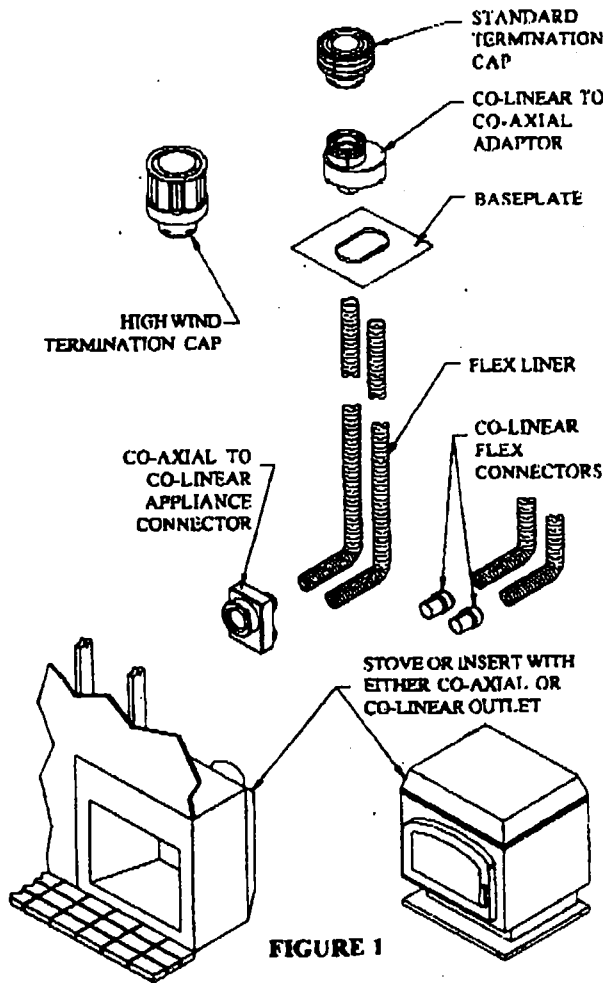


FIGURE 1

clearance chimney, you must have at least a 7" I.D. in order to run the two lines of FlexLiner needed.

INSTALLATION IN MASONRY OR ZERO CLEARANCE CHIMNEY

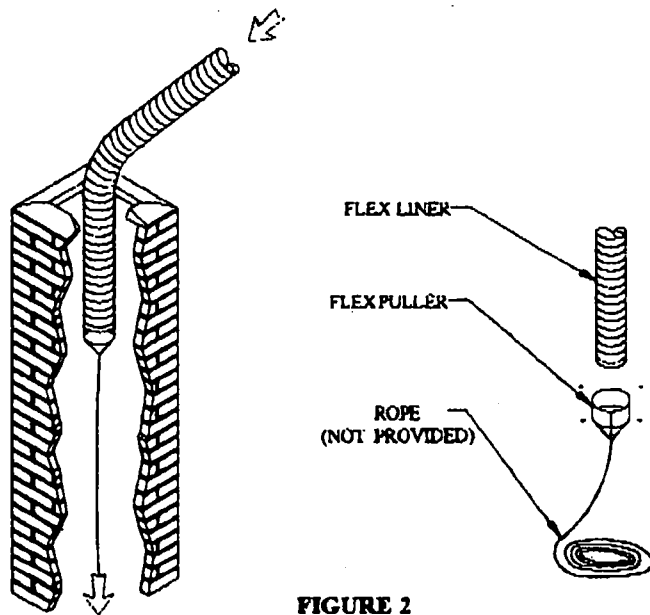


FIGURE 2

Step 1. Measure and record dimensions to determine total Flex Liner length requirements (see instructions below for details).

Step 2. Insert a rope through the end of the Flex Puller and tie a knot at the end of the rope. Attach the Flex Puller to the Flex Liner using four sheet metal screws as shown. (Figure 2) Carefully feed the liner down the chimney (masonry or zero clearance) and out through the damper. One person should feed

the liner through the chimney, and another person should pull the liner from the bottom, using the rope to guide the liner through to the chimney bottom.

Note: If additional lengths of Flex Liner are needed span the chimney height, use a Flex Coupler to connect the pieces of Flex Liner together. Connect the flex to the coupler by using four sheet metal screws for each side. (Figure 3)

Step 3. After carefully feeding the Flex Liner down the chimney to the bottom, form an angle to line up the Flex Liner with the vent opening on the appliance.

Important: Do not let the Flex Liner sag below the level at which it will connect to the

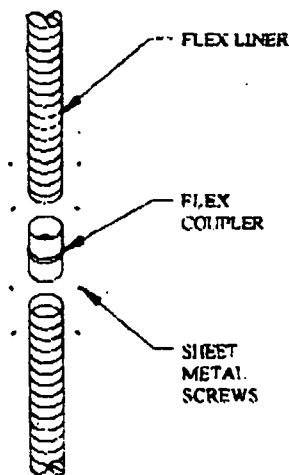


FIGURE 3

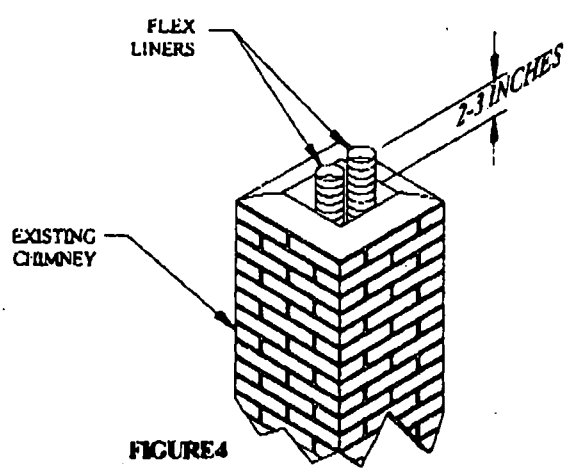


FIGURE 4

appliance or connector. This could allow hot gas to become trapped and potentially become a fire hazard. The Flex Liner path should always be sloped up toward the Termination Cap.

Step 4. Remove the Flex Puller from the Flex Liner and temporarily secure the Flex Liner at the top of the chimney. Be sure to leave 2-3 inches of flex above the existing chimney to allow for

connection to the Termination Kit (Baseplate and Adaptor). (Figure 4)

Step 5. Repeat Steps 1-4 for the second length of Flex Liner.

Step 6. At the top of the chimney, slide the Baseplate over the two ends of the Flex Liner and secure it to the surrounding masonry using masonry anchor bolts. Before installing the baseplate, run a bead of non-hardening sealant between the Baseplate and the masonry to prevent moisture from entering the chimney. (Figure 5)

Note: Verify that there is sufficient room to mount the Baseplate

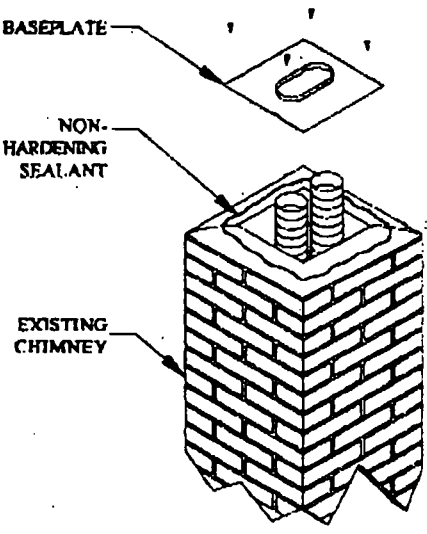


FIGURE 5

on to the masonry. You must have a level surface in order to install the Baseplate properly.

Step 7. Attach the Flex Liner ends at the top of the chimney to the Co-Linear to Co-Axial Adaptor. Use four sheet metal screws to connect each Flex Liner run to the Adaptor. (Figure 6)

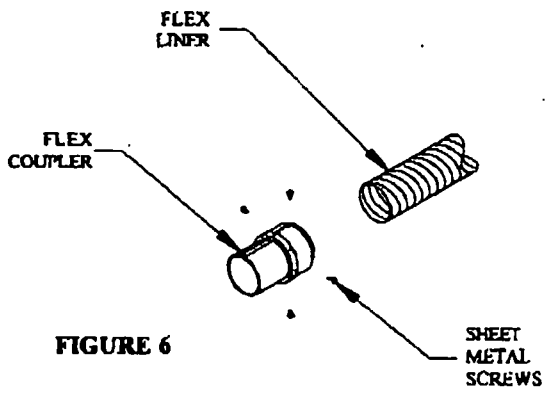


FIGURE 6

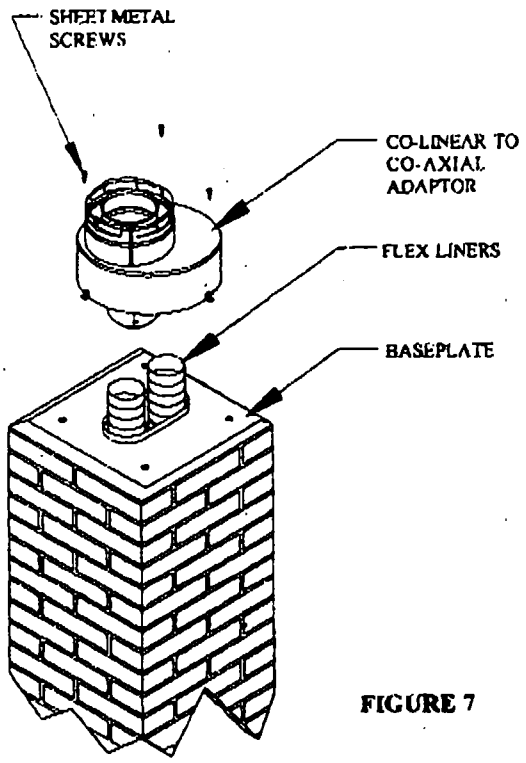


FIGURE 7

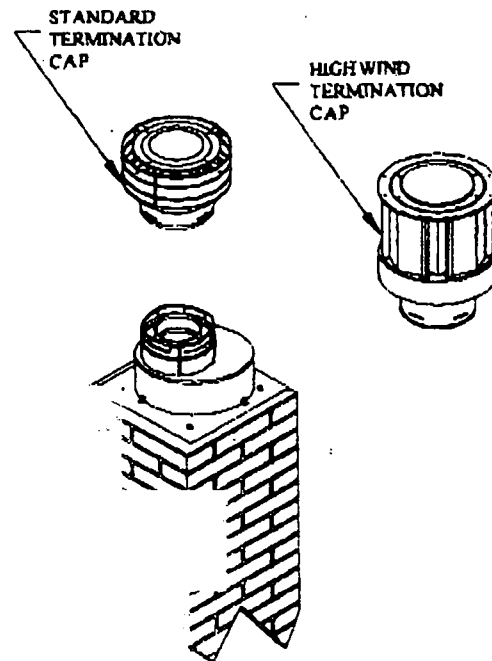
Mount the Adaptor to the Baseplate using sheet metal screws as shown. (Figure 7)

Step 8. Twist lock the Vertical Termination Cap (Standard or High Wind) to the Adaptor. (Figure 8)

Note: If you are planning to extend the height of the chimney using Direct Vent GS Pipe, please refer to the Direct Vent Installation Instructions for information concerning the proper procedure and restrictions of Direct Vent Pipe. Also, consult the appliance manufacturer for any height restrictions on the chimney.

Step 9. Depending upon the type of connection that your appliance has, it will require either the Co-Linear Flex Connectors or a Co-Axial to Co-

Linear Appliance Connector in order to attach the Flex Liners to the appliance. For the Co-Linear connection, attach the Co-Linear Flex Connectors to the two outlets on the back of the appliance. See the appliance manufacturer's instructions for details. Connect the two Flex Liner runs to the Connectors using four sheet metal screws each. For the Co-Axial connection, twist lock the Co-Axial to Co-Linear Appliance Connector to the adaptor on the appliance. Attach the Flex Liners to the Appliance



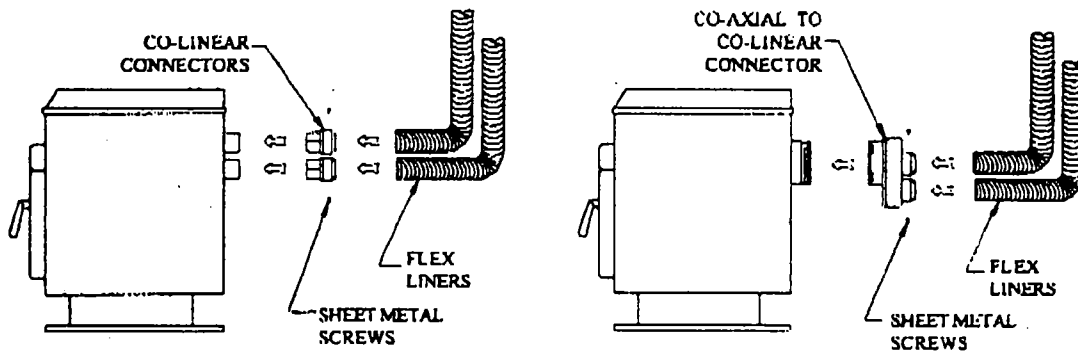


FIGURE 9

GENERAL MAINTENANCE

Conduct an inspection of the venting system semiannually. Recommended areas to inspect are as follows:

1. Check areas of the Venting System which are exposed to the elements for corrosion. These will appear as rust spots or streaks, and in extreme cases, holes. These component should immediately be replaced.
2. Remove the cap and remove any bird nests, or other foreign material.
3. Check for evidences of excessive condensate, such as water droplets forming in the liners, and subsequently dripping out at joints. Continuous condensate can cause corrosion of caps, liners, and fittings. It may be caused by having exterior portions of the system being exposed to cold weather.

LABELS

All components are labelled with the appropriate identification information, and the UL listing data.

Receipt No: 1.020101

Jan 15, 2007

102 W WILLOW RD

LICENSES & PERMITS-BUILDING PERMIT	50.00
24-44460 BUILDING PERMIT	

Total:	<u>50.00</u>
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CHECK	Chk No: 3077	50.00
Total Applied:		<u>50.00</u>

Change Tendered:	<u>.00</u>
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01/15/07 01:53pm

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 12875

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Chimney Repair
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 102 Willow Rd.

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Frame, Brick-tile, Etc. Exterior finish Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building

Structure \$1500

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: demo 3 ft. of existing chimney rebuild to top of flue

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Andrea Hagerlund Arch. or Contr. Klemme Masonry

Address 102 Willow Rd Address 3434 W. 34 St

City Fox Point State Zip City Sheboygan WI 53083 State Zip

Phone 720 459-9568

Size of Structure (sq. ft.) Permit Fee \$50.00 pd 5-2-06; Rec# 16979 herewith tendered

Date Submitted State ID# 1015564 Exp. Date 3-1-07

Date Approved 5/2/06 Signed [Signature]

Date of Permit Architect, Owner, Builder

Id:

1015564

KEN KLEMME MASONRY LLC

Certification, License, or Registration Name

Expires

Dwelling Contractor Financial Responsibility
Certification

03/01/07

Wisconsin Department of Commerce

Signature:

#50 - Receipt #15563

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 6537c

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner Type Forced Air, Radiant, Baseboard, Etc.

Fuel: Gas Oil Coal Elect. Other

Desc. of Heating Plant Burnham Boiler 205 130,000 BTU

Vented to Chimney

Fuel Tank : _____ Size _____ Location _____

Summer Air Conditioner Size _____ (Ton, H.P.)

Coolant _____

Compressor Coolant: Air ; Water ;

If Water Cooled:

Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Incinerator Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels _____

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Andrea Hoogerland

Address of Work 102 W. Willow Rd.

OFFICE USE ONLY	
Application Approved:	Installation Approved:
<u>Apprentice</u>	

S. Mertles
Signed
10-25-05
Date

Contractor Cliff Bergon & Assoc., Inc

Address 6300 W. Donges Bay Rd Phone 262-242-2456

City Mequon State WI Zip Code 53092

Receipt No: 1.015563

Dec 05, 2005

102 W WILLOW ROAD

LICENSES & PERMITS-HEATING PERMIT 50.00
24-44450 HEATING PERMIT
1046 E THORN LANE

LICENSES & PERMITS-HEATING PERMIT 50.00
24-44450 HEATING PERMIT

Total: 100.00

CHECK Chk No: 019267 100.00
Total Applied: 100.00

Change Tendered: .00

12/05/05 11:43am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	18014 C
Received	11/3/05
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 10-31-05

License No. 89

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder	Owner <u>Andrea Hoglund</u>	Occupant
Job Address <u>102 W. Willow Rd</u>		

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?
Describe _____

List Name of Installing Contractor
 HEATING Cliff Berger
 AIR CONDITIONING _____
 PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____ <input type="checkbox"/>	

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker	1	5.00 ea	5.00	
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxiliary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt #15364
 TOTAL FEES 50.00

REMARKS:

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

Contractor <u>BC Electric Inc</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>10-31-05</u>
Address <u>N64W23479 Ivy Ave</u>	Telephone <u>262-820-1652</u>	
City <u>Sussex</u>	State <u>WI</u>	Zip Code <u>53089</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.015364

Nov 03, 2005

102 W WILLOW ROAD

LICENSES & PERMITS-ELECTRICAL PERMIT 50.00
24-44430 ELECTRICAL PERMIT
425 W WILLOW CT #142

LICENSES & PERMITS-ELECTRICAL PERMIT 50.00
24-44430 ELECTRICAL PERMIT

Total: 100.00

CHECK Chk No: 15575 100.00
Total Applied: 100.00

Change Tendered: .00

11/03/05 11:35am

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	17554C
Received	9/13/04
Service	
Rough-in	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date Sept. 13, 2004

PLEASE TYPE OR PRINT WITH BALL POINT PEN

License No. 27

Builder	Owner Andrea Hoogerland	Occupant Same
---------	-----------------------------------	-------------------------

Job Address
102 W. Willow Rd.

	No.	Description	Qty.	Rate of Fees	Dollars	Cents
ESTIMATED COST OF JOB						
Buildings <input checked="" type="checkbox"/> Residential	1	Light, switch and convenience outlets	8	.35 ea	2.	80
<input type="checkbox"/> Commercial	2	Lighting Fixtures	8	.30 ea	2.	40
<input type="checkbox"/> Industrial	3	Fluorescent Fixtures - per tube		.30 ea		
<input type="checkbox"/> Institutional	4	Range, Electric		4.00 ea		
<input type="checkbox"/> New Construction	5	Garbage Grinding and Disposal Unit		3.00 ea		
<input type="checkbox"/> Additional Rooms	6	Dishwasher		4.00 ea		
<input type="checkbox"/> Remodeling	7	Clothes Dryer		4.00 ea		
<input type="checkbox"/> New Occupancy	8	Water Heaters, Electric		4.00 ea		
Where on Premises?	9	Gas Burner, Oil Burner or Stoker		5.00 ea		
Describe <u>Basement remodel</u>	10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
	11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
	12	Temporary Service Permit for: How Long?		10.00 ea		
	13	Services: Service Switches, ea.		5.00 ea		
		Service 1. 0 through 100 amps.		5.00 ea		
		2. 101 through 400 amps.		10.00 ea		
		3. 401 through 600 amps.		10.00 ea		
		4. 601 through 1000 amps.		15.00 ea		
		5. Thereafter, ea. additional 1000 amps.		5.00 ea		
List Name of Installing Contractor	14	Motors over 1/4 HP		.30 per HP or frac		
HEATING	15	Fuel Dispensing Pumps		6.00 ea		
AIR CONDITIONING	16	Transformers, Rectifiers and Generators		.30 per KW		
PLUMBING	17	Space Heating Systems, per circuit		3.00 ea		
	18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
	19	2. Over 30 amps		5.00 ea		
	20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
	21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
	22	Signs, Electric - .10 ea. socket, plus .50 ea. add'tl. transformer		8.00 min		
	23	Swimming Pool Wiring: A. Inground pools		40.00		
	24	B. Above ground pools		25.00		
	25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
	26	MINIMUM CHARGE FOR ANY ONE PERMIT		50.00 ea		
	27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
	28	DOUBLE FEES will be charged for any work started before obtaining permit.				
					TOTAL FEES	50.00

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

REMARKS:

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor Depies Electric, Inc.	Supervising Electrician (Signature) <i>Receipt # 11428</i>	Date 9/13/04
Address 6000 W. Executive Drive Suite G	Telephone 242-7660	
City Megunon	State WI	Zip Code 53092

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Fence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 102 W Willow Rd

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Garage

Estimated cost Building

Structure 7500

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks: replace existing fence with one of same height and style

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Andrea Bergerland Arch. or Contr. Munson

Address 102 W Willow Rd Address 6771 Sidney Place

City Fox Point WI 53270 City Glendale WI 53217

Phone..... Phone (414) 351-0800

Size of Structure.....(sq. ft.) Permit Fee \$50.00 Receipt # 11067 herewith tendered

Date Submitted..... State ID#..... Exp. Date.....

Date Approved [Signature] Signed.....

Date of Permit.....

Architect, Owner, Builder

Receipt No: 1.011067

Jul 26, 2004

102 WILLOW ROAD

LICENSES & PERMITS-BUILDING PERMIT 50.00
24-44480 BUILDING PERMIT

Total: 50.00

CHECK Chk No: 2099 50.00
Total Applied: 50.00

Change Tendered: .00

Duplicate Copy

07/26/04 11:32am

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No.

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

X Type of Structure fence
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

X Address 102 W Willow Rd

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure..... (stories or feet)

Width (parallel to highway)..... (feet) Depth (perpendicular to highway)..... (feet)

Distance: Street Line to Front Line of Structure..... (feet)

Distance: Side Lot Line to Structure.....

Type of Construction: Frame, Brick-tile, Etc. Exterior finish Stucco, Siding, Br...

Height of front yard above street grade.....

Number of rooms Baths.....

Garage

X Estimated cost Building

Structure 7500

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size..... Number of stalls.....

Where situated of your corner fence. Also, your survey should

General construction Show the location of your fence

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans..... in number, which I certify I will conform to in the work hereby applied for.

X Remarks: to replace existing

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

X Owner of Structure Andrea Hogerland X Arch. or Contr. Manson

Address 102 W Willow Rd Address 6474 Sidney St

City Fox Point WI 53217 City Waukegan WI 53217

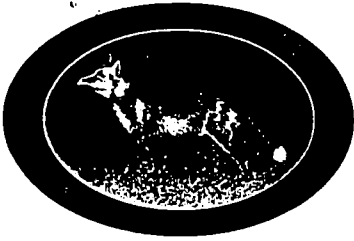
Phone (414) 540-1565 Phone (414) 351-0800

Size of Structure..... (sq. ft.) Permit Fee \$56.00 herewith tendered

Date Submitted..... State ID#..... Exp. Date.....

Date Approved..... X Signed.....

Date of Permit..... Architect, Owner, Builder



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT 53217-3505
414-351-8900
FAX 414-351-8909

From: The Fox Point Building Inspector

RE: Notice of Proposed Fence Construction

Please have your abutting neighbors complete this form when proposing to build a fence more than 3 ½ feet in height in either your side yard or front yard.

I have read the application for a fence permit. This fence will be constructed at:

Neighbor Number 1

Neighbor's Name:

RICHARD SIEFERT

Neighbor's Address:

8108 N. NAVASO RD

Neighbor's Signature:

Richard Siefert

Date:

5/8/04

Neighbor Number 2

Neighbor's Name:

SCOTT LEOPOLD

Neighbor's Address:

8114 N. NAVASO

Neighbor's Signature:

Scott Leopold

Date:

5/9/04

Neighbor Number 3

Neighbor's Name:

ROHAN DHARMA-SENA

Neighbor's Address:

8121 N. SENECA ROAD

Neighbor's Signature:

R. Dharma-Sena

Date:

5/9/04

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No.

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

X Type of Structure basement
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

X Address 107 W. Willow Rd

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Garage

Estimated cost Building \$2300

Structure.....

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

X Remarks: to replace ceiling & walls

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

X Owner of Structure Andrea Hogerland X Arch. or Contr. Tom Boyle

Address 107 W. Willow Rd Address 2637 N 93rd

City Fox Point WI 53217 City Wauwatosa WI 53226

Phone Phone (414) 258-4516

Size of Structure.....(sq. ft.) Permit Fee \$50.00 herewith tendered

Date Submitted..... State ID#..... Exp. Date.....

Date Approved..... X Signed.....

Date of Permit.....

Architect, Owner, Builder

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure basement
Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 102 W Willow Rd

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?.....

Height of Structure.....(stories or feet)

Width (parallel to highway).....(feet) Depth (perpendicular to highway).....(feet)

Distance: Street Line to Front Line of Structure.....(feet)

Distance: Side Lot Line to Structure.....

Type of Construction:..... Exterior finish
Frame, Brick-tile, Etc. Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade.....

Number of rooms Baths.....

Garage

Estimated cost Building 2300

Structure.....

Is there a private garage?.....

Does the contemplated garage violate the Village zoning ordinance?.....

Size.....Number of stalls.....

Where situated

General construction
Frame — Brick — Stucco — Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans.....in number, which I certify I will conform to in the work hereby applied for.

Remarks: to replace existing walls and ceiling

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure Andrea Hogerland Arch. or Contr. Tom Boyle
carpenter

Address 102 W Willow Rd Address 2637 N 93rd

City Fox Point WI 53217 City Wauwatosa WI 53226
State Zip State Zip

Phone..... Phone (414) 258-4576

Size of Structure.....(sq. ft.) Permit Fee \$50.00 herewith tendered

Date Submitted..... State ID#..... Exp. Date.....

Date Approved 6/10/95 Signed Andrea Hogerland

Date of Permit..... Architect, Owner, Builder

Receipt # 10695

#50 - Receipt #10177

VILLAGE OF FOX POINT
MILWAUKEE COUNTY, WISCONSIN

No. 6236C

APPLICATION AND RECORD FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner Type _____
Forced Air, Radiant, Baseboard, Etc.

Fuel: Gas Oil Coal Elect. Other _____

Desc. of Heating Plant _____

Vented to _____

Fuel Tank : _____
Size Location

Summer Air Conditioner Size 2 TON CARVER (Ton, H.P.)

Coolant RUNON 410A

Compressor Coolant: Air ; Water ;
If Water Cooled:
Source of Water _____
Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.
BACKYARD

Incinerator Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner ANDREA HOOGERLAND

Address of Work 102 W WILLOW RD

OFFICE USE ONLY
Application Approved: _____
Installation Approved: _____

[Signature]
Signed
3-30-04
Date

Contractor CLIFF BERGEN & ASSOCIATES

Address 6300 W DONGES BAY RD Phone 262-292-2456

City MEDWON State WI Zip Code 53092

Receipt No: 1.010177

Apr 21, 2004

102 W WILLOW ROAD

LICENSES & PERMITS-HEATING PERMIT 50.00
24-44450 HEATING PERMIT

151 W BLACKHAWK

LICENSES & PERMITS-HEATING PERMIT 80.00
24-44450 HEATING PERMIT

Total: 130.00

CHECK Chk No: 015981 130.00
Total Applied: 130.00

Change Tendered: .00

Duplicate Copy

04/21/04 10:57am

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No. <u>17357C</u>
Received <u>4/6/04</u>
Service _____
Rough-in _____
Final _____

APPLICATION FOR ELECTRICAL PERMIT

Date 4/1/04

License No. 141

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder _____	Owner <u>ANDREA HOOPERLAND</u>	Occupant <u>SAME</u>
Job Address <u>102 W. WILLOW RD.</u>		

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?
Describe ATTIC + OUTSIDE

List Name of Installing Contractor
HEATING _____
AIR CONDITIONING CLIFF BERLIN
PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final _____	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

REMARKS:

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP	1	5.00 min		500
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		30.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

TOTAL FEES 50.00

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>PRD ELECTRIC, INC.</u>		Supervising Electrician (Signature) 	Date <u>4/1/04</u>
Address <u>W220 N11390 AMY BELLE RD.</u>		Telephone <u>262-628-7285</u>	
City <u>GERMANTOWN</u>	State <u>WI</u>	Zip Code <u>53022</u>	

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

VILLAGE OF FOX POINT

MILWAUKEE COUNTY, WISCONSIN

No. 11940

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Type of Structure Residence, Garage, Store, Office, School, Fence, Shed, Sign, Swimming Pool, Etc.

Address 102 W WILLOW RD.

Lot Block

Subdivision

District

Does contemplated structure violate the Village zoning ordinance?

Height of Structure (stories or feet)

Width (parallel to highway) (feet) Depth (perpendicular to highway) (feet)

Distance: Street Line to Front Line of Structure (feet)

Distance: Side Lot Line to Structure

Type of Construction: Frame, Brick-tile, Etc. Exterior finish Stucco, Siding, Brick Veneer, Etc.

Height of front yard above street grade

Number of rooms Baths

Garage

Estimated cost Building \$1600.00

Structure

Is there a private garage?

Does the contemplated garage violate the Village zoning ordinance?

Size Number of stalls

Where situated

General construction Frame - Brick - Stucco - Etc.

Have plans been submitted to the Wisconsin Department of Industry, Labor and Human Relations for examination and approval?

Have plans been approved as being in compliance with all applicable sections of the Wisconsin Administrative code?

Herewith are filed the following duplicate plans in number, which I certify I will conform to in the work hereby applied for.

Remarks: UNDER GROUND HEATING OIL TANK REMOVAL

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building and Zoning Codes pertaining to the erection of all structures and also agrees to obey all other ordinances of the Village of Fox Point.

The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the structure is occupied.

Owner of Structure KAREN DANEMAN Arch. or Contr. WANEY VIEW MAINTENANCE

Address 102 W. WILLOW RD Address 18571 W. SENECA SPRING DR,

City FOX POINT WI City MENOMONIE FALLS WI 53051

State Zip State Zip

Phone 414 352 8131 Phone 262 252 4030

Size of Structure (sq. ft.) Permit Fee 400 herewith tendered

Date Submitted State ID# 42231 Exp. Date 6/19/05

Date Approved 4/20/05 Signed Paul Daneman

Date of Permit Architect, Owner, Builder

Receipt # 7275

WISCONSIN DEPARTMENT OF COMMERCE
Id: 42231

EARL L. PETERMANN

Signature: *Earl L. Petermann*

Licenses: Certificate for Registration or Mark

Tank System Remover-Cleaner Certification

Expires
06/19/05

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WI 53217

NONCOMPLIANCE NOTICE

July 10, 2003

Issued to: Karen H. Daneman

Address: 102 W. Willow Road

An inspection of the premises located at 102 W. Willow Road discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

1. Smoke detectors are required for each floor level including the basement.
2. Provide backflow protection for all exterior hose bibs and laundry tub faucets.
3. The dishwashing machine must discharge into the sanitary sewer by means of a code compliant air-gap or air-break assembly.
4. The dryer must be vented with a code compliant metallic exhaust system.
5. All rainwater downspouts must terminate at least 3'00" from the building foundation.
6. The basement standpipe must be provided with a code compliant plumbing trap.
7. Please obtain a permit for the satellite dish installation. Also, please be aware that as per Village Code, a satellite dish may not be attached to the front of the home.
8. Please remove the quartz style light fixtures from the exterior of your home as per the Village's Lighting Ordinance.
9. Please submit documentation showing that the underground fuel tank was properly removed.
10. Please bring the foam insulation into compliance with Section 21.11 of the Wisconsin Administrative Code.
11. I observed the following violations with your electrical system. They are:
 - A. NEC 358.30 The EMT raceways are improperly supported.
 - B. NEC 314.3 Improper plastic boxes were used with type AC cable.
 - C. NEC 300.15 An electrical box shall be provided with all splices.
 - D. Fox Point Code 13.17 All AC & Romex cable shall be installed per Village Code.
 - E. NEC 314.25 All open electrical boxes shall be properly closed.
 - F. NEC 314.23 F The boiler disconnect shall be properly supported.
 - G. NEC 300.15 Romex cable must be protected when it exits an EMT raceway.
 - H. Fox Point Code 13.17 The expanded cable in the exterior shed must be removed as per Village Code.
 - I. NEC 410.16(C) The recessed light fixtures installed in the suspended ceiling must be properly supported.

J. NEC 110.13(B) Please replace the missing screws which attach the cover of the service equipment to its enclosure.

~~K. NEC 314.20 The electrical boxes above the kitchen countertop must be installed so that they are located above the wooden back splash.~~

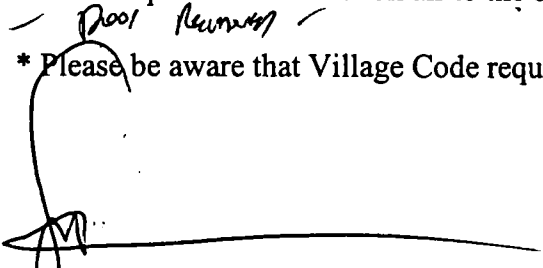
~~L. NEC 210.8 All kitchen electrical outlets must be GFCI protected.~~

~~12. Please provide at least 9 inches of clearance between the boilers chimney connector and a combustible material.~~

13. Please provide combustion air to the basement mechanical room as per code.

Pool Summary

* Please be aware that Village Code requires permits for all plumbing and electrical work.



Scott Miller
Building Inspector
Village of Fox Point

August 18, 2003

Mr. Scott Miller
Building Inspector
Village of Fox Point

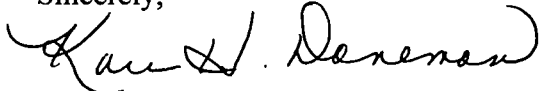
Dear Mr. Miller:

Pursuant to our Noncompliance Notice dated July 10, 2003, please be advised that #7, which states that a permit must be obtained for the satellite dish, will be removed at the time that the house is sold. This was stated to you in our conversation of August 15, 2003. You stated that there would be no problem if that was done at the time the house was sold.

If you need any other information, please contact me.

Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Karen H. Daneman". The signature is written in black ink and is positioned above the typed name.

Karen H. Daneman
102 W. Willow Road
Fox Point, WI 53217

Invoice
A-1 Tank Removal
Division of Valley View Maintenance, Inc.
18541 West Silver Spring Dr.
Menomonee Falls, Wisconsin 53051
(262) 252-4030

Date: 6/25/03

KAREN DANEMAN
102 W. WILLOW RD.
FOX POINT WI 53217

Item

1. Excavate, open and clean tank
2. Remove and dispose of tank
3. Fill excavation site
4. PUMP WASTE FROM TANK
- 5.

Thank you for your business

Total: \$ 1880.00

KAREN H. DANEMAN

102 W. WILLOW RD.

FOX POINT, WI 53217

12-7128/2750
26214652

1058

DATE 2-11-03

PAY TO THE ORDER OF

A-1 Tank Removal

\$1880⁰⁰

one Thousand Eight Hundred Eighty and 00/100

DOLLARS

Security features
Detailed on back.

DELIVER VALUE OR DEPOSIT

PC

GuarantyBank  SSB

MILWAUKEE, WI 53223

MEMO

A-1 Tank Removal

Karen H. Daneman

⑆275071288⑆ ⑆26 2⑆ 4652⑆ 1058

FINE LINE



WAIVER OF LIEN

FOR VALUE RECEIVED, THE UNDERSIGNED HEREBY WAIVES ALL RIGHTS, LIENS AND CLAIMS FOR LIEN ON LAND AND ON BUILDINGS ABOUT TO BE ERECTED, BEING ERECTED, ERECTED, ALTERED, REMOVED OR REPAIRED AND TO THE APPURTENANCES THEREUNTO, FOR _____

KAREN DANEMAN

OWNER

BY

CONTRACTOR

ON LAND SITUATED IN MILWAUKEE COUNTY, STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

102 W. WILLOW RD. FOX POINT WI 53217

FOR ALL LABOR PERFORMED AND FOR ALL MATERIAL FURNISHED FOR THE ERECTION, CONSTRUCTION, ALTERATION, REMOVAL OR REPAIR ON SAID BUILDING AND APPURTENANCES, TO REMOVE UNDERGROUND HEATING OIL TANK

Carl Steinhilber

BY A-1 TANK REMOVAL
18541 W SILVER SPRING RD.
MENOMONEE FALLS WI 53051
414-252-4030

BUILDING PERMIT

Village of Fox Point — Milwaukee County — Wisconsin

Number 11940 6/23/03

To Valley View MX

Permission is hereby granted you to remove underground tank at

number 102 W. Willow Road

street, as per your application number 11940, filed with me on 6/20/03

If the work for which this permit is granted is not commenced within three months from the date hereof, this permit is void.

Remarks
.....
.....
.....
.....

Fee \$ 40.00 Received. _____

Chief Building Inspector.

THIS PERMIT IS GRANTED WITH THE UNDERSTANDING THAT

1. All Trees in Parkway must be protected by Excavating Contractor before starting work.
2. No Storm Water or Surface Water Drains, whether installed above or below the surface of the ground may be connected to the sanitary sewer system.
3. Roadside Ditches and Natural Water Courses across Public and Private Property Shall Not Be Obstructed.

REQUIRED INSPECTIONS

1. Before Footings are Poured.
2. Before Backfilling Foundation Walls.
3. Before Insulating.
4. Before Occupancy.

Complete one form for each site closure.

CHECKLIST FOR TANK CLOSURE

RETURN COMPLETED CHECKLIST TO:

The information you provide may be used for secondary purposes [Privacy Law, s.15.04 (1)(m)].

CHECK ONE:

UNDERGROUND

ABOVEGROUND

FOR PORTIONS OF THE FORM THAT DO NOT APPLY, CHECK THE N/A BOX BELOW

Wisconsin Department of Commerce
ERS Division
Bureau of Storage Tank Regulation
P.O. Box 7837
Madison, WI 53707-7837

A. IDENTIFICATION: (Please Print) Indicate whether closure is for: Tank System Tank Only Piping Only

1. Site Name <i>KAREN DANEMAN</i>		2. Owner Name <i>KAREN DANEMAN</i>	
Site Street Address (not P.O. Box) <i>102 W. WILLOW RD.</i>		Owner Street Address <i>102 W. WILLOW RD.</i>	
<input type="checkbox"/> City <i>FOX POINT</i>	<input checked="" type="checkbox"/> Village	<input type="checkbox"/> City <i>FOX POINT</i>	<input checked="" type="checkbox"/> Village
State <i>WI</i>		Zip Code <i>53217</i>	
County <i>MILWAUKEE</i>		Telephone No. (include area code) <i>(414) 352-8131</i>	
3. Closure Company Name (print) <i>VALLEY VIEW MAINTENANCE INC</i>		Closure Company Street Address <i>18541 W. SILVER SPRING DR.</i>	
Closure Company Telephone No. (include area code) <i>(262) 252 4030</i>		Closure Company City, State, Zip Code <i>MENOMONEE FALLS WI 53051</i>	
4. Name of Company Performing Closure Assessment		Assessment Company Street Address, City, State, Zip Code	
Telephone No. (include area code) ()	Certified Assessor Name (print)	Assessor Signature	Assessor Certification No.

Tank ID #	Closure	Temp. Closure	Closure in Place	Tank Capacity	Contents*	Closure Assessment
1.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1000	FUEL OIL	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
2.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N
3.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N
4.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Y <input type="checkbox"/> N

* Indicate which product: Diesel; Leaded; Unleaded; Fuel Oil; Gasohol; Aviation Fuel; Kerosene; Premix; Waste/Used Motor Oil; Flammable/Combustible Hazardous Waste; Chemical (indicate the chemical name(s) _____ and CAS number(s) _____; Other _____

Written notification was provided to the local agent 15 days in advance of closure date. Y N NA

All local permits were obtained before beginning closure. Y N NA

Check applicable box at right in response to all statements in Sections B-E.

	Remover Verified	Inspector Verified	NA
B. TEMPORARILY OUT OF SERVICE			
Written inspector approval of temporary closure obtained, which is effective until (provide date) _____	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
1. Product Removed			
a. Product lines drained into tank (or other container) and resulting liquid removed, AND	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
b. All product removed to bottom of suction line, OR	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
c. All product removed to within 1" of bottom.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
2. Fill pipe, gauge pipe, tank truck vapor recovery fittings, and vapor return lines capped.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
3. All product lines at the islands or pumps located elsewhere are removed and capped, OR	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
4. Dispensers/pumps left in place but locked and power disconnected.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
5. Vent lines left open.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
6. Inventory form filed indicating temporary closure.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>

C. CLOSURE BY REMOVAL			
1. Product from piping drained into tank (or other container).	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
2. Piping disconnected from tank and removed.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
3. All liquid and residue removed from tank using explosion proof pumps or hand pumps.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
4. All pump motors and suction hoses bonded to tank or otherwise grounded.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
5. Fill pipes, gauge pipes, vapor recovery connections, submersible pumps and other fixtures removed.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
NOTE: DROP TUBE SHOULD NOT BE REMOVED IF THE TANK IS TO BE PURGED THROUGH THE USE OF AN EDUCTOR.			
6. Vent lines left connected until tanks purged.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Tank openings temporarily plugged so vapors exit through vent.	<input type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Tank atmosphere reduced to 10% of the lower flammable range (LEL) - see Section F.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
9. Tank removed from excavation after PURGING/INERTING; placed on level ground and blocked to prevent movement.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>
10. Tank cleaned before being removed from site.	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>

C. CLOSURE BY REMOVAL (continued)

	Remover Verified		Inspector Verified		NA
11. Tank labeled in 2" high letters after removal but before being moved from site.	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
NOTE: COMPLETE TANK LABELING SHOULD INCLUDE WARNING AGAINST REUSE; FORMER CONTENTS; VAPOR STATE; VAPOR FREEING TREATMENT; DATE.					
12. Tank vent hole (1/8" in uppermost part of tank) installed prior to moving the tank from site.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Form ERS-7437 or ERS-8731 filed by owner with the Dept. of Commerce indicating closure by removal.	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Site security is provided while the excavation is open.	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

D. CLOSURE IN PLACE

NOTE: CLOSURES IN PLACE ARE ONLY ALLOWED WITH THE PRIOR WRITTEN APPROVAL OF THE DEPARTMENT OF COMMERCE OR LOCAL AGENT.

1. Product from piping drained into tank (or other container).	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Piping disconnected from tank and removed.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. All liquid and residue removed from tank using explosion proof pumps or hand pumps.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. All pump motors and suction hoses bonded to tank or otherwise grounded.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Fill pipes, gauge pipes, vapor recovery connections, submersible pumps and other fixtures removed. ...	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
NOTE: DROP TUBE SHOULD NOT BE REMOVED IF THE TANK IS TO BE PURGED THROUGH THE USE OF AN EDUCTOR - EDUCTOR OUTPUT 12 FT. ABOVE GRADE.					
6. Vent lines left connected until tanks purged.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Tank openings temporarily plugged so vapors exit through vent.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Tank atmosphere reduced to 10% of the lower flammable range (LEL) <u>see Section F.</u>	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Tank properly cleaned to remove all sludge and residue.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Solid inert material (sand, cyclone boiler slag, pea gravel recommended) introduced and tank filled.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Vent line disconnected or removed.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Inventory form filed by owner with the Department of Commerce indicating closure in place.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

E. CLOSURE ASSESSMENTS

NOTE: DETERMINE IF A CLOSURE ASSESSMENT IS REQUIRED BY REFERRING TO COMM 10.

1. Individual conducting the assessment has a closure assessment plan (written) which is used as the basis for their work on the site.	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Do points of obvious contamination exist?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Are there strong odors in the soils?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Was a field screening instrument used to pre-screen soil sample locations?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Was a closure assessment omitted because of obvious contamination?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Was the DNR notified of suspected or obvious contamination?	<input type="checkbox"/> Y	<input type="checkbox"/> N	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Agency, office and person contacted: _____					
7. Contamination suspected because of: <input type="checkbox"/> Odor <input type="checkbox"/> Soil Staining <input type="checkbox"/> Free Product <input type="checkbox"/> Sheen on Groundwater <input type="checkbox"/> Field Instrument Test					

F. METHOD OF ACHIEVING 10% LEVEL DESCRIPTION

- Eductor Or Diffused Air Blower
Eductor driven by compressed air, bonded and drop tube left in place; vapors discharged minimum of 12 feet above ground. Diffused air blower bonded and drop tube removed. Air pressure not exceeding 5 psig.
- Dry Ice
Dry ice introduced at 1.5 pounds per 100 gallons of tank capacity. Dry ice crushed and distributed over the greatest possible tank area. Dry ice evaporated before proceeding.
- Inert Gas (CO₂ or N₂) **NOTE: INERT GASSES PRODUCE AN OXYGEN DEFICIENT ATMOSPHERE. THE TANK MAY NOT BE ENTERED IN THIS STATE WITHOUT SPECIAL EQUIPMENT.**
Gas introduced through a single opening at a point near the bottom of the tank at the end of the tank opposite the vent.
Gas introduced under low pressure not to exceed 5 psig to reduce static electricity. Gas introducing device grounded.
- Tank atmosphere monitored for flammable or combustible vapor levels.
Calibrate combustible gas indicator. Drop tube removed prior to checking atmosphere. Tank space monitored at bottom, middle and upper portion of tank. Readings of 10% or less of the lower flammable range (LEL) obtained before removing tank from ground.

G. NOTE SPECIFIC PROBLEMS OR NONCOMPLIANCE ISSUES BELOW

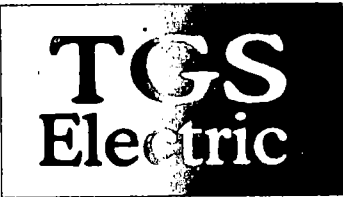
H. REMOVER/CLEANER INFORMATION

EARL PETERMANN Earl Petermann 42231 11/11/12
Remover Name (print) Remover Signature Remover Certification No. Date Signed

I. INSPECTOR INFORMATION

M. Tarlton M. Tarlton 42231
Inspector Name (print) Inspector Signature Inspector Certification No.
42012 070-855-2757 11/17/12
FDID # For Location Where Inspection Performed Inspector Telephone Number Date Signed

TANK INVENTORY FORM ERS-7437 or ERS-8731 SIGNED BY THE OWNER MUST BE SUBMITTED WITH EACH CLOSURE CHECKLIST OWNER



518 Beechwood Avenue
Waukesha, WI 53186

(262) 547-7259

PROPOSAL

Name KAREN DANEMAN
Address 102 W. Willow Rd
City, State, Zip FOX POINT, WI 53217
Telephone Number 414-352-8131

I propose to do the following work for the address listed above. All work to be done will be in accordance with state and local codes. The price listed below includes all material and labor required to perform the work. WORK SHALL BE DONE ON A TIME AND MATERIAL

BASIS, NOT TO EXCEED \$400.00. LABOR IS AT A RATE OF \$40.00
WORK TO BE COMPLETED IS AS FOLLOWS ON YOUR MOST COMPLIANT
NOTICE FROM THE VILLAGE OF FOX POINT, #8 AND ALL OF #11 A-L
AND THE REQUIRED PERMIT

Paid in full
\$400 OK #11
ON 8-8-03

This proposal is for the items listed above and is subject to change with additions, deletions or unforeseen work to be performed. \$400.00 max. This proposal is good for thirty days.

Billing Terms:

- 60% of the above price is due on completion of rough, and 40% due upon completion of the work listed above.
- Payment upon completion of the work listed above.

Once both parties have signed below, TGS Electric will then look at this proposal as a contract to start the agreed upon work.

Ray Aertge
Authorized TGS Electric Signature

8-2-03
Date

Owner/Contractor

Date

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

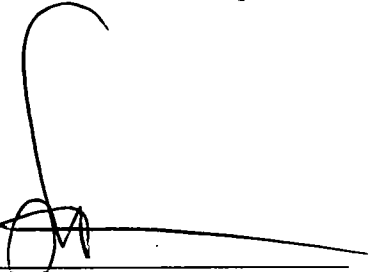
August 21, 2003

NO. 5061

Issued to: Karen H. Daneman

Address: 102 W. Willow Road

This Certificate of Compliance permits a change in the occupancy of the premises at 102 West Willow Road, Fox Point, WI, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of the Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Scott Miller
Building Inspector
Village of Fox Point

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY

Permit No. 818103C
 Received 17109
 Service _____
 Rough-in _____
 Final _____

APPLICATION FOR ELECTRICAL PERMIT

Date _____

License No. 123

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder _____ Owner KAREN DANEMAN Occupant Same
 Job Address 102 W WILLOW 414-352-8131

ESTIMATED COST OF JOB

- Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?
Describe _____

List Name of Installing Contractor _____
 HEATING _____
 AIR CONDITIONING _____
 PLUMBING _____

Date of Inspection
 Rough _____ Will Call
 Final _____ Will Call
 Service Approval Sent _____

REMARKS:
Miscellaneous work
Violations per
Home Inspector

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker		5.00 ea		
10	Refrigerating, Air Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxillary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		40.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

Receipt # 8201
17109
 TOTAL FEES 40

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

MAKE CHECKS PAYABLE TO:
 Treasurer, Village of Fox Point
 MAIL TO: Electrical Inspector

Contractor TOM BURDICK'S Supervising Electrician (Signature) [Signature] Date 8-7-03
 Address BROOKFIELD ELECTRIC, INC. Telephone _____
 City 821 Perkins Ave. Zip Code _____
Waukesha, WI 53186

(414) 547-5111
 This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt No: 1.008201

Aug 08, 2003

102 W WILLOW

LICENSES & PERMITS-ELECTRICAL PERMIT 40.00
24-44430 ELECTRICAL PERMIT

Total: 40.00

CHECK Chk No: 14339 40.00
Total Applied: 40.00

Change Tendered: .00

08/08/03 10:42am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

CLIFF BERGIN

& ASSOCIATES, INC.

Plumber 6300 W. DONGES BAY ROAD

Address MEQUON, WI. 53092

Tel. No. 262-242-2456

No. 10120

Application and Record

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

Owner Karen Dancovich
Address 102 W Willow Rd
Date 7-25-03

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a ... inch ... laying a ... inch ...
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building

at
102 W Willow Rd
Fox Point, Wis.
Address at which work is to be done

Table with 2 columns: Kind, No.
Row 1: Sewer and Plumbing, 10079
Row 2: Water
Row 3: Street
Row 4: Meter
Row 5: Water Usage

Table with 3 columns: Subdivision, Lot, Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. 22251 Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

Table with 4 columns: Fixture Name, No., Fixture Name, No.
Includes: Hose Bibs, Bath Tubs, Sump Pumps, Laundry Trays, Drinking Fountains, Sinks, Water Heaters, Wash. Mach. Wastes, Bidets, Catch Basins, Dishwashers, Wash Basins, Water Closets, Showers, Floor Drains, Food Waste Grinders, Sprinkling System, Urinals.

Table with 2 columns: Item, Amount
Includes: Water Usage, Building Sewer, Water Service, Building Drain, Fixtures, Water Meter, Total (\$40.00), Deposit to cover street repairs, Receipt # 8155.

A ... inch ... water service pipes laid in ...
Curb box is located ... feet ... of ...
... inch ... Water Meter No. ... Date Installed ...

A ... inch ... sanitary sewer connection was made in ...
... feet ... of manhole ...

A ... inch ... storm sewer connection was made in ...
... feet ... of manhole ...

Table with 8 columns: Building Sewer Report, Building Drain Report, Rough in Plumbing Inspection Report, Final Inspection Report.

Installation Approved ... Application Approved ... 19 ...
As Built ... Water and Plumbing Inspector

Table with 2 columns: REMARKS, DISCREPANCY RECORD

Receipt No: 1.008155

Aug 04, 2003

102 W WILLOW ROAD

LICENSES & PERMITS-PLUMBING PERMIT	40.00
24-44470 PLUMBING PERMIT	

Total:	<u>40.00</u>
--------	--------------

CHECK	Chk No: 014626	40.00
Total Applied:		<u>40.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

08/04/03 09:19am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

No. 10121

Plumber

CLIFF BERGIN Application and Record

Address & ASSOCIATES, INC.

Tel. No. 6300 W. DONGES BAY ROAD
MEQUON, WI 53092

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

Owner Karen Daneman

Address 102 W. Wellborn

Date 7/28/03 19

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building

at

102 W. Wellborn
Address at which work is to be done

PERMITS USED	
Kind	No.
Sewer and Plumbing	10074
Water	
Street	
Meter	
Water Usage	

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP222251 Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters	Sprinkling System
Wash. Mach. Wastes	Urinals
Bidets	
Catch Basins	

FEES

Water Usage	\$
Building Sewer	
Water Service	
Building Drain	
Fixtures	
Water Meter	
Total	Cezla Comp
Deposit to cover street repairs	Receipt # 408125
	Permit Clerk

A inch water service pipes laid in

Curb box is located feet of feet of

..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in

..... feet of manhole

A inch storm sewer connection was made in

..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved Application Approved 19

As Built Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

Receipt No: 1.008125

Jul 30, 2003

102 W WILLOW ROAD

LICENSES & PERMITS-PLUMBING PERMIT	40.00
24-44470 PLUMBING PERMIT	

Total:	<u>40.00</u>
--------	--------------

CHECK	Chk No: 014608	40.00
Total Applied:		<u>40.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

07/30/03 11:23am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

No. 10122

414-352-8131

Plumber Gene Tess
Address 24707 W. Loomis Rd
Tel. No. 262-895-4576
7-21-03

Application and Record

Village of Fox Point
7200 N. Santa Monica Blvd.
Fox Point, WI 53217
351-8900

Owner Karen Daneman
Address 102 W. Willow Rd
Date 7/22/03

TO the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a inch laying a inch
builder sewer from Main to Lot line water service from Main to Lot line
to Building to Building
at
102 W. Willow Rd.
Address at which work is to be done

PERMITS USED	
Kind	No.
Sewer and Plumbing	<u>10075</u>
Water	
Street	
Meter	
Water Usage	

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bound by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. 223395 Gene Tess Plumber

Application must be signed by licensed plumber who has current insurance certificate on file in Fox Point.

FIXTURES WITH DRAIN OR WATER CONNECTIONS

No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters <u>GAS</u> <u>1</u>	Sprinkling System
Wash. Mach. Wastes	Urinals
Bidets	
Catch Basins	

FEES

Water Usage	\$
Building Sewer	
Water Service	
Building Drain	
Fixtures	
Water Meter	
Total	<u>\$40.00</u>
Deposit to cover street repairs	<u>Receipt # 8126</u>

[Signature] Permit Clerk

A inch water service pipes laid in
Curb box is located feet of feet of
..... inch Water Meter No. Date Installed

A inch sanitary sewer connection was made in
..... feet of manhole

A inch storm sewer connection was made in
..... feet of manhole

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report

Installation Approved Application Approved 19

As Built Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

Receipt No: 1.008126

Jul 30, 2003

102 W WILLOW ROAD

LICENSES & PERMITS-PLUMBING PERMIT	40.00
24-44470 PLUMBING PERMIT	

Total:	<u>40.00</u>
--------	--------------

CHECK	Chk No: 3013	40.00
Total Applied:		<u>40.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

07/30/03 11:24am

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

Village of Fox Point, Milwaukee County, Wisconsin

Inspector of Buildings Department

Certificate of Electrical Inspection

To Wis. Elec. Power Co.: Relative to

Premises..... **102 W. Willow Road** *Fox Point*

Owner..... **Bassell**

This is to Certify, that electrical work done under Permit No. **9977** issued by this

DEPARTMENT to..... **Julius Pieper** is in conformity with the provisions of the Electrical Code of the Village of Fox Point, Milwaukee County, Wisconsin.

INSTALL:

Service to Temporary Pole Temporary Service and Meter to Building Permanent Service to Building Hot Water Heater Service and Meter Other... **new increased service**

Remarks:..... **to existing residence.**

Dated..... **October 31,**, 19 **33**

Electrical Inspector, Village of Fox Point.

APPLICATION FOR HEATING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to install, in accordance with the information tabulated hereafter,

Winter Air Conditioner Type _____
Forced Air, Radiant, Baseboard, Etc.

Fuel: Gas Oil Coal Elect. Other _____

Desc. of Heating Plant _____
Burnham Oil -fired boiler

Vented to _____

Fuel Tank : _____
Size _____ Location _____

Summer Air Conditioner Size _____ (Ton, H.P.)

Coolant _____

Compressor Coolant: Air ; Water ;

If Water Cooled:
Source of Water _____

Discharged to _____

Location of unit on premises including distances to lot lines required for approval of exterior apparatus.

Incinerator Manufacturer's Name _____

Model No. _____ Capacity _____ Bushels

Has installation permit been issued by Milwaukee Co. Dept. of Air Pollution Control? _____

Remarks _____

The undersigned acknowledges that he is familiar with Ordinance No. 261, and all amendments thereto and that the work described herewith shall conform in all respects to said ordinances and all other ordinances of the Village of Fox Point, and laws of the State of Wisconsin. Any variations of the above may cause immediate revocation of the permit, if granted.

Owner Karen Daneman

Address of Work 102 W. Willow Rd., Fox Point

Lot _____ Block _____ Subdivision _____

Contractor Jacobus Quickflash

Address 9301 N. 107th St. Milw. Phone 357-3835

Approved: Receipt # 27299 _____
Signed K. Daneman

_____ Date _____

App on 5-20-91
Left com 10-18-91

PO # 1476

VILLAGE OF FOX POINT

7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

OFFICE USE ONLY	
Permit No.	12391 CC
Received	5/24/91
Service	
Rough-In	
Final	

APPLICATION FOR ELECTRICAL PERMIT

Date 5/15/91
License No. 57

PLEASE TYPE OR PRINT WITH BALL POINT PEN

Builder <u>[Signature]</u>	Owner <u>Karen Daveman</u>	Occupant <u>Karen Daveman</u>
Job Address <u>102 W. Willow Rd.</u>		

ESTIMATED COST OF JOB \$150.00

Buildings Residential
 Commercial
 Industrial
 Institutional
 New Construction
 Additional Rooms
 Remodeling
 New Occupancy

Where on Premises?
Describe Basement, wire
line & low voltage for
a boiler.

List Name of Installing Contractor
HEATING Jacobus Quickflash
AIR CONDITIONING _____
PLUMBING _____

Date of Inspection	
Rough _____	Will Call <input type="checkbox"/>
Final <u>5/22/91</u>	Will Call <input type="checkbox"/>
Service Approval Sent _____	<input type="checkbox"/>

No.	Description	Qty.	Rate of Fees	Dollars	Cents
1	Light, switch and convenience outlets		.35 ea		
2	Lighting Fixtures		.30 ea		
3	Fluorescent Fixtures - per tube		.30 ea		
4	Range, Electric		4.00 ea		
5	Garbage Grinding and Disposal Unit		3.00 ea		
6	Dishwasher		4.00 ea		
7	Clothes Dryer		4.00 ea		
8	Water Heaters, Electric		4.00 ea		
9	Gas Burner, Oil Burner or Stoker	1	5.00 ea	5	-
10	Refrigerating, Air-Cooling or similar machine - .25 per HP		5.00 min		
11	Feeders - No. 6 A.W.G. or Larger		7.00 ea		
12	Temporary Service Permit for: How Long?		10.00 ea		
13	Services: Service Switches, ea.		5.00 ea		
	Service 1. 0 through 100 amps.		5.00 ea		
	2. 101 through 400 amps.		10.00 ea		
	3. 401 through 600 amps.		10.00 ea		
	4. 601 through 1000 amps.		15.00 ea		
	5. Thereafter, ea. additional 1000 amps.		5.00 ea		
14	Motors over 1/4 HP		.30 per HP or frac		
15	Fuel Dispensing Pumps		6.00 ea		
16	Transformers, Rectifiers and Generators		.30 per KW		
17	Space Heating Systems, per circuit		3.00 ea		
18	Power receptacles - 120 Volts or over 1. Through 30 amps		3.00 ea		
19	2. Over 30 amps		5.00 ea		
20	Wireways, busways, underfloor raceways or auxiliary gutters		.25 per ft		
21	Strip Lighting, Plug-in Strip, Trol-E Duct or similar system		.20 per ft		
22	Signs, Electric - .10 ea. socket, plus .50 ea. add'l. transformer		8.00 min		
23	Swimming Pool Wiring: A. Inground pools		40.00		
24	B. Above ground pools		25.00		
25	Spas, Hot-tubs, Hydromassage Bathtubs		6.00		
26	MINIMUM CHARGE FOR ANY ONE PERMIT		20.00 ea		
27	FAILURE TO CALL FOR FINAL INSPECTION		15.00		
28	DOUBLE FEES will be charged for any work started before obtaining permit.				

REMARKS: bt. 333-9
 ① bt connections not tightened
 ② Junction box supports of 1/2
thru wall 370-13
 ③ separate circuit? 422-7
 ④ bt primarily supported
12" of box 333-7
cm/rt 11-4-91 @ 900 AM

The undersigned hereby makes application for a permit for the execution of electrical installation for light, heat or power as prescribed and agrees to comply with all applicable State and Local Codes and Ordinances regulating the installation of electrical wiring and equipment in the Village of Fox Point.

TOTAL FEES 20-

MAKE CHECKS PAYABLE TO:
Treasurer, Village of Fox Point
MAIL TO: Electrical Inspector

Contractor <u>Frank Gillitzer Electric</u>	Supervising Electrician (Signature) <u>[Signature]</u>	Date <u>05-22-91</u>
Address <u>12304 W. Douglas Bay Rd.</u>	Telephone <u>442-1620</u>	
City <u>Melqon</u>	State <u>WI</u>	Zip Code <u>53092</u>

This Permit is void if work is not started within 2 months, or if started, no work is done for 2 months.

Receipt # 27341

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

APPLICATION FOR INSPECTION AND ISSUANCE
OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)

No. 2236 Date 9/4/86

Address 102 W Willow Rd. Fox Point, Wisconsin.

Type of Proposed Occupancy _____

Owner of Building Daniel & Kathryn Howell

Building Owner's Address:

102 W. Willow Rd.

Building Owner's Telephone Number (414) 351-3526
area code

Proposed Occupant's Name (if known) N.A.

Proposed Occupant's Present Address:

Proposed Occupant's Telephone Number () _____
area code

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner X Proposed Occupant _____ Other _____

Daniel Howell
Applicant's Signature

Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

Application and fee received: # 16129 Date 9-4-86

Received by J. Moch

Inspection made: Date 9-8-86

Signature Earl H. Plank

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

NONCOMPLIANCE NOTICE

September 9, 1986

Date

Issued to: Daniel and Kathryn Howell

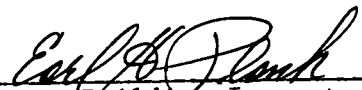
Address: 102 W. Willow Road

An inspection of the premises located at 102 W. Willow Road
discloses noncompliance with Codes or Ordinances of the Village of Fox Point as
hereinafter listed:

1. Well and pump shall be operable or shall be abandoned as per Wisconsin Well Code.

The premises at the above address shall be brought in compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.

The occupant or proposed new occupant of the premises feeling aggrieved by the action of the Building Inspector may appeal to the Board of Appeals following the usual procedure on appeal from an order of the Building Inspector within thirty (30) days of the above date.



Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE

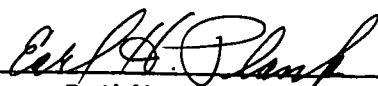
No. 2280

Date January 13, 1987

Issued to Daniel & Kathryn Howell

Address 102 W. Willow Road

This Certificate of Compliance permits a change in the occupancy of the premises located at 102 W. Willow Road in Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Building Inspector
Village of Fox Point

*

License No. 5

Rec. # 14388 \$ 10.00

Permit No. 10852e

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date 1/24/86

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 102 West Willow Road
(Give exact street and number. Do not give corner)

Elec. Contractor Andrae Electric Address 2110 West Clybourn P.O. Box 391

Builder Daniel Howell Address Same

Owner Address Same

What is occupancy of the building NEW EXIST Residence

1. Outlets	each	\$.30	
2. Fixtures	each	.25	
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor	each lamp	.25	
4. Audible or visual devices	per device	.50	
5. Exhaust and ventilating fans and their control (below 1 H.P.)	each	2.00	
6. Built-in electric heaters; bathroom, nursery, etc.	each	3.00	
7. Garbage Disposal	each	3.00	
8. Dishwasher	each	3.00	
9. Clothes dryer	each	3.00	
10. Range or other receptacles over 150 volts	each	3.00	
11. Water heater	each	3.00	
12. Automatic heating equipment — gas, oil, coal	each	3.00	
13. Automatic water systems	each	3.00	
14. Refrigerating, air conditioning, etc., machines	each	3.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.	per ft.	.10	
16. Dimmers or Time Clocks	each	2.00	
17. Vacuum and Inert-Gas tube sign	each transformer	3.00	
18. Incandescent Signs, studded lights	per socket	.25	
19. Arc and mercury lamps, spot and floodlights (mogul base)	each	1.00	
20. Motors, each horsepower or fraction thereof each motor	H.P.	.25	
21. Generators, rectifiers, transformers, etc.	per K.W.	.25	
22. Feeders or subfeeders No. 3 B & S gauge or larger	each	5.00	
23. Raceways, wireways, busways, gutters	per ft.	.25	
24. Electric heating devices (other than those listed above)	per K.W.	1.00	
25. Service equipment — 0-100 amps. new or overhauling	per disconnect	5.00	
Service equipment — 100 amps. to 600 amps.	per disconnect	10.00	
Service equipment — over 600 amps.	per disconnect	15.00	
26. Temporary service, etc. (3 month period)		10.00	
27. Motion picture, stereopticon and x-ray machines, etc.	each	5.00	
28. Re-inspection after time limit on notice		10.00	
29. Minimum fee for any permit requiring separate inspection	MINIMUM FEE	10.00	
30. Double fee shall be charged for any work started before filing an application for a permit	FEES DOUBLE		

TOTAL FEES 10.00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point.

REMARKS: Permit for surface mounted socket for electric water heater

NOTE: Electrical contractor shall quote his permit number and the address of the job when requesting inspections.

Date Approved Signature [Signature] 2110 West Clybourn P.O. Box 391 (Supervising Electrician) Address 2110 West Clybourn P.O. Box 391 City Milwaukee 53201 Zip Code Temp. City Telephone 933-6970 Final 4-10-86 Telephone

Make check Payable to Treasurer, Village of Fox Point.

No Carbon Required

Rec #12089

License No. 84

Permit No. 10643 CC

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation VILLAGE OF FOX POINT

TO THE ELECTRICAL INSPECTOR:

Date 2-21-85

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location 102 W. Willow Rd
(Give exact street and number. Do not give corner)

Elec. Contractor Pieper Electric Inc Address 5070 N 35

Builder _____ Address _____

Owner LEWIS BASSELL Address 102 W Willow Rd

What is occupancy of the building NEW EXIST Dwelling

1. Outlets	each	\$.30		
2. Fixtures	each	.25		
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor	each lamp	.25		
4. Audible or visual devices	per device	.50		
5. Exhaust and ventilating fans and their control (below 1 H.P.)	each	2.00		
6. Built-in electric heaters; bathroom, nursery, etc.	each	3.00		
7. Garbage Disposal	each	3.00		
8. Dishwasher	each	3.00		
9. Clothes dryer	each	3.00		
10. Range or other receptacles over 150 volts	each	3.00		
11. Water heater	each	3.00		
12. Automatic heating equipment — gas, oil, coal	each	3.00		
13. Automatic water systems	each	3.00		
14. Refrigerating, air conditioning, etc., machines	each	3.00		
15. Strip lighting, plug in strip, trol-e-duct, etc.	per ft.	.10		
16. Dimmers or Time Clocks	each	2.00		
17. Vacuum and Inert-Gas tube sign	each transformer	3.00		
18. Incandescent Signs, studded lights	per socket	.25		
19. Arc and mercury lamps, spot and floodlights (mogul base)	each	1.00		
20. Motors, each horsepower or fraction thereof each motor	H.P.	.25		
21. Generators, rectifiers, transformers, etc.	per K.W.	.25		
22. Feeders or subfeeders No. 3 B & S gauge or larger	each	5.00		
23. Raceways, wireways, busways, gutters	per ft.	.25		
24. Electric heating devices (other than those listed above)	per K.W.	1.00		
25. Service equipment — 0-100 amps. new or overhauling	per disconnect	5.00		
Service equipment — 100 amps. to 600 amps.	per disconnect	10.00		
Service equipment — over 600 amps.	per disconnect	15.00		
26. Temporary service, etc. (3 month period)		10.00		
27. Motion picture, stereopticon and x-ray machines, etc.	each	5.00		
28. Re-inspection after time limit on notice		10.00		
29. Minimum fee for any permit requiring separate inspection		10.00		
30. Double fee shall be charged for any work started before filing an application for a permit	MINIMUM FEE	10.00		
	FEES DOUBLE			

14343-25

TOTAL FEES 10 00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point.

REMARKS: Install BX into conduit

NOTE: Electrical contractor shall quote his permit number and the address of the job when requesting inspections.

Date Approved _____ Signature Julius Pieper
Supervising Electrician

Roughing in _____ Address 5070 N 35

Temp. _____ City Milwaukee Zip Code 53209

Final 3-14-85 Telephone 462-7700

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
MILWAUKEE, WISCONSIN 53217

fee #11913

APPLICATION FOR INSPECTION AND ISSUANCE
OF CERTIFICATE OF COMPLIANCE

(Please type or print clearly)

No. 1856 Date JAN 24, 1985

Address 102 West Willow Road Fox Point, Wisc.

Type of Proposed Occupancy: Single Family

Owner of Building Lewis P. Bassell

Building Owner's Address:

102 West Willow Rd Fox Point Wisc 53217
No. Street City State Zip

Building Owner's Telephone No. (414) 351-1936 414-276-2121
area code Home Work

Proposed Occupant's Name (if known) _____

Proposed Occupant's Present Address:

No. Street City State Zip

Proposed Occupant's Telephone No. (_____) _____
area code

If a certificate of compliance will not be issued unless repairs or alter-
ations are performed, they will be made by:

Owner Proposed Occupant _____ Other _____

[Signature]
Applicant's signature

102 West Willow Rd
Applicant's address

NOTE: A copy of certificate of compliance or noncompliance will be given to
all persons named above.

Application and fee received: Date 1/24/85

Signature B. Pater

Inspection Made: Date 1-25-85

Signature [Signature]

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

NONCOMPLIANCE NOTICE

January 25, 1985

Date

Issued to: Lewis P. Bassell

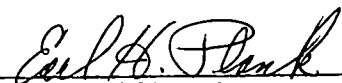
Address: 102 West Willow Road

An inspection of the premises located at 102 West Willow Road discloses noncompliance with Codes or Ordinances of the Village of Fox Point as hereinafter listed:

- O.K. 1. Code-complying separation required between residence and attached garage.
- O.K. 2. Code-complying handrail required for all stairs with more than three risers.
- O.K. 3. Maximum uniform rise for a step is 8"; rise for steps at front entry stoop and at door from residence to garage are excessive.
- NOT DONE
7-23-85 4. Eliminate clear water from sanitary sewer.
- O.K. 5. Remove, replace or repair all non Code complying electrical wiring or components.
- O.K. 6. Replace defective smoke pipe on incinerator or remove entire unit and seal hole in chimney.

The premises at the above address shall be brought in compliance before there is a change in occupancy. Please notify this office when corrections have been made and a reinspection of the premises for compliance is desired.

The occupant or proposed new occupant of the premises feeling aggrieved by the action of the Building Inspector may appeal to the Board of Appeals following the usual procedure on appeal from an order of the Building Inspector within thirty (30) days of the above date.



Building Inspector
Village of Fox Point

INSPECTION DEPARTMENT
VILLAGE OF FOX POINT
7200 N. SANTA MONICA BOULEVARD
FOX POINT, WISCONSIN 53217

CERTIFICATE OF COMPLIANCE


No. 1809

Date July 24, 1985

Issued to Lewis P. Bassell

Address 102 West Willow Road

This Certificate of Compliance permits a change in the occupancy of the premises located at 102 W. Willow Road in Fox Point, Wisconsin, any time within one year from the date hereof, and indicates that so far as can reasonably be determined by a visual inspection of the premises and a review of the Village records, the premises meet the requirements of Section 30P.62 of the Fox Point Building Code. This certificate is issued for the benefit of the Village of Fox Point in the enforcement of Section 30P.62 of the Fox Point Building Code. Neither the Village of Fox Point nor the Building Inspector assumes any liability in or as a result of the inspection or issuance of this Certificate of Compliance and by the issuance of this Certificate of Compliance does not guarantee or warrant as to the condition of the premises inspected.



Building Inspector
Village of Fox Point

DEPARTMENT OF ELECTRICAL INSPECTION

Application for Permit for Electrical Installation

VILLAGE OF FOX POINT

Date: Sept. 16, 1981

TO THE ELECTRICAL INSPECTOR:

The undersigned hereby applies for a permit for the execution of electrical installation for light, heat, or power, as hereafter prescribed:

Location: 102 W. Willow Road
(Give exact street and number. Do not give corner)

Elec. Contractor: Pieper Electric Inc. Address: 5070 N. 35 th St.
Builder: Do Not Know Address:
Owner: Bassell Address: 102 W. Willow Road

What is occupancy of the building NEW Residential
OLD

1. Outlets.....		each	\$.20	
2. Fixtures.....		each	.15	
3. Fixtures — fluorescent, cold cathode, lumiline, mercury vapor.....		each lamp	.15	
4. Audible or visual devices.....		per device	.20	
5. Exhaust and ventilating fans and their control (below 1 H.P.).....		each	.50	
6. Built-in electric heaters; bathroom, nursery, etc.....		each	2.00	
7. Garbage Disposal.....		each	2.00	
8. Dishwasher.....		each	2.00	
9. Clothes dryer.....		each	2.00	
10. Range or other receptacles over 150 volts.....		each	3.00	
11. Water heater.....		each	3.00	
12. Automatic heating equipment — gas, oil, coal.....		each	3.00	
13. Automatic water systems.....		each	2.00	
14. Refrigerating, air conditioning, etc., machines.....		each	2.00	
15. Strip lighting, plug in strip, trol-e-duct, etc.....		per ft.	.05	
16. Dimmers or Time Clocks.....		each	1.00	
17. Vacuum and Inert-Gas tube sign.....		each transformer	1.00	
18. Incandescent Signs, studded lights.....		per socket	.10	
19. Arc and mercury lamps, spot and floodlights (mogul base).....		each	.50	
20. Motors, each horsepower or fraction thereof each motor.....		H.P.	.20	
21. Generators, rectifiers, transformers, etc.....		per K.W.	.15	
22. Feeders or subfeeders No. 3 B & S gauge or larger.....		each	5.00	
23. Raceways, wireways, busways, gutters.....		per ft.	.10	
24. Electric heating devices (other than those listed above).....		per K.W.	.50	
25. Service equipment — 0-100 amps. new or overhauling.....	1-150A	1	per disconnect	2.00
Service equipment — 100 amps. to 600 amps.....		1	per disconnect	6.00
Service equipment — over 600 amps.....			per disconnect	8.00
26. Temporary service, etc. (3 month period).....				3.00
27. Motion picture, stereopticon and x-ray machines, etc.....		each	3.00	
28. Re-inspection after time limit on notice.....				2.00
29. Minimum fee for any permit requiring separate inspection.....			MINIMUM FEE	5.00
30. Double fee shall be charged for any work started before filing an application for a permit.....			FEE DOUBLE	
TOTAL FEES				\$8.00

It is hereby agreed between the undersigned, as owner, his agent or servant and the Village of Fox Point that for and in consideration of the premises and of the permit for the execution of electrical installation, for light, heat or power as above described, to be issued and granted by the Electrical Inspector, that the work thereon will be done in accordance, with the description herein set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Village of Fox Point Elec. Code and to obey any and all lawful orders of the Electrical Inspector of the Village of Fox Point, the Statutes of the State of Wisconsin and the rules and regulations issued by the Industrial Commission of Wisconsin under authority of the State Statutes.

REMARKS: W/A 69790
9-28-81 Owner not home - card left
2-10-83 Owner not home - card left

Date for Inspection	Date Approved	Signature
		<i>Julius Pieper</i> (Supervising Electrician)
Roughing in		Address: 5070 N. 35 th St.
Temp		City: Milwaukee, Wisconsin
Final: 10-25-83		Zone: 53209 Telephone: 462-7700

Make check Payable to Treasurer, Village of Fox Point.



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

October 3, 1983

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
MILWAUKEE 53217

Julius Pieper
Pieper Electric, Inc.
5070 N. 35th Street
Milwaukee, Wisconsin 53209

Dear Mr. Pieper:

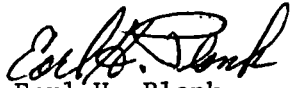
Please advise this office as to the status of the electrical service equipment at the residence of Lewis P. Bassell located at 102 W. Willow Road in the Village of Fox Point.

Electrical Permit number 9977 was issued to you on September 23, 1981 to install new or overhaul service at the residence at the above address.

Several attempts have been made to inspect this work so that the release could be forwarded to the Wisconsin Electric Power Company for their required action. Cards left at the residence were not acknowledged. Telephone calls to your office requesting information on the status of this work are not being returned.

Please advise this office if the work authorized under the above permit has ever been started or completed and if it has been completed, please make arrangements with me to have the inspections made.

Yours very truly,


Earl H. Plank
Building Inspector

EHP/jm

cc: Lewis P. Bassell
Wisconsin Electric Power Company

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to build, in accordance with the information tabulated hereafter,

Designation Addition
Duplex, Residence, Apartment, Store, Garage, Theatre
 House Number 8101 N. Seneca STREET
 Lot Block
 Subdivision
 District
 Does contemplated building violate the Village zoning ordinance? No
 Height of Building 7' at (stories or feet)
 Width (parallel to highway) 8' wide (feet)
 Depth (perpendicular to highway) 11 at ceiling height (feet)
 Distance: Street Line to Front Line of Porch (feet)

Type of Construction: Frame
Frame, Brick-tile
 Exterior finish Siding
Stucco-Siding-Brick Veneer
 Height of front yard above street sidewalk grade.....

Number of rooms
 Estimated cost { Garage
 Building \$ 300.00

Is there a private garage?.....
 Does the contemplated garage violate the Village zoning ordinance?.....
 Size..... Number of stalls.....
 Where situated
 General construction
Frame—Brick—Stucco

Have you applied to the Industrial Commission for a permit under the State Building Code?.....
 Has the permit been granted?.....
 Herewith are filed the following duplicate plans..... in number, which I certify I will conform to in the work hereby applied for.

Remarks:

Herewith are filed the specifications that describe the work in question and as shown on plans above submitted.

In making the application the undersigned agrees to obey the Fox Point Building Code pertaining to the erection of buildings and also agrees to obey all other ordinances of the Village of Fox Point. The undersigned, owner or being duly authorized so to do, hereby gives express authorization to the Village of Fox Point, its officers, agents and employees, to enter upon the premises herein described and fill up any excavation, or tear down, remove or enclose the unfinished structure for which a permit is herein requested in the event of cessation of the building, whenever the Building Inspector shall determine that such premises in the unfinished condition of the structure are dangerous to members of the public, including children, even though trespassers. The undersigned further hereby waives all statutory notices and consents to the determination by the Village Board and the levy and placing upon the tax roll of a special assessment in the amount of the cost to the Village, including customary Village overhead charges incurred in filling up any such excavation or tearing down, removing or enclosing any such unfinished structure.

We hereby agree to provide a house number plate or sign readily observable from the public highway which will be installed not less than 15 days after the residence is occupied.

Owner of land M. S. Lattow Owner of Building M. S. Lattow
 Permit fee \$ 3.00 herewith tendered.
 Signed [Signature]
 Dated,, 19.....
 Architect, Owner, Builder
J. W. Federman

April 19, 1974

Mr. Lewis P. Bassell
Mr. Olof Lonegren
102 West Willow Road
Milwaukee, Wisconsin 53217

Gentlemen:

Please be advised that your permit to construct a fence on your property located at 102 West Willow Road is denied.

The proposed fence, if constructed, would be in violation of Chapter 14.07 of the Fox Point Zoning Code, a copy of which is enclosed for your convenience and information.

If you have any questions, or if we can be of any assistance, please feel free to contact this office.

Yours very truly,

Earl H. Plank
Building Inspector

ehp/nl

CC: W. J. Blong, Village Manager



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT 53217
414-351-8900

October 25, 1991

Karen Daneman
102 W. Willow Rd.
Fox Point, WI 53217

Dear Mrs. Daneman:

On October 24, 1991 I made a final inspection of the new boiler you had installed by Jacobus Quickflash. On my way to the boiler I noticed a considerable amount of new wiring being installed in the basement laundry room area. In checking our records I fail to find any permit authorizing this work. The following is a list of some of the code violations I noted. They are as follows:

- 1) Improper splicing of cable. (Ref. National Electrical Code NEC 300-15)
- 2) Metal boxes shall be properly grounded. (Ref. NEC 250-114 9)
- 3) Length of free conductors in all boxes shall comply with NEC 300-14.
- 4) Improper fillings were used in different types of wiring methods. (Ref. NEC 300-15 (c))
- 5) All unused openings in electrical boxes must be sealed as per NEC 370-8.
- 6) Conductors must be properly identified as per NEC 210-5.
- 7) Non-metallic cable shall be installed to Fox Point Code and comply with Article 336 of the NEC.
- 8) Proper use of a light fixture box is required. (Ref. NEC 410-16 & 370-13)
- 9) Covers shall be provided for each open electrical box. (Ref. NEC 370-18 (c))
- 10) It was noted that the cover was off the service equipment. This is creating a hazardous condition and in violation of NEC 110.12 (a).

This work in my opinion was being installed in a very unprofessional manner. (Cable not strapped, cable twisted, cable not protected from accidental damage, etc.) You are hereby ordered to have this wiring reworked by a qualified electrician. A separate permit shall be expected to be taken out for these repairs and a reinspection made within 15 days from the above date. Please be advised that failure to comply with this order will result in further action being taken by this Department.

If you have any questions please feel free to contact me.

cc: Village Manager
Village Attorney

Sincerely yours,

Scott Miller
Inspector

*Chad,
No Response to
DF 11-8-91.
MUSE
Please*

BT 11/8/91



VILLAGE OF FOX POINT

MILWAUKEE COUNTY
WISCONSIN

VILLAGE HALL
7200 N. SANTA MONICA BLVD.
FOX POINT 53217-3505
414-351-8900
FAX 414-351-8909

July 23, 2004

NOTICE OF BOARD OF APPEALS DECISION

Village of Fox Point, Wisconsin
Case No.: 2004-06
Filing Date: June 10, 2004
Hearing Date: July 22, 2004

TO: Andrea Hoogerland
102 W. Willow Road
Fox Point, WI 53217

The Fox Point Board of Appeals considered your request for a special exception from section 14.07(2)(c)8(b) of the Fox Point Village Code which states that pursuant to the Village Code, a fence, wall, architectural screening device or arbor proposed to be located beyond the front line of the principal building may be permitted by the Board of Appeals only after a hearing. The granting of a special exception under this section shall be conditioned upon the applicant obtaining and presenting to the Board at the time of the hearing, the written approval of the proposed location from the owner(s) of abutting property from which there is a direct view of the fence, wall, architectural screening device, or arbor.

The Board of Appeals approved the request for a special exception for the fence to built, subject to the meeting being kept open for up to a 10 day period until written approval of the fence from the owner of 8121 N. Seneca Road is submitted to and received by the Village Clerk, subject to all other requirements of the fence ordinance being met, and that the new fence be substantially identical in height, material, and appearance to the old fence.

The minutes of the Board of Appeals meeting and other related materials were filed in my office and are available upon request.

If you have any questions, please do not hesitate to call me at 351-8900.

Sincerely,

Constance K. McHugh
Village Clerk

cc: Property File

call mother

home 540-9304

cell 303-2740

VILLAGE OF FOX POINT
INSPECTION DEPARTMENT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217
(414) 351-8900

APPLICATION FOR INSPECTION AND
ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date Dec 21 '06

Building Address 102 W. Willow Rd.

Owner of Building Andrea Hoogerland

Owner's Address if different than above _____

Owner's Telephone (414) 540-1565

Owner's forwarding address _____

Proposed Occupant's Name (if known) _____

Proposed Occupant's Address _____

Proposed Occupant's Telephone () _____

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner Proposed Occupant _____ Other _____

Constance Hoogerland as agent same as above
Applicant's Signature Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

For Office Use Only:	
No. <u>5762</u>	Date Received <u>12-21-06</u>
Amount <u>\$100.00</u>	Receipt <u>1612</u>
Inspection Made <u>1/11/07</u>	
Signature <u>[Signature]</u>	
	5610

① fence post

② OK

③ balls |

④ ~~electrod~~

⑤ has internal box

convey

⑥ ~~Grid Amplifier~~
using

⑦

Receipt No: 8.000361

Apr 24, 2015

102 W WILLOW RD

LICENSES & PERMITS-COMPLIANCE PERMIT 100.00
24-44410 COMPLIANCE PERMIT

Total: 100.00

CHECK Chk No: 1338 100.00

Payor: REBECCA & DANIEL KENNEDY
Total Applied: 100.00

Change Tendered: .00

04/24/15 12:34pm

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT, WI 53217

414-351-8900

~~1) Helios~~

~~2) Helios - Journey with day~~

~~Ball of silk in steam room~~

~~at the base of the boat~~

Staring

~~3) From #12 LP Boat~~

~~4) #1~~

~~5) From #12 LP Boat~~

6)

ID: 1108740

TRIPLE T ELECTRIC

Certification, License, or Registration Name

Electrical Contractor License
Building Contractor Registration

Expires

06/30/16

06/29/13

Wisconsin Department of Safety and Professional Services

Signature: *Terry E Romeis*

ID: 170607

TERRY E ROMEIS

Certification, License, or Registration Name

Expires

Master Electrician Certification

06/30/13

Wisconsin Department of Commerce

Signature:

Terry E Romeis

6245
 Rec: # 13218 810.00

Plumber Kenneth S. Wyderka
 Address 932 W. Center St.
 Tel. No. meke wis

Application and Record

Owner Lou Bassell
 Address 102 W Willow Rd
 Date 7-24-85, 19

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned hereby make application to do the work of plumbing consisting of

laying a _____ inch _____ laying a _____ inch _____
 building sewer from Main to Lot line water service from Main to Lot line
 to Building to Building
 at

102 W. Willow Rd. Fox Point, Wis.
 Address at which work is to be done

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	<u>6068</u>
Water	—
Street	—
Meter	—
Water Usage	—

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber hereby agrees to be bounden by and submit to all statutes, village ordinances, and rules and regulations prescribed by the Village Board for Plumbers.

License No. MP 5615 Kenneth S. Wyderka MP 5615 Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS	
No.	No.
Hose Bibs	Dishwashers
Bath Tubs	Wash Basins
Sump Pumps <u>1</u>	Water Closets
Laundry Trays	Showers
Drinking Fountains	Floor Drains
Sinks	Food Waste Grinders
Water Heaters	Sprinkling System
Wash Mach. Wastes	Urinals
Bidets	
Catch Basins	

FEES	
Water Usage	\$ _____
Building Sewer	_____
Water Service	_____
Building Drain	_____
Fixtures	<u>10.00</u>
Water Meter	_____
Total	<u>\$10.00</u>
Deposit to cover street repairs	_____

Carl A. Plank Permit Clerk

A _____ inch _____ water service pipe was laid in _____
 Curb box is located _____ feet _____ of _____ feet _____ of _____
 _____ inch _____ Water Meter No. _____ Date Installed _____

A _____ inch _____ sanitary sewer connection was made in _____
 _____ feet _____ of manhole _____

A _____ inch _____ storm sewer connection was made in _____
 _____ feet _____ of manhole _____

Building Sewer	Report	Building Drain	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
						<u>7-24-85</u>	<u>O.K.</u>

Installation Approved 7-24-85 Application Approved 7-24-85, 19
 As Built _____ Carl A. Plank Water and Plumbing Inspector

REMARKS
SEPERATE + Remove Drain Tile
Receiver + install a clear water
sump.

DISCREPANCY RECORD

Owner Joe Bassell

Address 102 W. Willow St.

Permit No. 6245

Plumber Kenneth S. Wyduke

Plumber VERNON ADAIR No. 4215

Drainlayer SAHE
 Address 11003 N. CRESTLINE
 Tel. No. 242-2534

Application and Record

Owner TED STRONG
 Address 102 W. WILLOW
 Date 6-5, 1967

To the VILLAGE OF FOX POINT, PLUMBING AND WATER INSPECTION DEPARTMENT: The undersigned here-
 by make application to do the work of plumbing - drainlaying - consisting of

laying a 1" inch COPPER laying a 1" inch COPPER
 drain pipe from Main to Lot line service pipe from Main to Lot line
 to Building to Building
 at

PERMITS ISSUED	
Kind	No.
Sewer and Plumbing	—
Water	<u>2327</u>
Street	<u>2110</u>
Meter	<u>2327</u>
Water Usage	—

102 W. WILLOW Fox Point, Wis.
 Address at which work is to be done

Subdivision	Lot	Block

In the performance of this work the undersigned Plumber or Drain Layer hereby agrees to be bounden by and submit to all statutes, city ordinances, and rules and regulations prescribed by the Village Board for the government of Plumbers and House Drain Layers.

License No. 152 Vernon E. Adair Plumber

FIXTURES WITH DRAIN OR WATER CONNECTIONS			
No.		No.	
	Hose Bibs		Dishwasher
	Bath Tubs		Wash Basins
	Sump Pump		Water Closets
	Laundry Tubs		Showers
	Sanitary Bubblers		Basement Drains
	Sinks		Garbage Disposal
	Water Heater		Sprinkling System
	Wash Mach. Waste		

FEES	
Water Usage	\$ <u>—</u>
Sanitary Sewer Connection	
Water Connection	<u>5.00</u>
Water Heater	
Fixtures	
Water Meter <u>4 cost 4 set</u>	<u>57.41</u>
Total	<u>\$62.41</u>
Deposit to cover street repairs	<u>\$100.00</u>

Carl H. Plank Permit Clerk

A 1 inch COPPER water service pipe was laid in lot to home
 Curb box is located feet of feet of
see back of building permit card for step box tie in
3/4 inch Badger Water Meter No. 9357287 Date Installed 6/9/67

A inch sanitary sewer connection was made in
 feet of manhole

A inch storm sewer connection was made in
 feet of manhole

Outside ^{WATER} Sewer	Report	Inside Sewer	Report	Rough In Plumbing Inspection	Report	Final Inspection	Report
<u>6-6-67</u>	<u>O.K.</u>					<u>6-7-67</u>	<u>O.K.</u>

Installation Approved 6-7-67 Application Approved 6-5-67, 19
 As Built Carl H. Plank
 Water and Plumbing Inspector

REMARKS

DISCREPANCY RECORD

RECEIVED
 PAYMENT
 JUN 6 1967
 VILLAGE OF FOX POINT
 By Lucy Czerwan, Treas.
 Rec # 24213
#5456

Owner Sho. Strong

Plumber Vernon Adams

Permit No. 4215

Street 1905

MADE IN U.S.A.

MADE IN U.S.A.

Vertical stamp or text, possibly "American Pipe Co."

VILLAGE OF FOX POINT
INSPECTION DEPARTMENT
7200 N. SANTA MONICA BLVD.
FOX POINT, WI 53217
(414) 351-8900

APPLICATION FOR INSPECTION AND
ISSUANCE OF CERTIFICATE OF COMPLIANCE

Date 7-2-03

Building Address 102 W. Willow Road

Owner of Building KAREN H. DAVEMAN

Owner's Address if different than above _____

Owner's Telephone (414) 352-8131 or Cellphone 414-915-8131

Owner's forwarding address _____

Proposed Occupant's Name (if known) _____

Proposed Occupant's Address _____

Proposed Occupant's Telephone () _____

If a certificate of compliance will not be issued unless repairs or alterations are performed, they will be made by:

Owner Proposed Occupant _____ Other _____

Karen H. Daveman
Applicant's Signature

102 W. Willow Road
Applicant's Address

NOTE: A copy of a Certificate of Compliance or Notice of Noncompliance will be given to all persons named above.

For Office Use Only:	
No. <u>5136</u>	Date Received <u>7/2/03</u>
Amount <u>\$100.00</u>	Receipt <u>7892</u>
Inspection Made <u>7/9/03</u>	
Signature <u>[Signature]</u>	

~~as of the long~~
~~not good.~~

←

-

Home

+

~~1) Room door to day~~

~~2) New under the tent no~~

~~Comm. / Primary support~~

~~- Room for 4th tent below just~~

~~- Support of beds Descendants~~

~~- tent below just -~~

~~- Support -~~

~~- Plastic layer with armor coat~~

~~- of 4th, IV - 1st~~

~~- base mat,~~

~~3) Plastic tent tent~~

~~4) Base of stoneware and keratin~~

~~5) 17~~

~~6) 11 to 17~~

~~7) Express Form~~

~~8) Below the cleaning works the~~

~~9) Revised for Support / Core 1030~~

Receipt No: 1.007892

Jul 03, 2003

102 W WILLOW ROAD

LICENSES & PERMITS-COMPLIANCE PERMIT	100.00
24-44410 COMPLIANCE PERMIT	

Total:	<u>100.00</u>
--------	---------------

CHECK	Chk No: 11013	100.00
Total Applied:		<u>100.00</u>

Change Tendered:	<u>.00</u>
------------------	------------

07/02/03 01:06pm

VILLAGE OF FOX POINT

~~10~~ ~~Wald~~ ~~don't~~ ~~in~~

~~11~~ ~~Wald~~ ~~at~~ ~~water~~

~~12~~ ~~Dr.~~ ~~King~~

~~13~~ ~~1~~

~~14~~ ~~Wald~~ ~~don't~~ ~~in~~

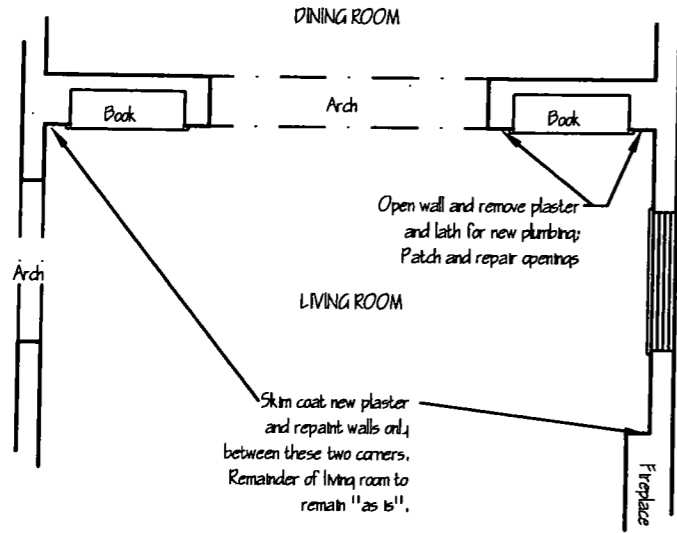
~~15~~ ~~Dr.~~ ~~3-001~~

~~16~~ ~~Set~~ ~~Post~~ ~~but~~

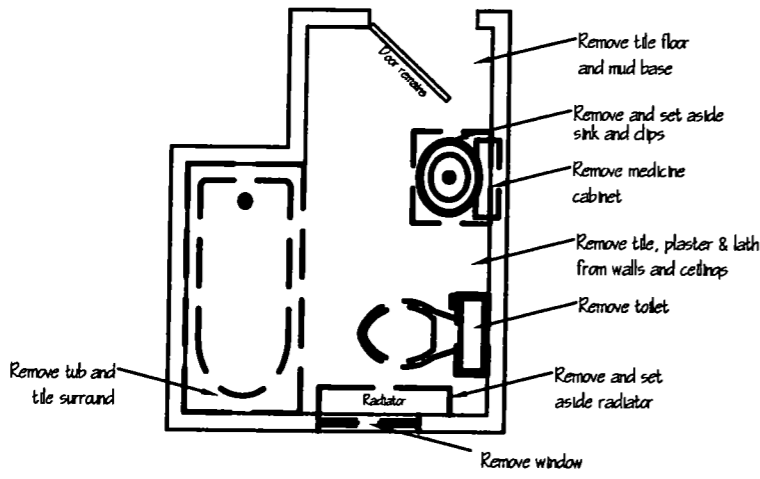
~~17~~ ~~H.T.~~ ~~Light~~ ~~fish~~

~~18~~ ~~Wald~~

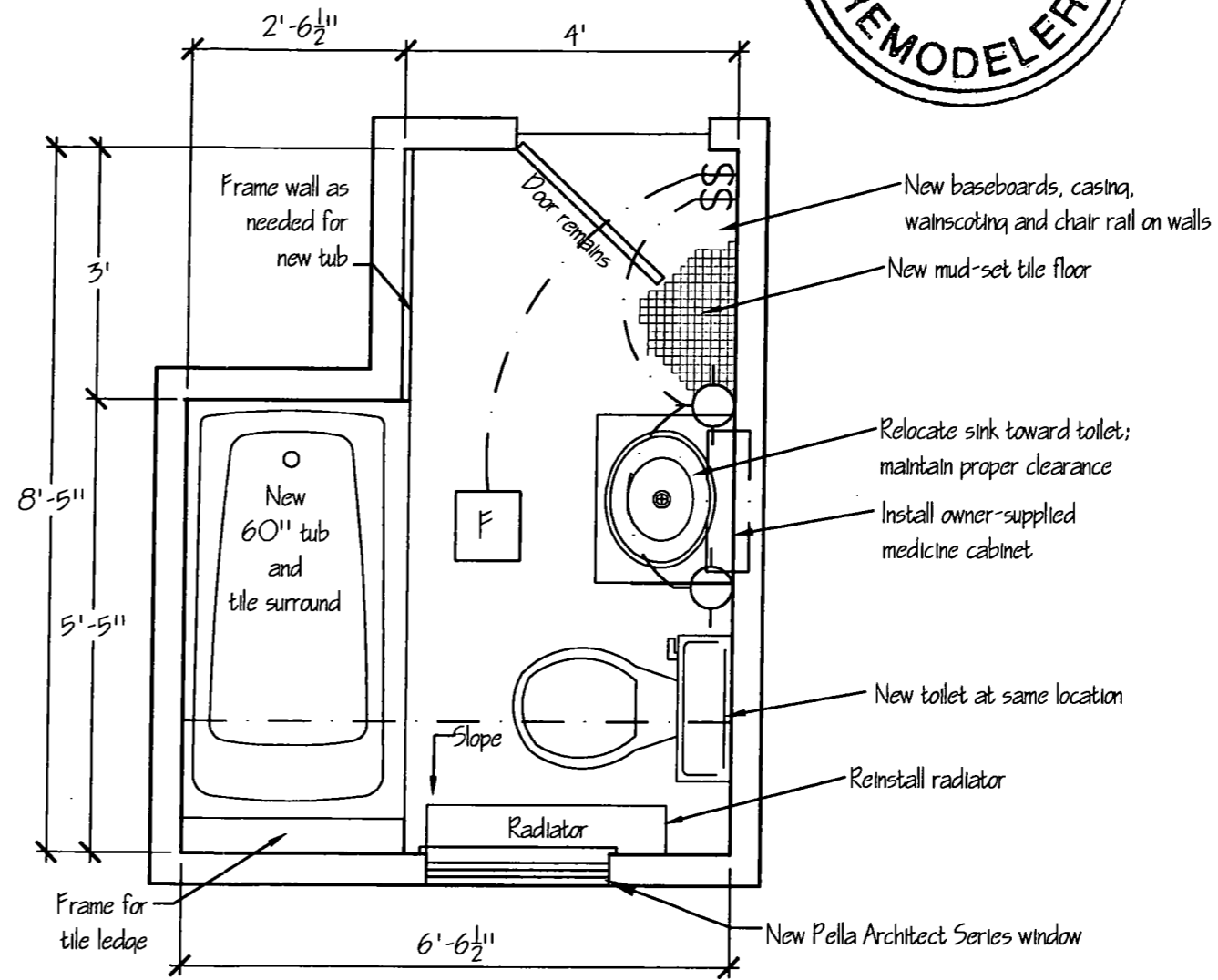
~~19~~



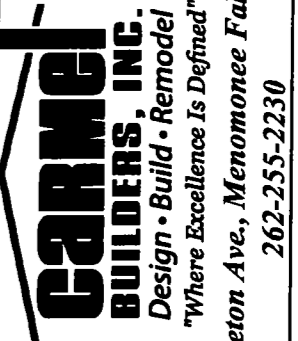
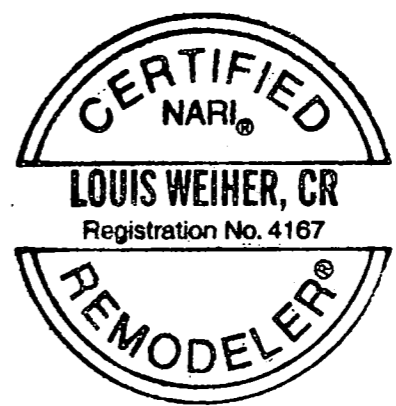
3 Floor Plan-First Floor
Scale 1/4" = 1'-0"



2 Demolition Plan
Scale 1/4" = 1'-0"



1 Floor Plan-Bathroom
Scale 1/2" = 1'-0"



N85 W16100 Appleton Ave., Menomonee Falls, WI 53051-3045

262-255-2230

Bathroom Remodel

Dan Kennedy & Rebecca Frihart

102 West Willow Road

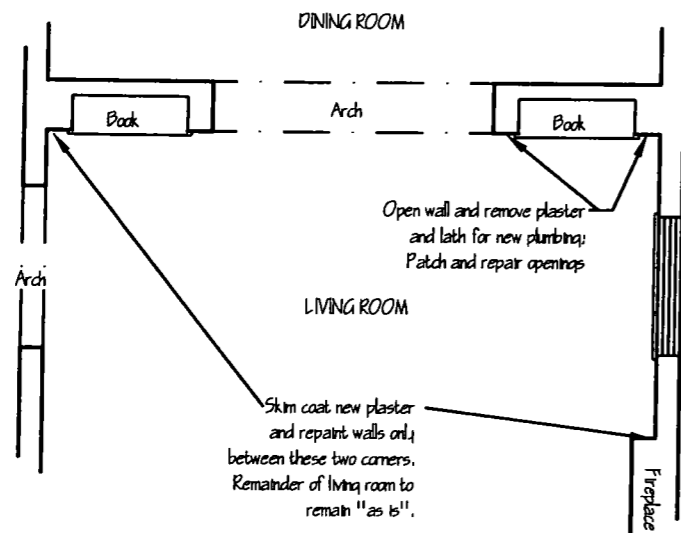
Fox Point, WI 53217

CONSTRUCTION DRAWINGS

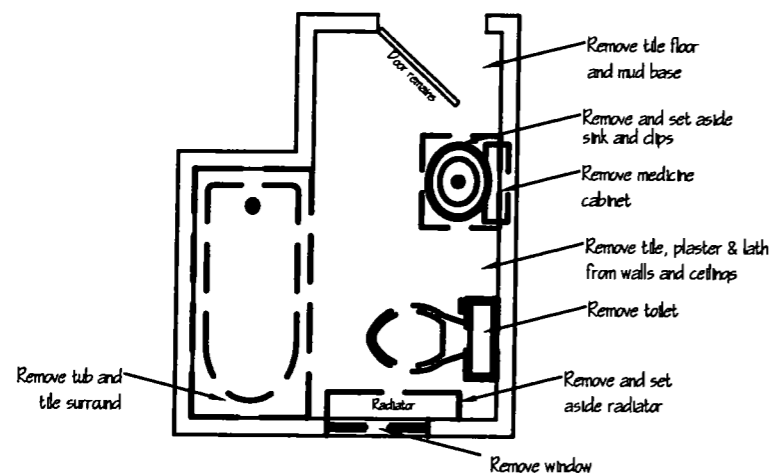
March 4, 2009

Sheet 1 of 1

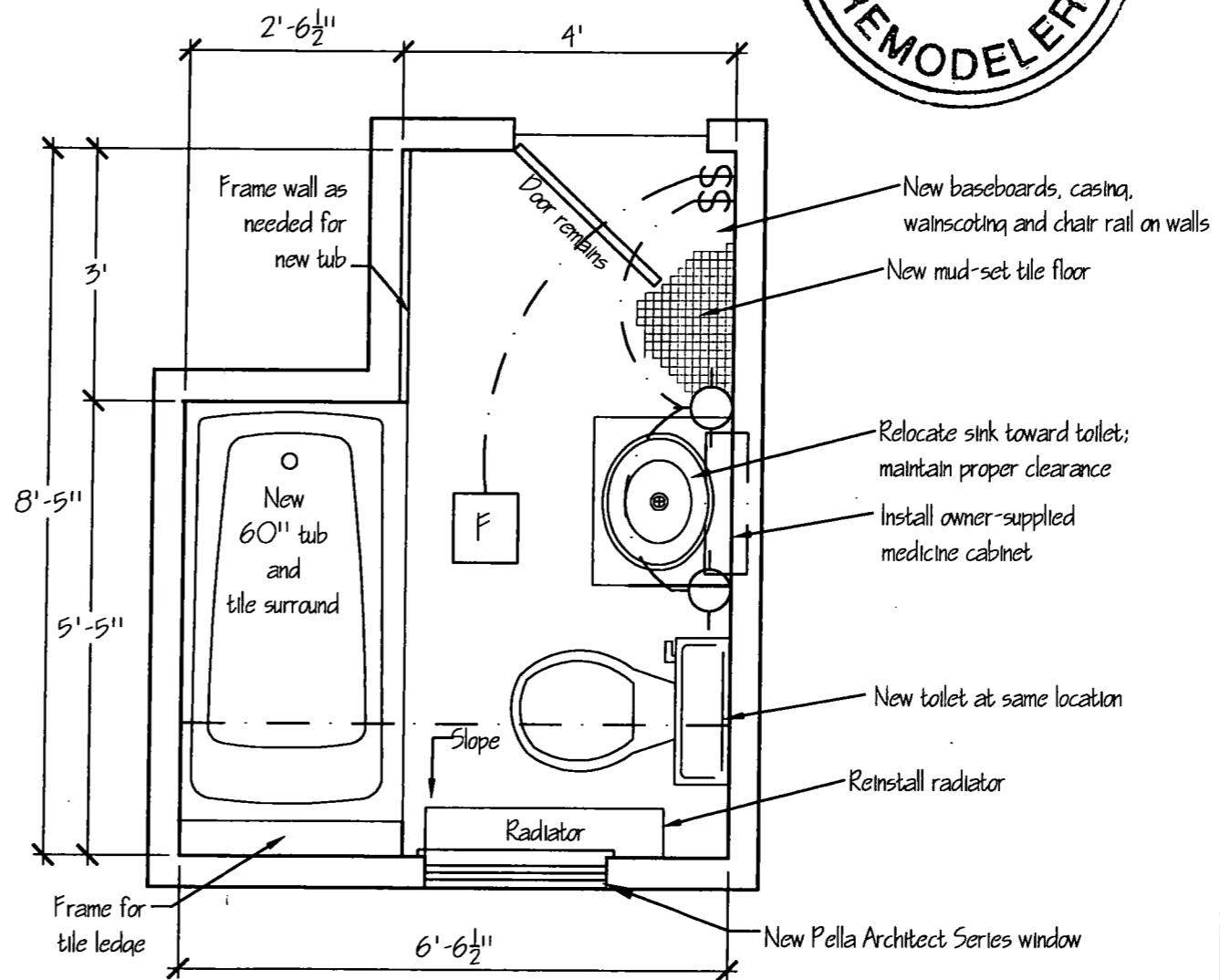
NOTE: FIELD VERIFY ALL DIMENSIONS



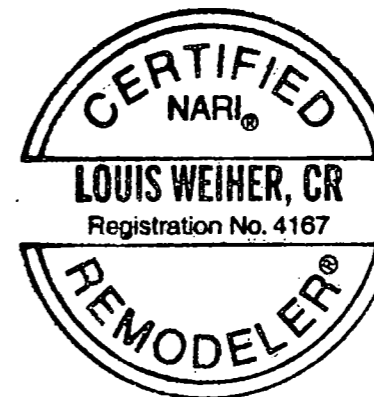
3 Floor Plan-First Floor
Scale 1/4" = 1'-0"



2 Demolition Plan
Scale 1/4" = 1'-0"



1 Floor Plan-Bathroom
Scale 1/2" = 1'-0"



GARNET BUILDERS, INC.
Design • Build • Remodel
"Where Excellence Is Defined"



N85 W16100 Appleton Ave., Menomonee Falls, WI 53051-3045
262-255-2230

Bathroom Remodel

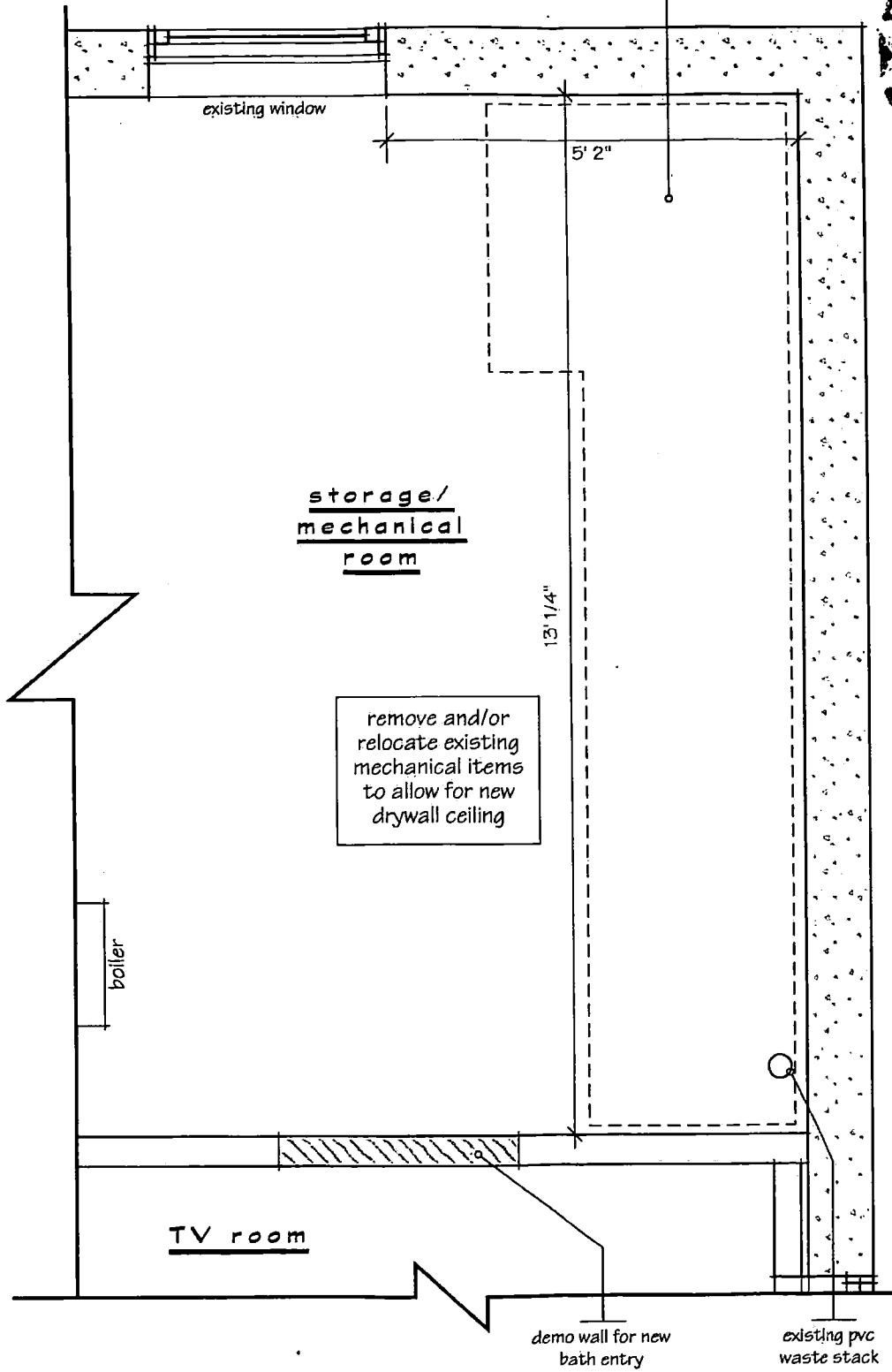
Dan Kennedy & Rebecca Frihart
102 West Willow Road
Fox Point, WI 53217

CONSTRUCTION DRAWINGS
March 4, 2009
Sheet 1 of 1

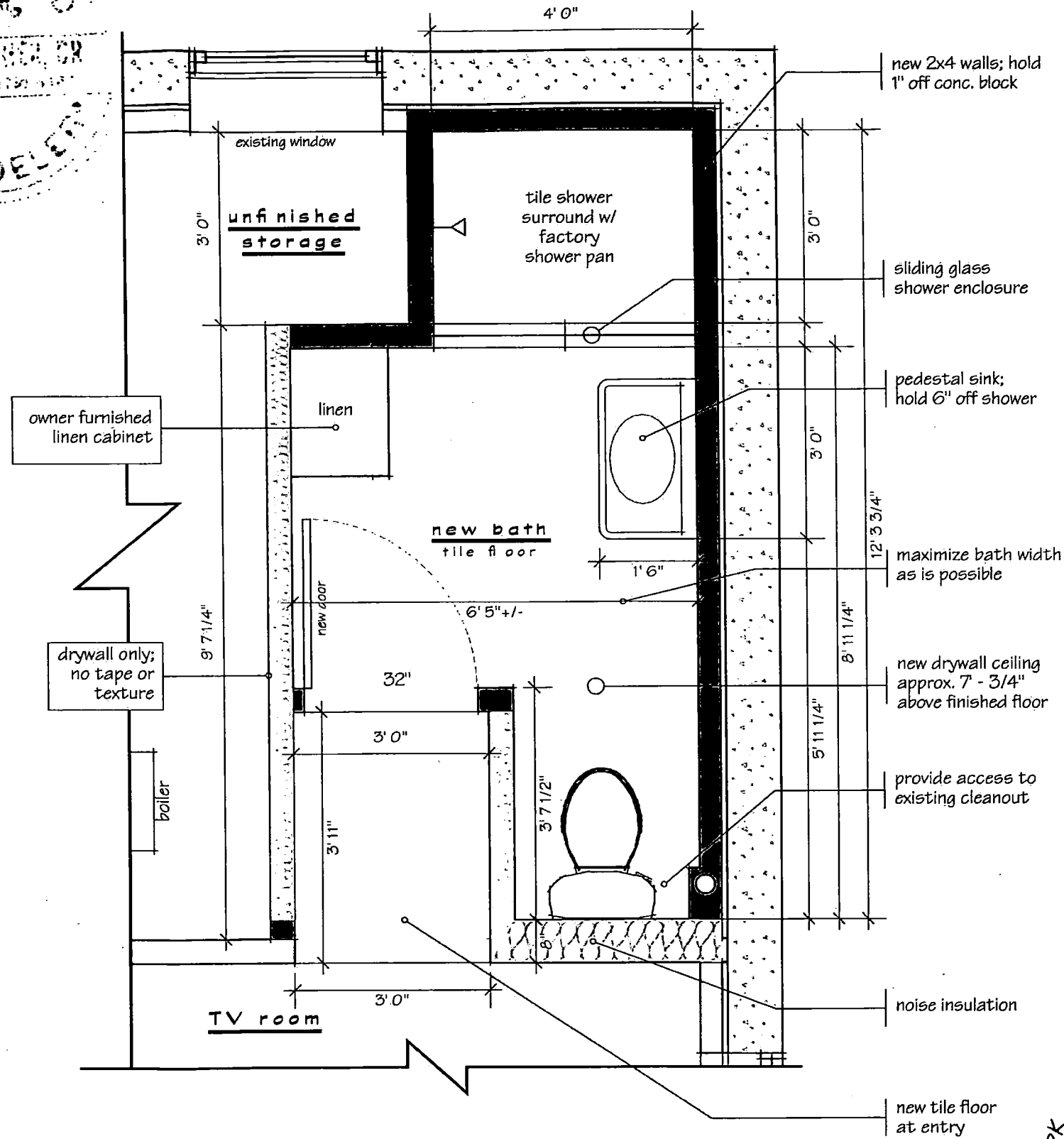
NOTE: FIELD VERIFY ALL DIMENSIONS



cut concrete floor as needed for new plumbing

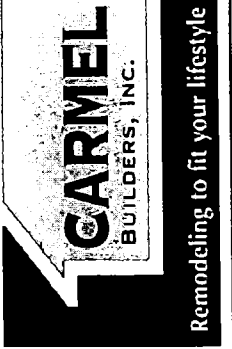


⊕ floor plan - existing/demolition
scale: 1" = 2'



⊕ proposed basement bathroom - plan
scale: 1" = 2'

RK PK



05.01.13

These plans are copyrighted 2013 by Carmel Builders Inc. expressly for the client listed in the title block. Carmel Builders Inc. retains all intellectual property rights to the content here in, and these rights are not transferable without express written consent on our letterhead. These documents may not be reproduced in any form without consent.

Kennedy - bath remodel
basement bath - demo & proposed plans
scale: 1" = 2'

page

1/1

WATER PERMIT

Permit No. 2327 Application No. 4215 Fox Point, Wis. June 5, 1967

Permission is hereby given to do the work necessary to supply with water the premises of Ed Strong described as follows:

Description	Lot	Blk.
-------------	-----	------

being No. 102 on the North side of W. Williams St.
The above named is permitted to employ Wesley Adams a Licensed
Plumber for the purpose of laying a 1 inch copper service pipe from Main to
Curb: a 1 inch copper service pipe from curb to building at same

as per application made subject to the Rules and Regulations of the Village Board and of Ordinance No. 262 of the Village of Fox Point and amendments.

Received for Permit \$ 45.00 Dollars

Received for Fixtures \$ _____ Dollars

Returns must be made on all work done.

Earl H. Plank
WATER INSPECTOR

PERMIT CLERK

Wisconsin Electric Power Company
OUTLET LOCATION LETTER

REVISION
 DUPLICATE

To Pieper Electric Date Prepared 9-8-81
In regard to your inquiry of 9-4-81 for (Overhead) (Underground) service to the
(industrial) (commercial) (residential) (farm) premise located at
102 W. Willow Rd
in the C/T/V of Fox Point we require service termination as follows:

New Temporary Rewired Additional
Single Phase 150 amperes, 120/240 _____ volts, meters (out) (in) side
and the termination located _____

North Wall, NW Cor (Exist)

at 12 foot minimum above (ground) (final grade)

per Electric Service and Metering Manual Sheets _____
1.1.20 & 1.1.21

Service (drop) (lateral) size 1/2 Al TR length 70 tension _____

Maximum Single-phase Available Short Circuit Current at the service termination.

10,000 amperes 22,000 amperes _____ amperes

New Temporary Rewired Additional Power
(Single) (Three) Phase _____ amperes (240) (120/208) (480) _____ volts, meters (out)
(in) side and the termination located _____

at _____ foot minimum above (ground) (final grade).

per Electric Service and Metering Manual Sheets _____

Service (drop) (lateral) size _____ length _____ tension _____

Maximum (Single) (Three) phase Available Short Circuit Current at the service termination.

22,000 amperes 25,000 amperes _____ amperes

Installation of WE facilities involves additional charges. Billing must be satisfied prior to construction.

The above information is contingent upon right-of-way.

The above information is contingent upon _____

You are advised NOT to proceed with completion of wiring until notified the contingencies noted above have been removed.

On _____ you were advised not to proceed with the completion of the wiring. All the contingencies have been removed and you may proceed.

You may proceed with completion of wiring.

The location of service drops supports for buildings covered with aluminum, stucco, asbestos, or other similar siding material shall be marked. Mounting bolts are provided by the Company and shall be installed by the owner, or by his contractor for him, on brick and stone buildings.

Refer Inquiries to Richard Vajgart Prepared by RD Vajgart
Calumet District Phone 354-8100

Distribution: Original Customer/Electrician
Blue Customer — (to be included with application for permit when required)
Canary Customer Services
White Service Order File

SEWER AND PLUMBING DEPARTMENT

Permit No. 6068 Application No. 6245 Fox Point, WI July 24, 1985

Permission is hereby given to do the necessary plumbing work on the premises of

Joe Bassell described as follows:

 Lot Block Subdivision

Located at 102 W. Willow Road

The above named is permitted to employ Kenneth S. Wyderka

License No. 5615 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps	<u>1</u>	Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ _____

Building Drain \$ _____

Rec'd for Permit \$ 410.⁰⁰

Carl H. Park
 Plumbing Inspector

SEWER AND PLUMBING DEPARTMENT

Permit No. 10075 Application No. 10128 Fox Point, WI 7/30/03 20

Permission is hereby given to do the necessary plumbing work on the premises of described as follows:

Lot Block Subdivision

Located at 102 W Willow St

The above named is permitted to employ [Handwritten Name]

License No. for the purpose of laying a inch

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in feet of

Laying a inch Building Storm Sewer

Fixtures with drain or water connection:

Table with columns: No., Hose Bibs, Bath Tubs, Sump Pumps, Laundry Trays, Drinking Fountains, Sinks, Water Heaters, Wash Mach Waste, Bidets, Catch Basins, Dishwashers, Wash Basins, Water Closets, Showers, Floor Drains, Food Waste Grinders, Sprinkling Systems, Urinals.

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$

Fixtures \$

Building Drain \$

Rec'd for Permit \$

[Handwritten Signature]

Plumbing Inspector

Receipt # 8126

SEWER AND PLUMBING DEPARTMENT

Permit No. 10074 Application No. 10121 Fox Point, WI 7/30/03 20__

Permission is hereby given to do the necessary plumbing work on the premises of _____
described as follows:

Lot	Block	Subdivision

Located at 102 W Wilson Rd

The above named is permitted to employ _____

License No. _____ for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	
<i>Code Compliance</i>					

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Building Drain \$ _____

Fixtures \$ 40⁰⁰

Rec'd for Permit \$ _____

Receipt #8125

Plumbing Inspector

SEWER AND PLUMBING DEPARTMENT

Permit No. 10079 Application No. 10/26 Fox Point, WI 8/4/03 20

Permission is hereby given to do the necessary plumbing work on the premises of
described as follows:

Lot	Block	Subdivision

Located at 102 W. Willow Road

The above named is permitted to employ Guy Bergin

License No. 22222 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in
_____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____
.....

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	
<i>Code Compliance</i>					

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____
Building Drain \$ _____

Fixtures \$ 40⁰⁰
Rec'd for Permit \$ Receipt # 8155

Plumbing Inspector

SEWER AND PLUMBING DEPARTMENT

Permit No. 110916 Application No. 11142 Fox Point, WI 1/25/07 20

Permission is hereby given to do the necessary plumbing work on the premises of _____ described as follows:

_____ Lot _____ Block _____ Subdivision _____

Located at 102 W. Willow Dr

The above named is permitted to employ Jeffrey Sigal

License No. M/19743 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in _____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bibs		Water Heaters		Water Closets	
Bath Tubs		Wash Mach Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Food Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins		Urinals	
<u>Install Air</u>	<u>LINE</u>				

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ 500

Building Drain \$ _____

Rec'd for Permit \$ Receipt #

Plumbing Inspector

20200

SEWER AND PLUMBING DEPARTMENT

Permit No. 12292 Application No. 12338 Fox Point, WI 9/2/11 20

Permission is hereby given to do the necessary plumbing work on the premises of
 _____ described as follows:

Lot	Block	Subdivision

Located at 102 Willow Road

The above named is permitted to employ Joshua Laumann

License No. 938468 for the purpose of laying a _____ inch _____.

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in
 _____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

Fixtures with drain or water connection:

	No.		No.		No.
Hose Bids		Water Heaters		Water Closets	
Bath Tubs		Wash Machine Waste		Showers	
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Floor Waste Grinders	
Drinking Fountains		Dishwashers	<u>1</u>	Sprinkling Systems	
Sinks		Wash Basins		Urinals	

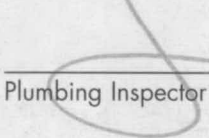
as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ _____

Building Drain \$ _____

Rec'd for permit \$ 50.00


 Plumbing Inspector Receipt #
38092

SEWER AND PLUMBING DEPARTMENT

Permit No. 12745 Application No. 12791 Fox Point, WI 6/6/13 20

Permission is hereby given to do the necessary plumbing work on the premises of
described as follows:

_____ Lot _____ Block _____ Subdivision _____

Located at 102 W. Willow Road

The above named is permitted to employ TRAVIS SARKISIKO

License No. 227638 for the purpose of laying a _____ inch _____

Sanitary Building Sewer from Main to Curb to Lot line to Premises. Connection to be made in
_____ feet _____ of _____

Laying a _____ inch _____ Building Storm Sewer _____

.....
Fixtures with drain or water connection:

	No.		No.		No.
Hose Bids		Water Heaters		Water Closets	1
Bath Tubs		Wash Machine Waste		Showers	1
Sump Pumps		Bidets		Floor Drains	
Laundry Trays		Catch Basins		Floor Waste Grinders	
Drinking Fountains		Dishwashers		Sprinkling Systems	
Sinks		Wash Basins	1	Urinals	

as per application made subject to the Rules and Regulations of the Village Board and of Chapter 12 of the Fox Point Village Code.

Building Sewer \$ _____

Fixtures \$ _____

Building Drain \$ _____

Rec'd for permit \$ 74

Receipt #
43846

Plumbing Inspector